

DEXTER MOREN ASSOCIATES

7ABC BAYHAM STREET CAMDEN LIFESTYLE

SECTION 73 PROPOSED SCHEME AMENDMENTS
PLANNING APPLICATION
NOVEMBER 2020

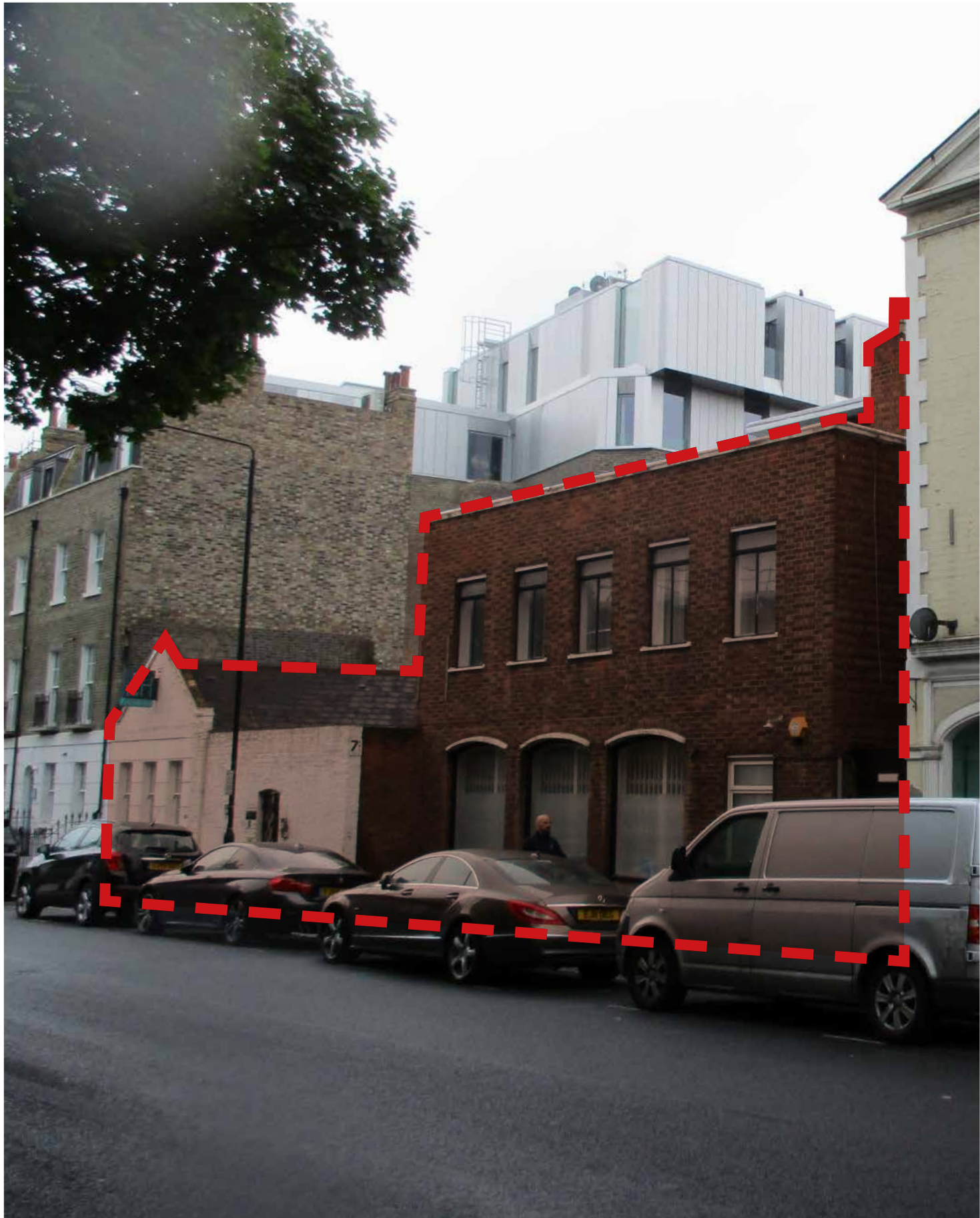


[Above] Site photo

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INTRODUCTION

7ABC BAYHAM ST

Dexter Moren Associates have been appointed by Camden Lifestyle (UK) Ltd to review the hotel consented planning scheme for 7ABC Bayham Street, London, W1 0EY (the site) in light of DMA's hotel expertise and understanding of specific hotel brand requirements.

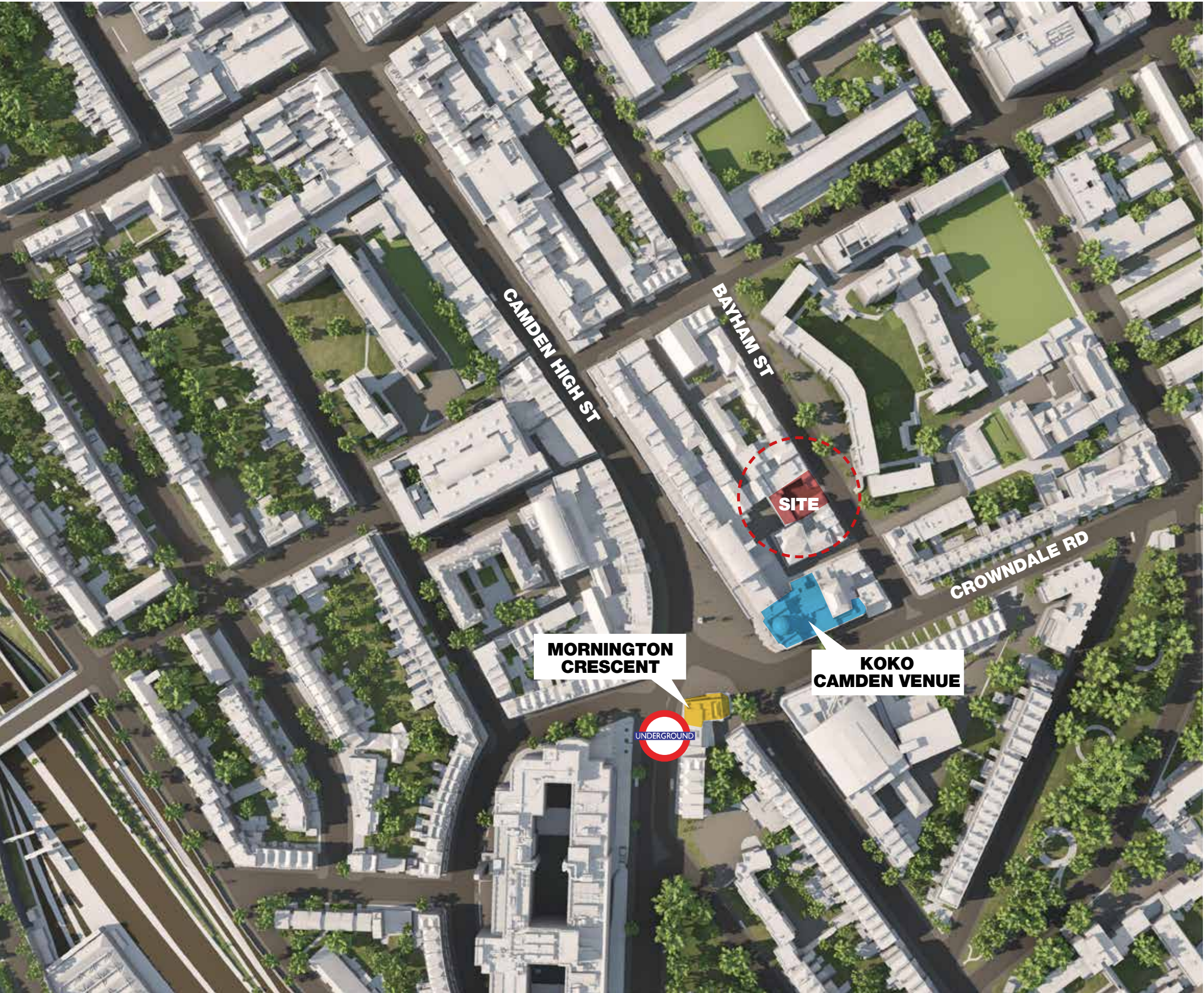
This document has been prepared to present the amendments to the consented scheme (Ref: 2018/3647/P) which are predominantly internal and designed to suit the hotel brand.

THE CONSENTED SCHEME

The consented scheme (App Ref: 2018/3647/P) was approved in July 2019. Design by Ambigram Architects.

THE PROPOSAL

This document illustrates our proposal for minor amendments to reconfigure the scheme. In review of the approved scheme, numerous issues were raised in relation to layout efficiencies, buildability and viability. Furthermore, the consented scheme did not comply with current fire regulations as it lacked a second means of escape, which has now been intricately incorporated through the use of an external stair. The consented scheme also had insufficient service/plant areas. Through professional consultation with structural and services consultants, the proposed scheme is now more buildable and adequate plant and servicing for the intended hotel offer has been allowed for. The new scheme offers a better quality of hotel, with an increase of hotel key provision, reconfigured FOH area and quality office space. All of which contribute to the successful development of the Camden Lifestyle Hotel.



[Above] Aerial view from VUcity

EXISTING SITE CONTEXT

SITE

The site is located in close proximity to Mornington Crescent and to the heart of Camden Town, which is a busy, lively and a highly connected area.

The development is within walking distance from some of London's major tourist attractions including The Camden Market, London Zoo and Regent's Park. Alongside this, the site is just north of the Oxford Street shopping district and connected to this by numerous underground and bus routes.

The site is within walking distance of national and international rail stations including St Pancras International, Euston and King's Cross.



[Above] Aerial view from VUcity



EXISTING SITE

The Site comprises 3 buildings in B1a office use. The existing floorspace is 530 sqm. The Site comprises under-utilised land in a sustainable and accessible location and is therefore ideal for redevelopment.

The Site is in the Camden Town Conservation Area, and the nearest listed building is Koko located c.50m to the south, separated by a number of buildings.



[01] Site image



[02] Site image



[03] Site image



[04] Site image

EXISTING SITE



THE 2019 CONSENTED SCHEME

The consented scheme (App Ref: 2018/3647/P) was approved in July 2019. Design by Ambigram Architects.

It proposed the demolition of existing buildings (530 sqm GIA of B1a office space) and the erection of a new part 3, part 4 and part 5 storey building with 2 basement levels. The scheme included:

- 691 sqm (GIA) of new co-working office floorspace (B1a Use Class).
- 61 No. hotel bedrooms (including 8 accessible rooms – 13%);
- An ancillary café/bar at ground floor – open to both guests, office workers and the public;
- Servicing from Bayham Street;
- 22 No. cycle parking spaces for guests and staff at basement level 1; and
- Zero car and coach parking (to be controlled through a Section 106 Agreement).

PROPOSED ALTERATIONS:

Below is a summary of the proposed amendments to the consented scheme:

GENERAL UPDATES:

- General improvement of internal layout efficiency through close collaboration with the interior designers, MEP consultants, Structural Engineer and the client team.
- In response to allowing sufficient means of escape for the hotel, an additional external stair has been introduced. The stair has been designed to be embedded into the consented fabric as far as possible.
- Site boundary confirmed. The previous scheme extended the basement to the kerb edge This was not refelective of the legal site boundary and consequently the new scheme proposes a buildable option within the site boundary which is located at the back of the pavement on Bayham Street. The overall GIA of the scheme is therefore reduced as a result
- Structural solution to the basement retaining walls has been introduced which reduces the internal available floor area to accommodate perimeter retaining structure.

FLOOR BY FLOOR

BASEMENT -2

- The previous scheme lacked sufficient space for plant and servicing. The new Basement -2 level solely accommodates fire life safety sprinkler tanks with hatch access from Basement -1. The sprinkler system is essential as it aligns the fire strategy with current regulations for life safety.

BASEMENT -1

- Introduction of 10 basement level guest rooms, only four of which are windowless.
- Improvement of BOH staff facilities and circulation.
- Increased provision of plant space; the direct result of detailed

coordination with the MEP consultant to ensure plant and hotel services can function adequately and efficiently.

- Omission of the gym.
- Basement foot print reduced to allow for perimeter structural retaining wall; detailed coordination with Structural Engineer to ensure buildability.

LOWER GROUND FLOOR

- Office use retained but reduced due to the structural perimeter foundation and also with the new proposal being within the site boundary.
- Proposals now provide 540 sqm GIA of B1a office use space compared to an existing 530sqm on site currently.
- Centralised toilet facilities allowed for.
- One front light well omitted to allow for servicing and access routes at ground floor level.
- Front access stair removed from lightwell to avoid security risk and to improve daylight quality within basement areas.

GROUND FLOOR

- The ground floor has been revised to provide a more efficient fluid transition of spaces through imprved permeability with independent entrances for hotel and office use.
- Ground floor level now hosts a dedicated work zone alongside a separated hotel cafe, bar and restaurant area.
- Updated main entry to accommodate accessible entry and draft protection with double sliding door.
- Revised lift access to better address public spaces.
- Dedicated office entry to the north of the site, which in addition acts as the secondary emergency escape route and access route for office cycles and substation maintenance.
- Dedicated Cycle storage for office use – 24 spaces (increase of 2 from existing approved scheme).
- The introduction of a required UKPN substation as the previous scheme did not accommodate for this requirement.
- BOH offer revised to improve hotel functionality.

DESCRIPTION OF PROPOSED AMENDMENTS

FIRST TO THIRD FLOOR

- Guestroom configurations revised to improve the general circulation with the scheme.
- Guestroom layouts standardised to align with brand requirements.
- Linen stores introduced to each level with direct lift access.
- Risers allowed for to comply with MEP requirements.
- Life safety generator has been introduced and located inside the envelope of the building at Level 1 so as to reduce the viusal impact to surrounding neighbours.

FOURTH FLOOR

- Fourth floor revised to allow for high quality suites to align with clientele expectations.
- One large suit allowed for fronting Bayham Street with private external roof terrace.

ROOF LEVEL

- Plant screen height increase to allow for adequate plant screening.
- Roof plant stair access provided to comply with H&S requirements.

EXTERNAL AMENDMENTS

- Building massing aligns with existing planning approved massing.
- The main facade(east) has been revised to reflect the new internal layouts and also the Camden context, whilst adhering the key design language of the previously consented scheme.
- Window proportions and locations revised to align better with a ‘warehouse’ aesthetic.
- The North, South and West facades have been revised to simplify the design features and better sympathise with neighbouring building typologies with an emphasis on improving privacy and reducing overlooking.
- Materiality aligns with existing planning consent.
- Life safety generator air vent shown on level 2 roof.
- Emphasis on non-combustible facade build ups and design. Green walling has therefore been omitted from the scheme due to fire safety concerns.

CONSULTANT SUPPORT OF AMENDMENTS

MEP CONSULTANT

The consented scheme included for the installation of CHP units to provide LTHW for the scheme, however it became apparent insufficient MEP plant space had be included for gas metering and thermal water storage.

Existing planning condition 12 also required excessive ventilation for the CHP unit, this space allowance was not included in the space plans for the consented scheme.

The GLA are pushing any scheme that is being revised to ensure it meets the 35% carbon reduction target on the basis of the latest SAP 10 carbon emission factors.

CHP units no longer achieve this reduction level under the SAP 10 methodology (the latest methodology used for carbon dioxide reduction calculations)

The updated Energy Thermal model and report for the scheme, using ASHP scenarios which would likely improve the existing E&S performance criteria previously issued for planning.

Along with that, removing the CHP from internal location within the building omits condition 12 mechanical ventilation associated with the CHP plus indoor air quality challenges

Potential on-site renewable energy systems have been undertaken for the development, Air source heat pumps (ASHP) are appropriate as the development comprises hotel space, and requires active cooling.

High efficiency Variable Refrigerant Volume/Flow (VRV/VRF) equipment will operate as the main communal heating (and cooling) system for

the building. Separate air source heat pumps, specifically designed to operate at high temperatures, will provide domestic hot water to the development.

The VRF equipment will be specified to exceed the minimum performance standards as set out in the Enhanced Capital Allowances (ECA) product criteria for Air Heat Pumps, Split, Multi-split and VRF

Although the consented hotel scheme allowed for some form of comfort cooling within the guest rooms, roof plant space and heights was unsuitable. To provide the levels of heating / cooling required for guest comfort within a hotel the external plant design is key.

An increase plant height is being requested from the consented scheme to allow for the ASHP condensers, plus the hotel Ventilation systems to be a roof level (open to atmosphere, yet hidden behind architectural screens.

Along with that, removing the CHP from internal location within the building omits condition 12 mechanical ventilation associated with teh chp plus indoor air quality challenges

The design of the building doesn't just include for residential sleeping within the hotel but also occupied basement sleeping areas.

The fire strategy details the requirements for water suppression system along with smoke extract within these areas (this also supports longer escape routes). In order to supply back electrical supplies to the life safety water suppression and smoke extract a secondary electrical supply is required, based on BS9999 the current proposal is to provide a generator unit.

Secondary life safety supplies are required to comply with the fire strategy for the hotel. Life safety secondary supplies will be provided by a

life safety secondary generator set (this is not back up power). The life safety generator will provide secondary supplies to a life safety switch-board located in a 2hr fire rated switch room adjacent to the generator enclosure. The standby generator will be sized on the following but not limited to the following life safety power requirements:

- Fire-fighting lifts
- Smoke Extract systems.
- Commercial suppression (water mist) system pumps

BASEMENT

NO EQUIVALENT LAYOUT

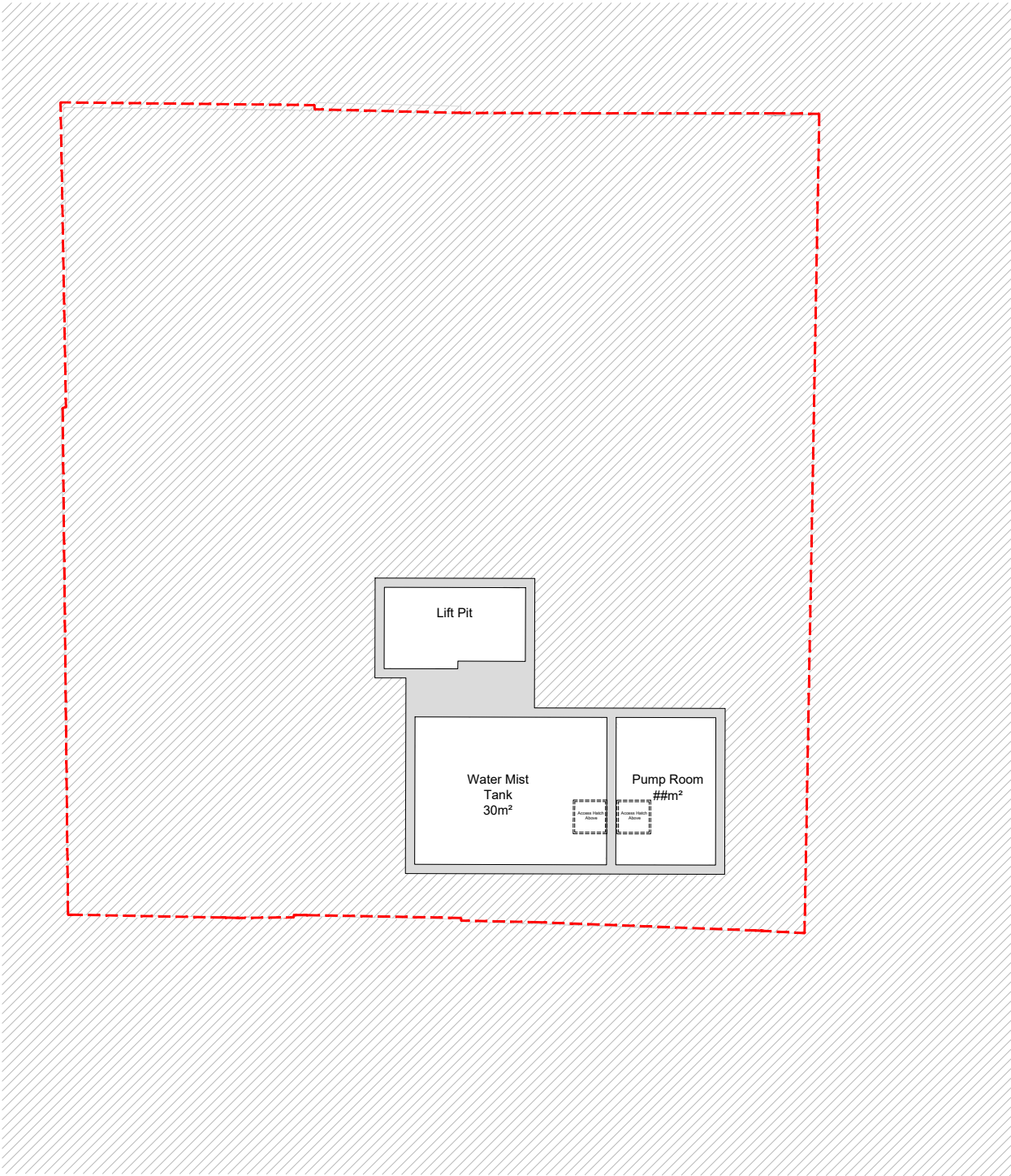


BASEMENT 2

PROPOSED

AMENDMENTS:

The previous scheme lacked sufficient space for plant and servicing. The new Basement -2 level solely accommodates for fire life safety sprinkler tanks with hatch access from Basement -1. The fire sprinkler system is essential as it aligns the fire strategy with current regulations for life safety.

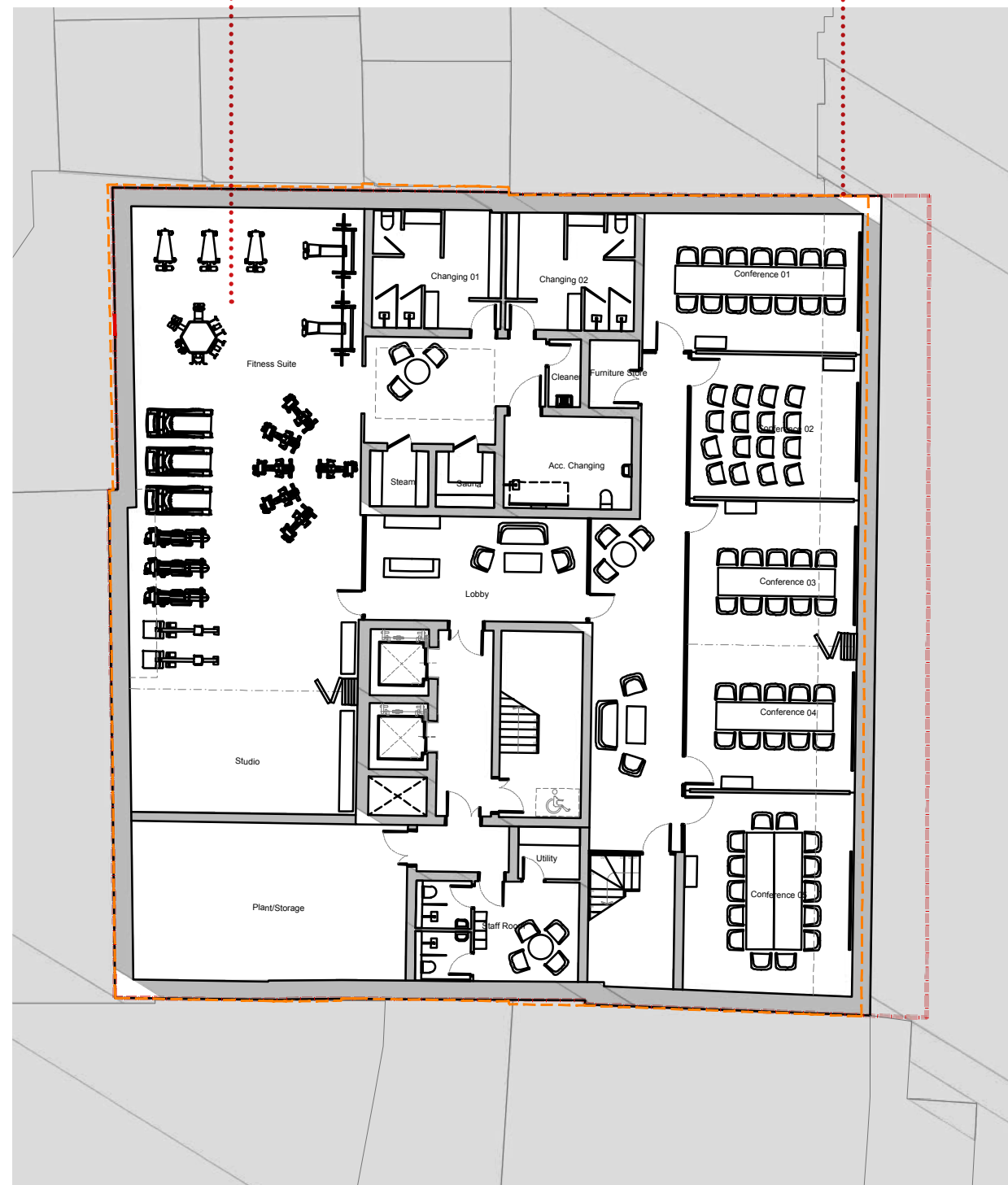




..... Oversize gym for the proposed hotel use but too small for public use.

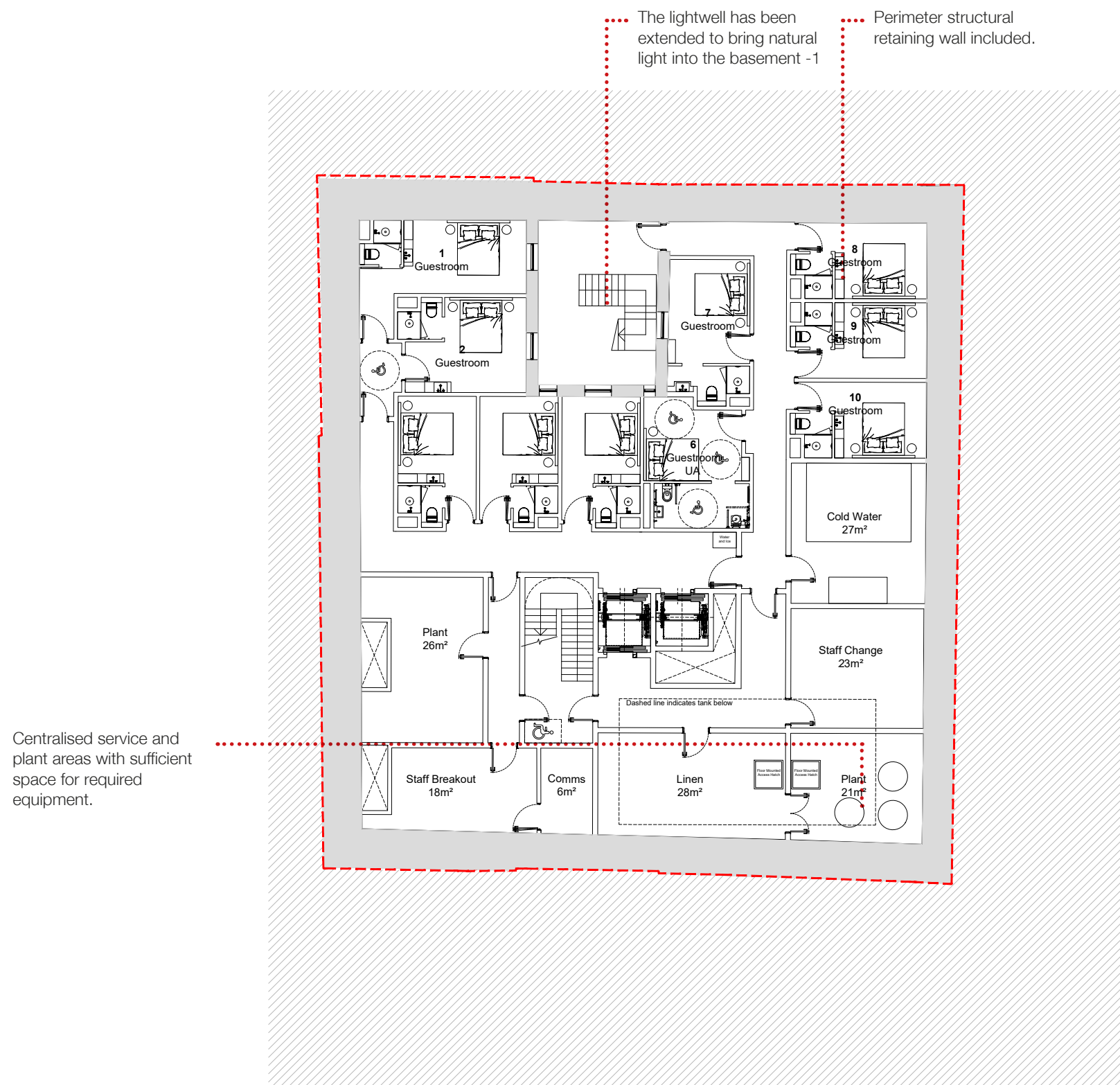
..... Consented scheme shows nominal structural wall for basement.

BASEMENT CONSENTED



Consented Basement Floor
1:100

- Consented scheme boundary line
- Updated boundary line indicated



BASEMENT -1

PROPOSED

AMENDMENTS:

The footprint of Basement -1 has been modified following coordination with the structural engineers, introducing a perimeter structural retaining wall.

There are some minor amendments as follows:

- Introduction of 10 basement level guest rooms, only four of which are windowless.
- Improvement of BOH staff facilities and circulation.
- Increased provision of plant space; the direct result of detailed coordination with the MEP consultant to ensure plant and hotel services can function adequately and efficiently.
- Omission of the gym.
- Basement footprint reduced to allow for perimeter structural retaining wall; detailed coordination with Structural Engineer to ensure buildability.
- The consented scheme included for the installation of a CHP unit to provide LTHW for the scheme, however it became apparent insufficient MEP plant space had be included for the gas metering and thermal water storage.
- Existing planning condition 12 also required excessive ventilation for the CHP unit, this space allowance was not included in the space plans for the consented scheme.



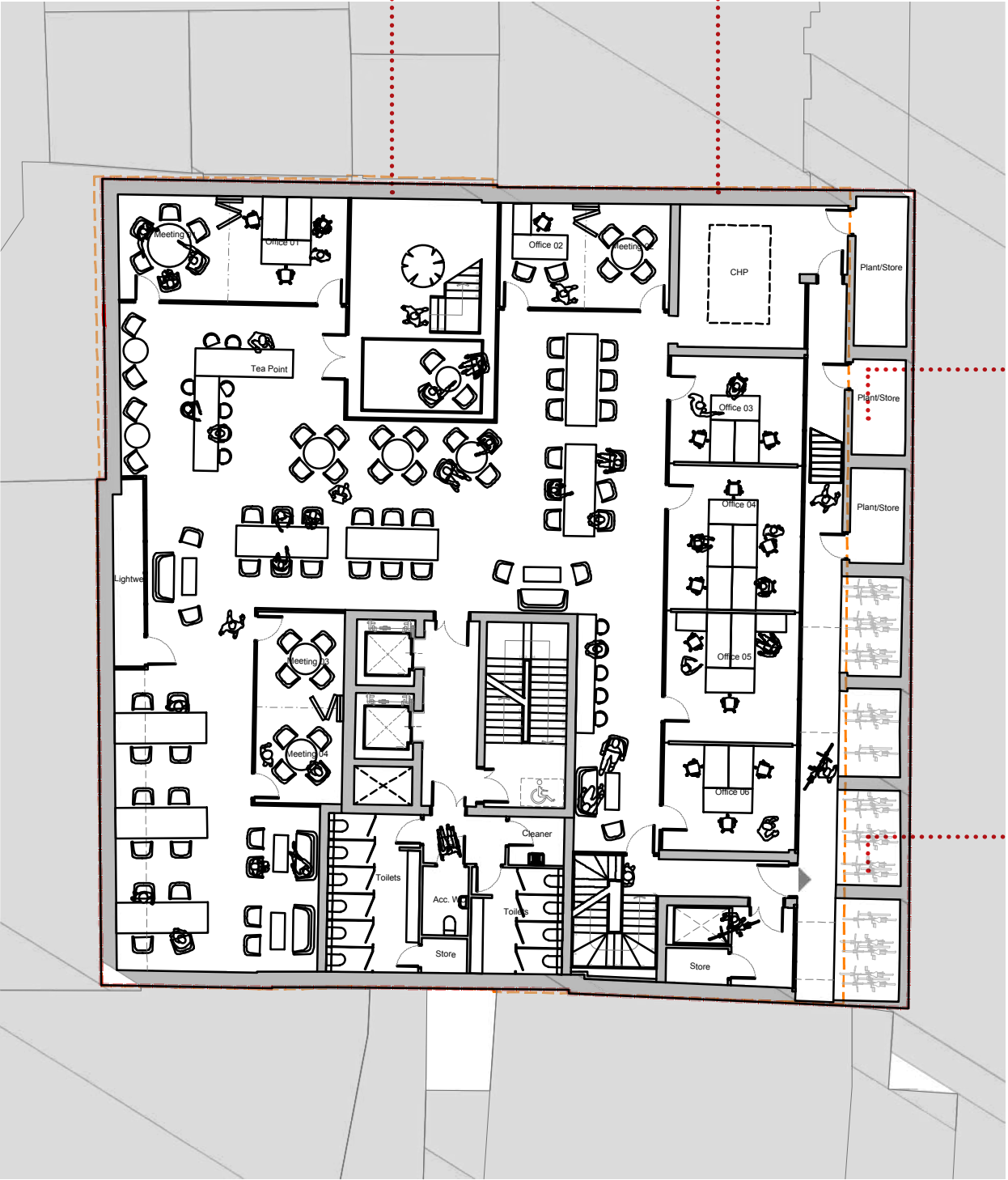
[Above] Precedent of a windowless room.



The consented scheme was proposing a green wall at this level. The north facing facade won't have natural light enough to keep plants alive.

Service provision not adequate for the hotel operation, size and offer. No provision for dedicated life saving systems.

LOWER GROUND
CONSENTED



Consented scheme built outside of building line.

Cycle store access via lift through ground floor not convenient.

- - - - - Consented scheme boundary line
- - - - - Updated boundary line indicated

Consented Lower Ground Floor
1:100



LOWER GROUND

PROPOSED

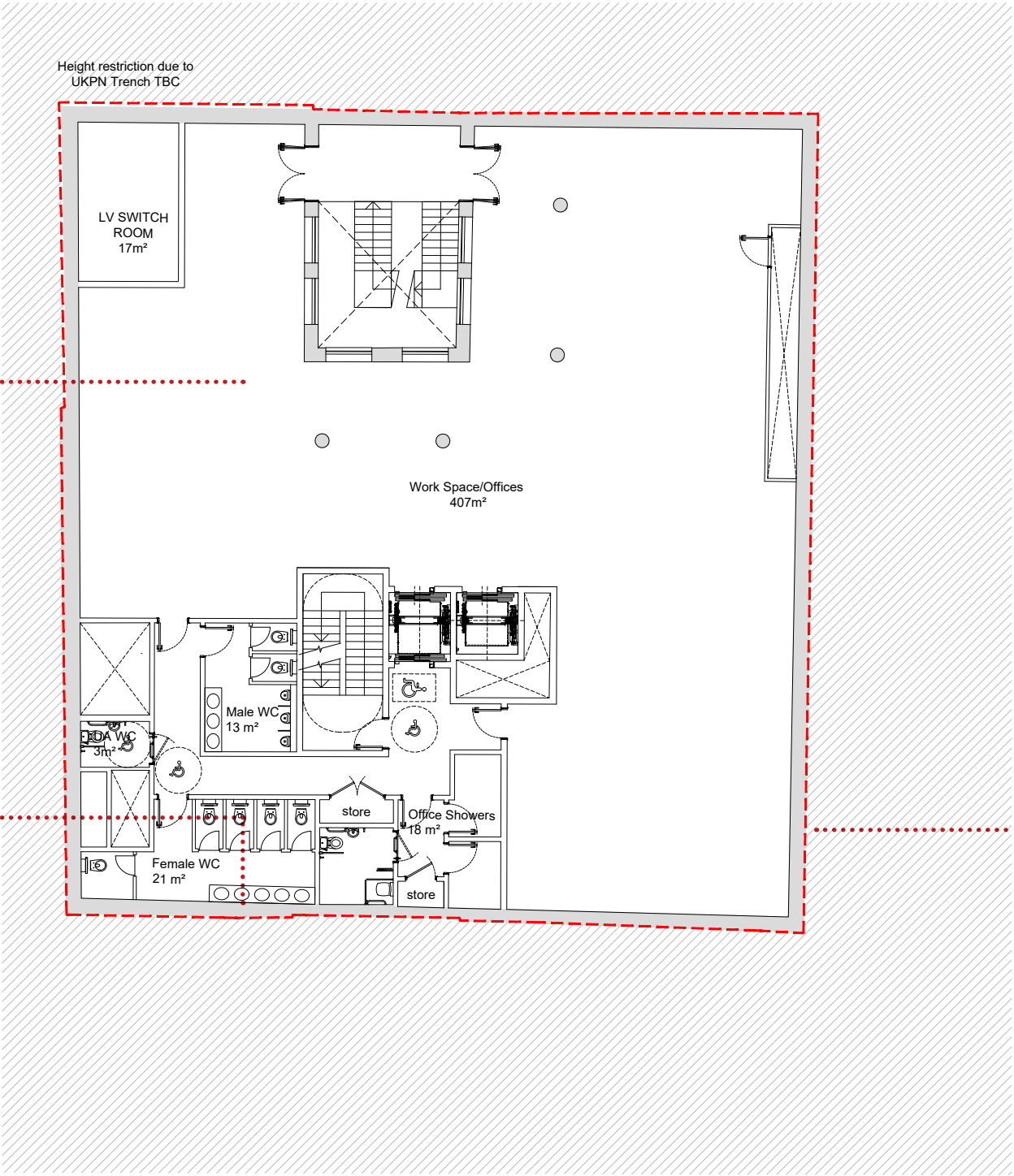
AMENDMENTS:

- Office use retained but reduced in area due to the retaining wall and the new proposal being within the site boundary.
- Proposals now provide 540 sqm GIA of B1a office use space compared to an existing 530sqm on site currently.
- Centralised toilet facilities allowed for.
- One front light well omitted to allow for servicing and access routes at ground floor level.
- Front access stair removed from lightwell to avoid security risk and to improve daylight quality within basement areas.
- The consented scheme included for the installation of a CHP unit to provide LTHW for the scheme, however it became apparent insufficient MEP plant space had be included for the gas metering location and the thermal water storage.
- Existing planning condition 12 also required excessive ventilation for the CHP unit, this space allowance was not included in the space plans for the consented scheme.

Office internal layout to be determined by client and interior design team.

Centralised WC and shower location.

Lightwell omitted to allow for better servicing at ground floor level.

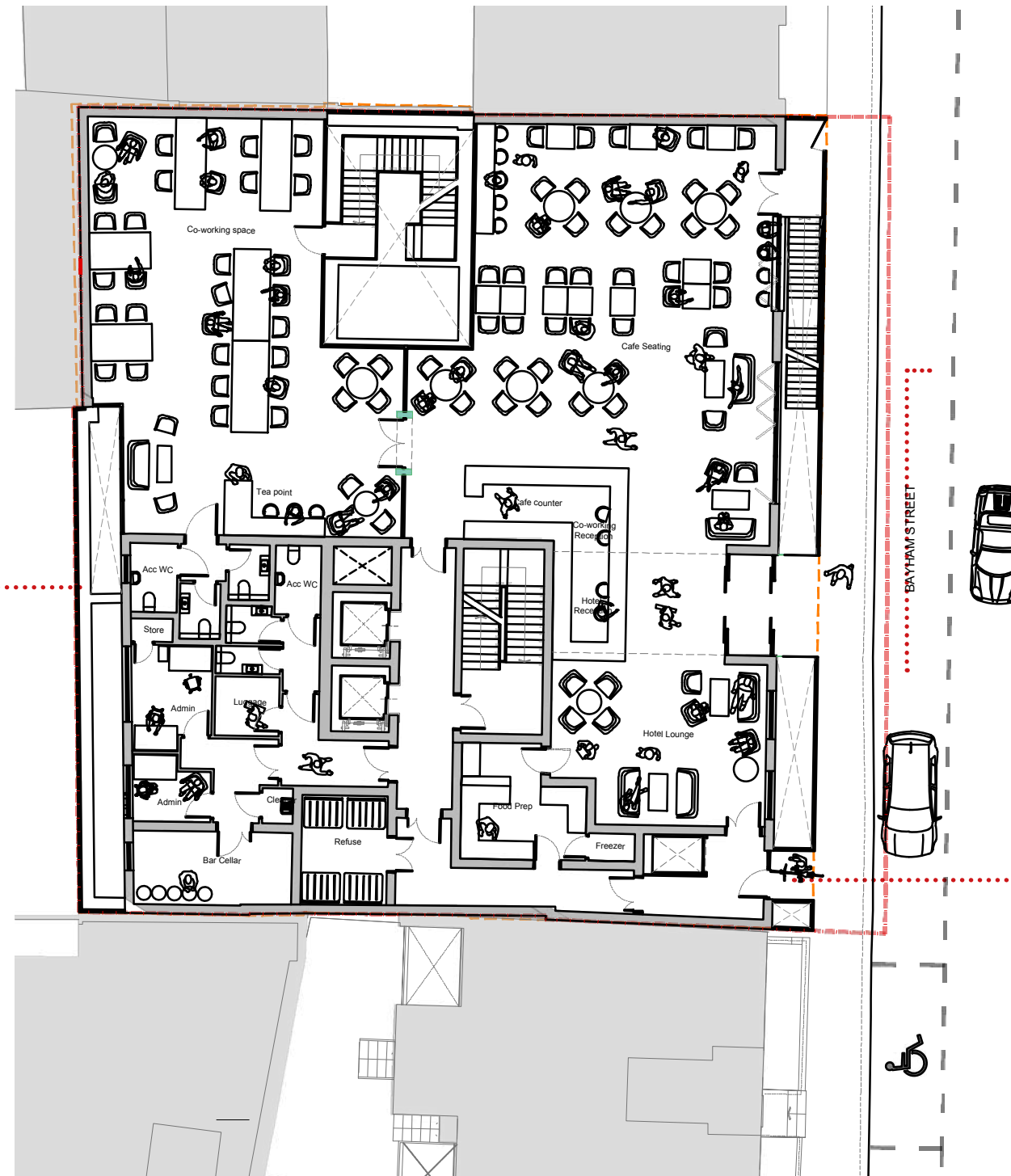
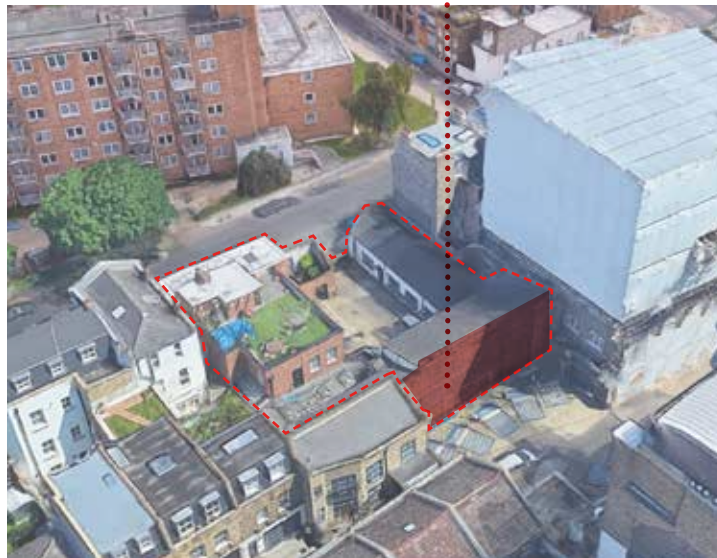




GROUND CONSENTED

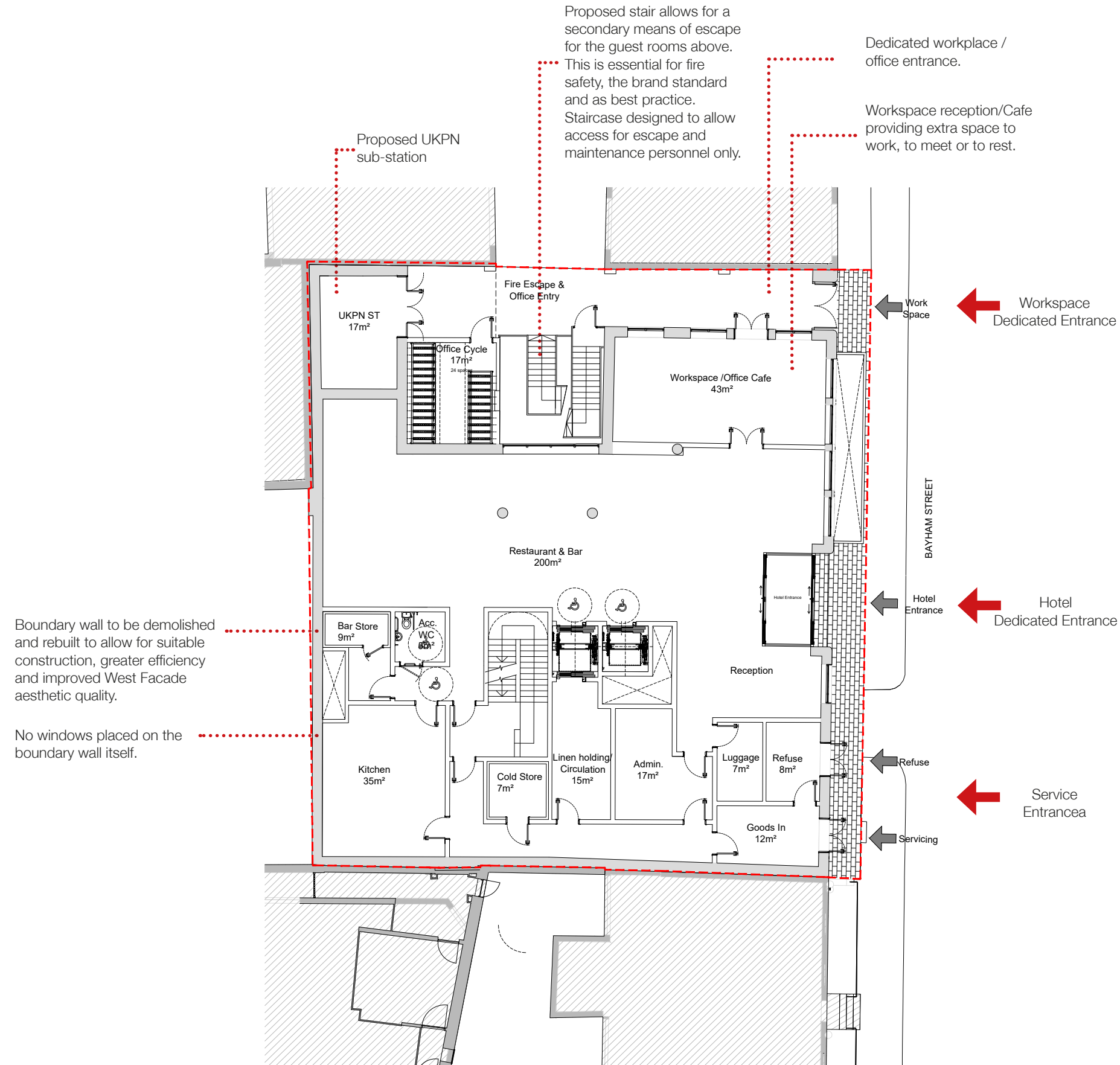
The consented scheme is lacking UKPN sub station provision and areas for service and MEP provision. No service risers indicated.

Retained boundary wall from elevations not shown within consented scheme. Lightwell too narrow for suggested use.



Service entrance and BOH areas have long circulation and inefficient layout.

- Consented scheme boundary line
- Updated boundary line indicated



GROUND FLOOR PROPOSED

AMENDMENTS:

- The ground floor has been revised to provide a more efficient fluid transition of spaces through improved permeability with independent entrances for hotel and office use. This is achieved through dedicated lower ground office space and the reduction of office space at ground floor.
- Ground floor level now hosts a dedicated work zone alongside a separate hotel cafe, bar and restaurant area.
- Updated main entry to accommodate accessible entry and draft protection
- Revised lift access to better address public spaces.
- Dedicated office entry to the north of the site, which in addition acts as the secondary emergency escape route and access route for office cycles and substation maintenance.
- Cycle storage – 24 spaces (increase of 2 from existing approved scheme).
- BOH offer revised to improve hotel functionality.
- The consented scheme had no allowance for incoming electrical utility infrastructure. The proposed scheme includes the provision for a dedicated DNO substation within the building footprint.
- This substation will provide primary electrical supplies to the scheme.



FIRST FLOOR CONSENTED

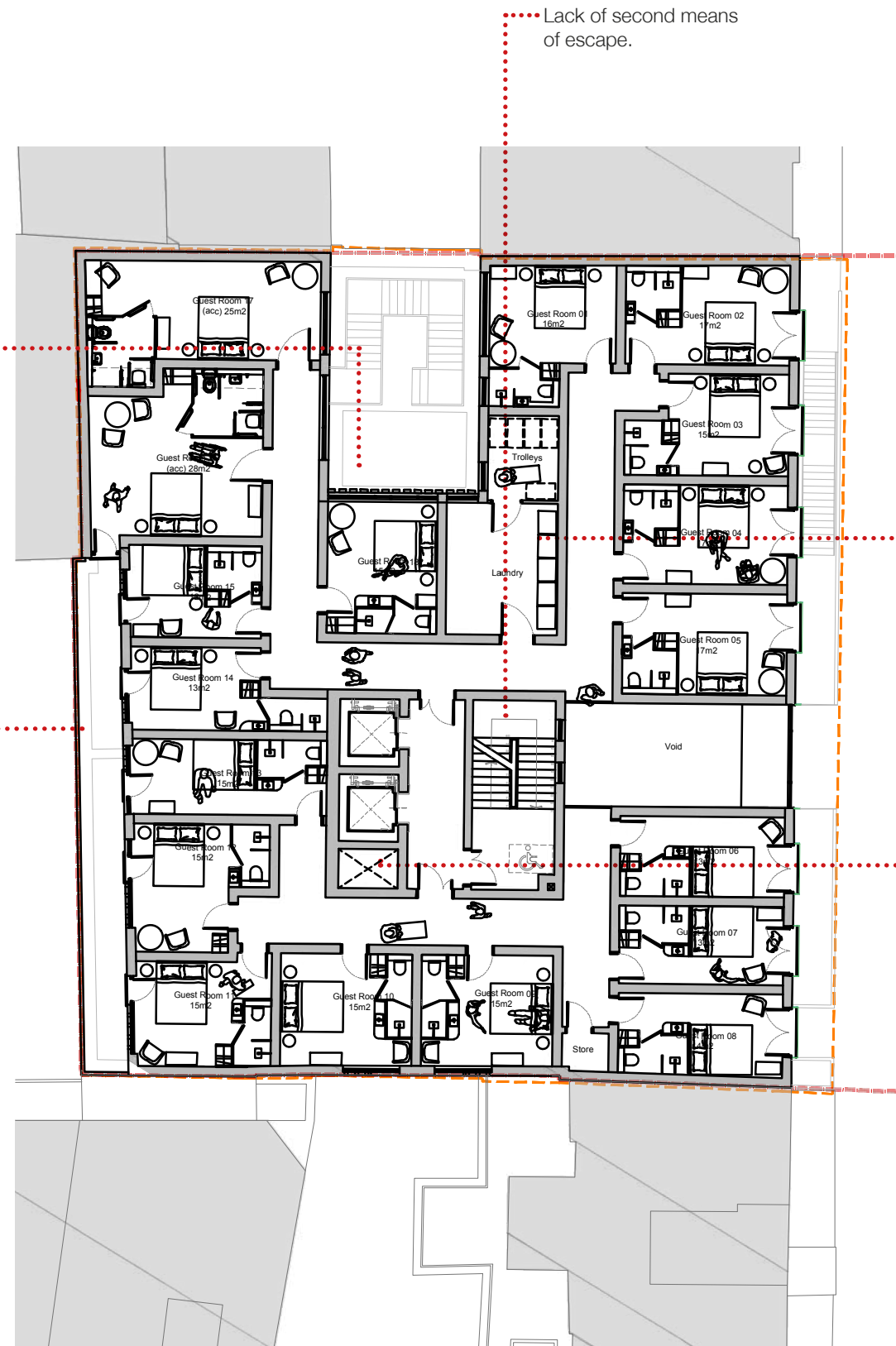
Excessive glazing into courtyard,
impacting on overlooking issues
and maintenance.

Retained wall compromises 2.5
levels of guestroom outlook.
Lightwell is too narrow for
intended use and creates a
maintenance issue.

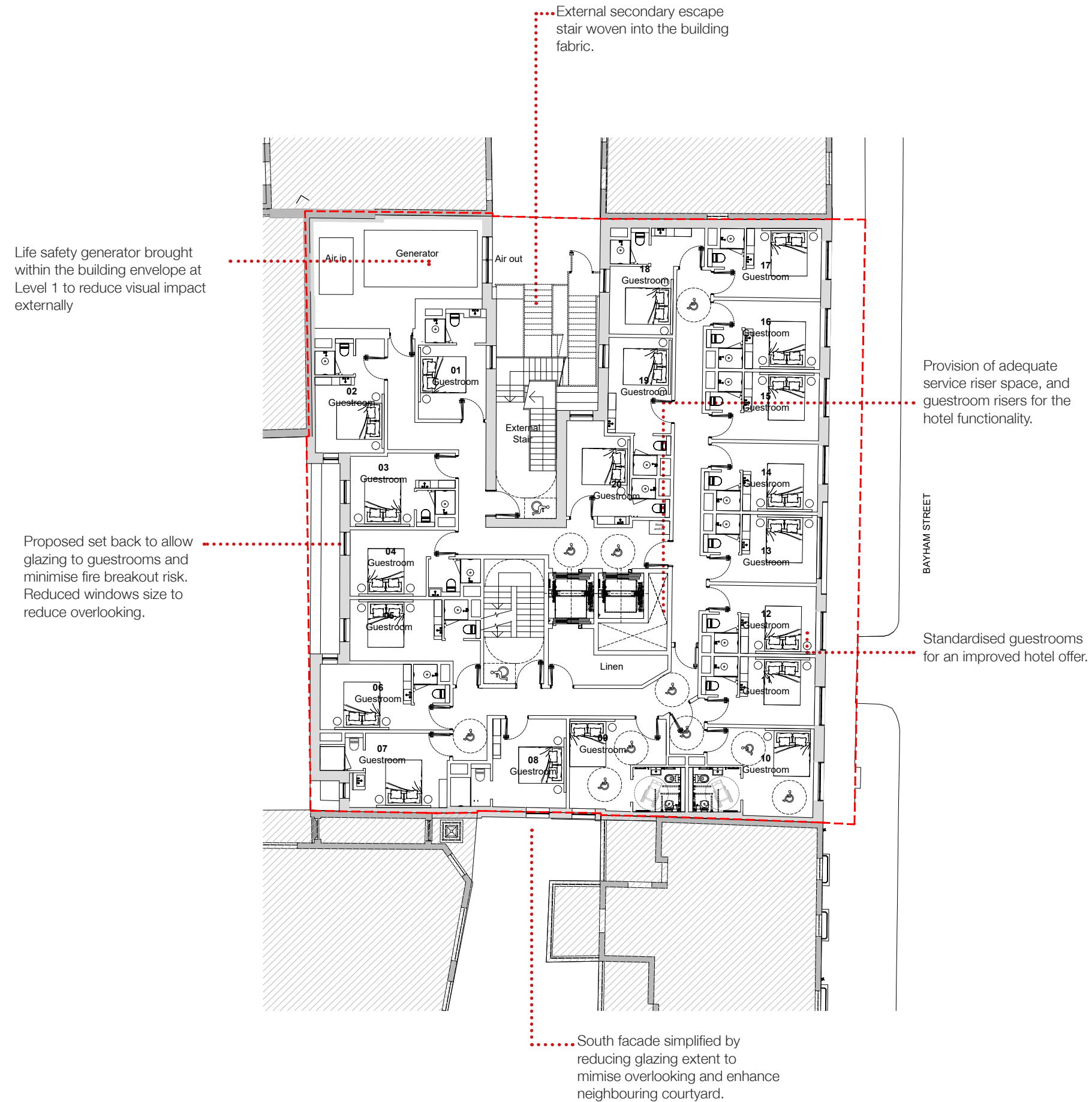
Lack of second means
of escape.

Hotel Servicing not
centralised.

Lack of services riser space
in core and also within
guestroom spaces.



- Consented scheme boundary line
- Updated boundary line indicated



FIRST FLOOR

PROPOSED

AMENDMENTS:

- Guestroom configurations revised to improve the general circulation with the scheme.
- Guestroom layouts standardised to align with brand requirements.
- Linen stores introduced to each level with direct lift access.
- Risers allowed for to comply with MEP requirements.
- Life safety generator brought within the building envelope at Level 1 to reduce visual impact externally

There are various critical Life safety systems required to comply with the fire strategy for the hotel. The fire strategy details the requirement for a water suppression system along with smoke extract, which also supports longer escape routes. These systems will be connected to the primary incoming electrical power, but they must be guaranteed to function in an emergency. Accordingly, a secondary electrical supply is required. A suitable secondary grid connection is not available, therefore to satisfy this requirement it is proposed to provide a life safety generator unit, compliant with BS9999.

The life safety generator will provide a backup electrical supply to a life safety switchboard located in a 2hr fire rated switch room adjacent to the generator enclosure. The generator will only operate for periodic maintenance/testing and in emergency conditions (in the event of the loss of principal power connections).



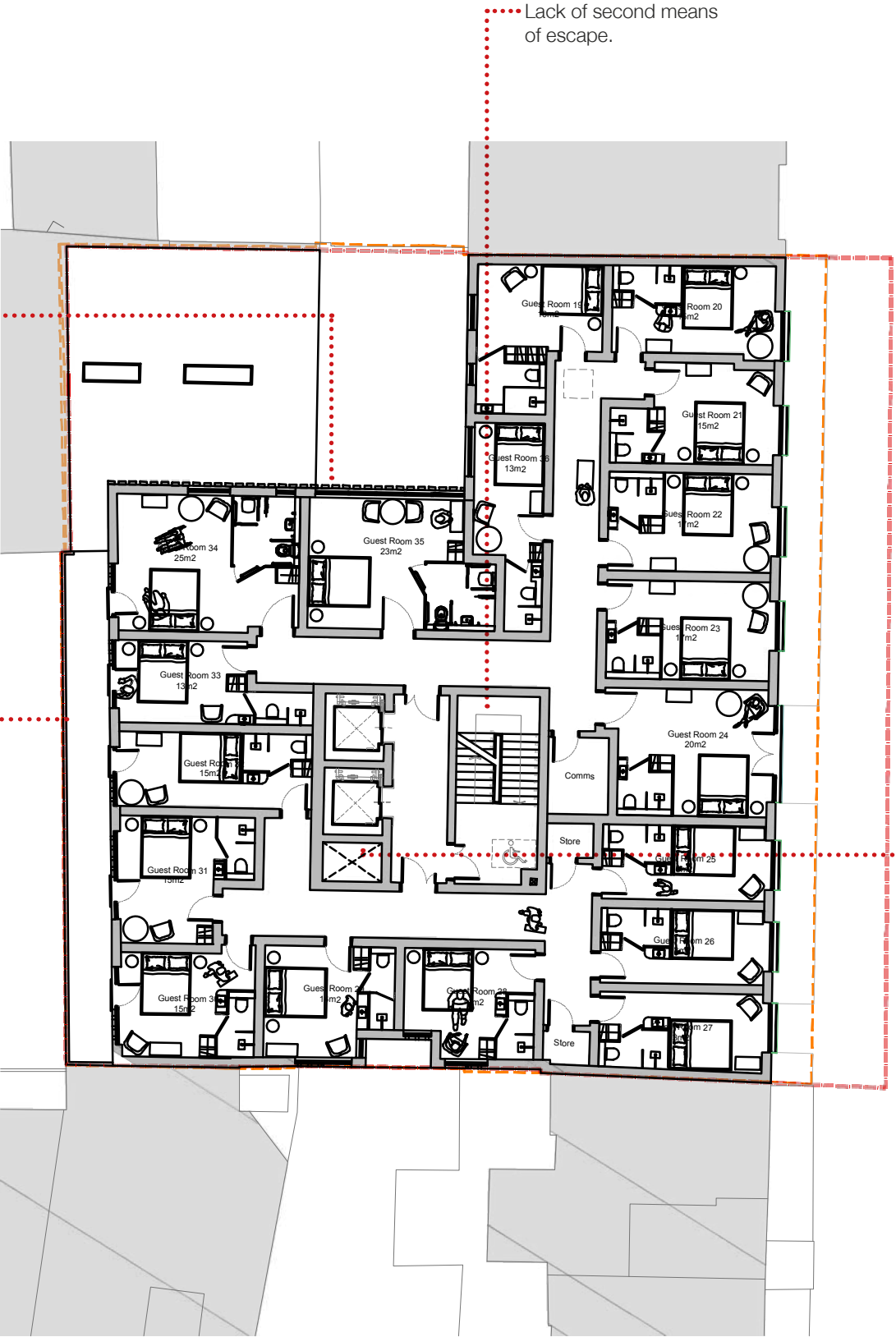
SECOND FLOOR
CONSENTED

Excessive glazing into courtyard,
impacting on overlooking issues
and maintenance.

Retained wall compromises 2.5
levels of guestroom outlook.
Lightwell is too narrow for
intended use and creates a
maintenance issue.

Lack of second means
of escape.

Lack of services riser space
in core and also within
guestroom spaces.



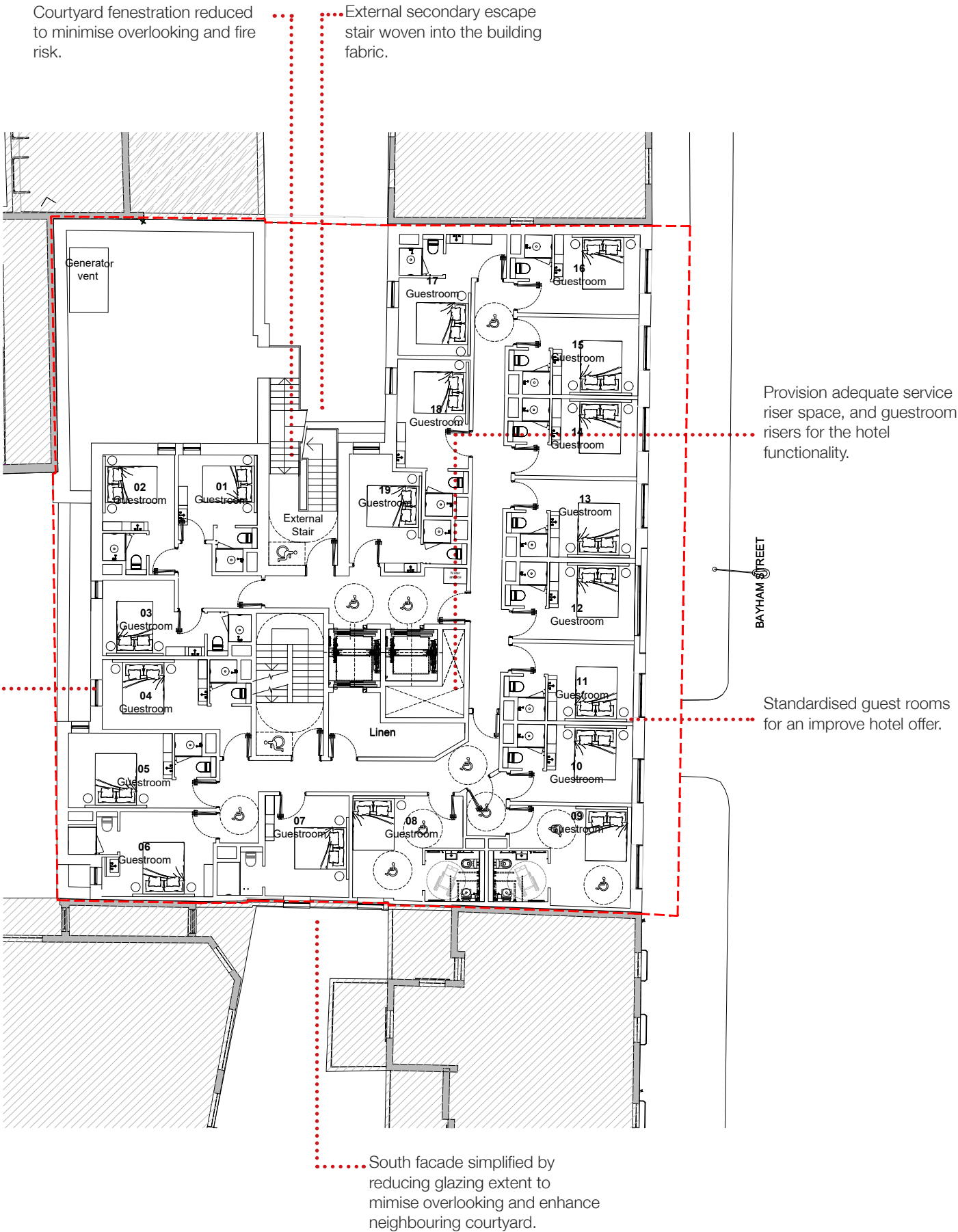
- Consented scheme boundary line
- Updated boundary line indicated

SECOND FLOOR

PROPOSED

AMENDMENTS

- Guestroom configurations revised to improve the general circulation with the scheme.
- Guestroom layouts standardised to align with brand requirements.
- Linen stores introduced to each level with direct lift access.
- Risers allowed for to comply with MEP requirements.
- The consented scheme had insufficient space allowance for MEP services distribution. One Riser was provided to distribute the MEP services vertically through the building, although BS define segregation between MEP services. The proposed scheme includes the provision for a dedicated Vertical risers to distribute MEP equipment between the roof and basement areas.





THIRD FLOOR
CONSENTED

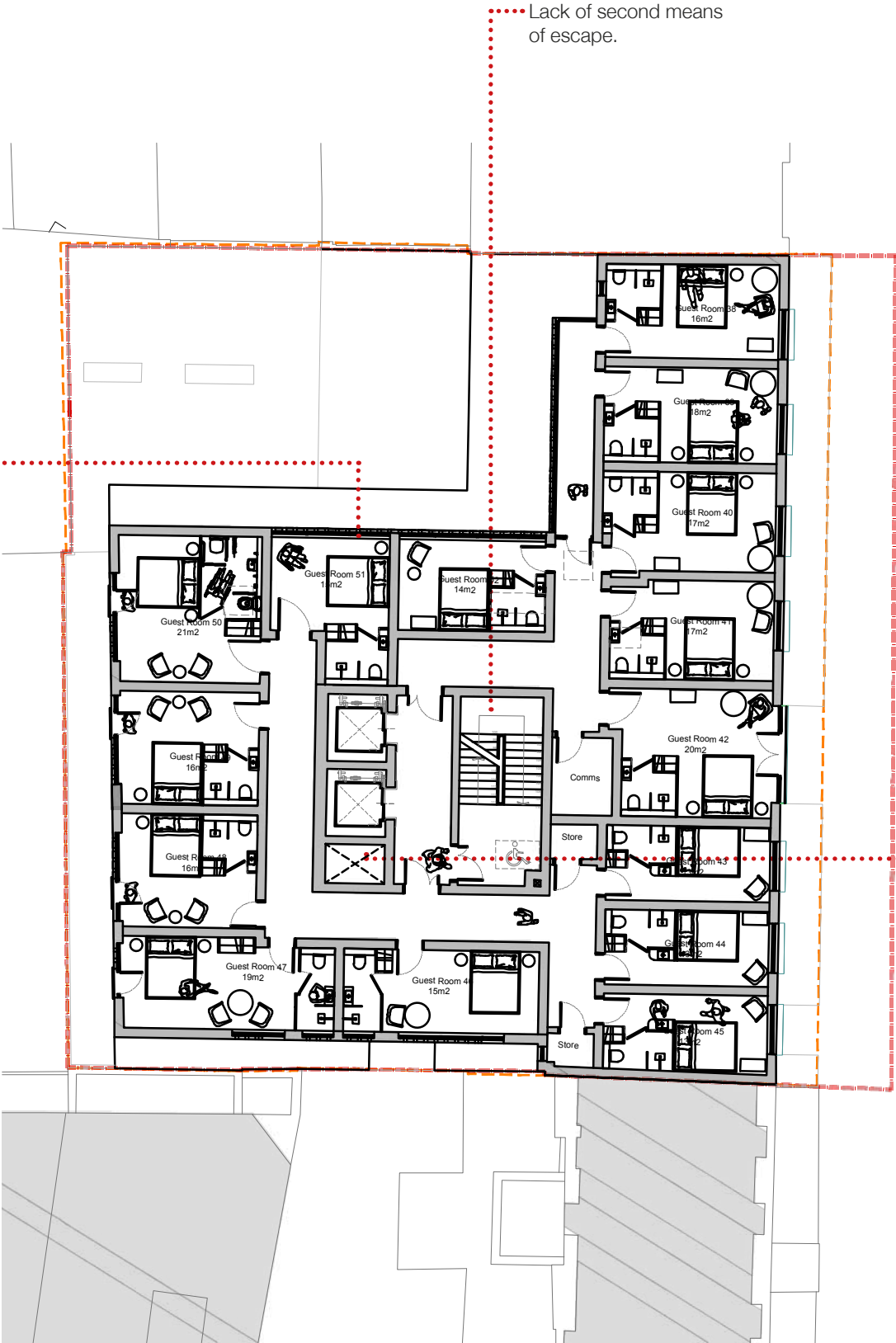
Excessive glazing to the north elevation, creating overlooking issues and difficult maintenance.

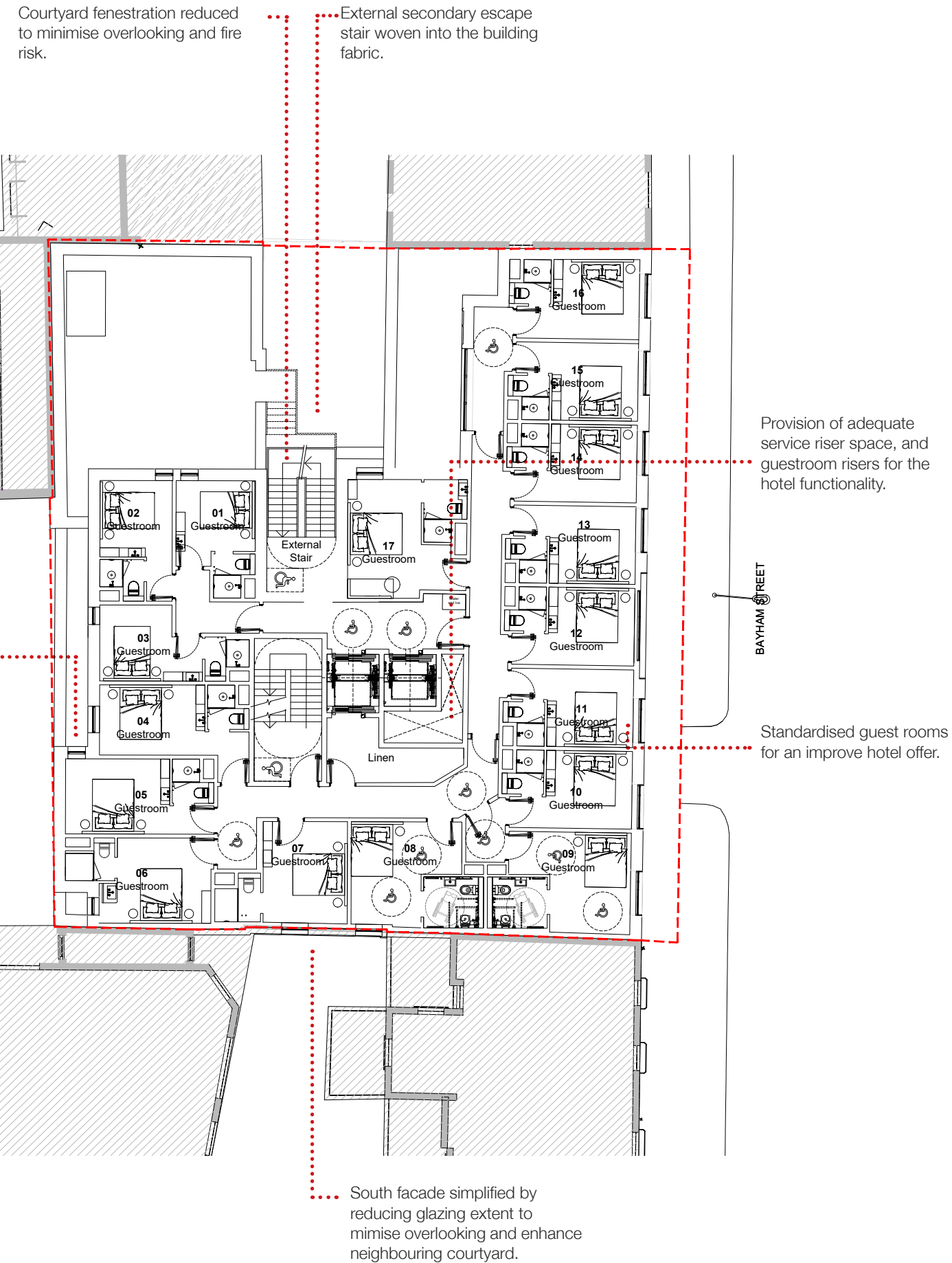
Lack of second means of escape.

Lack of services riser space in core and also within guestroom spaces.

BAYHAM STREET

- Consented scheme boundary line
- Updated boundary line indicated





THIRD FLOOR

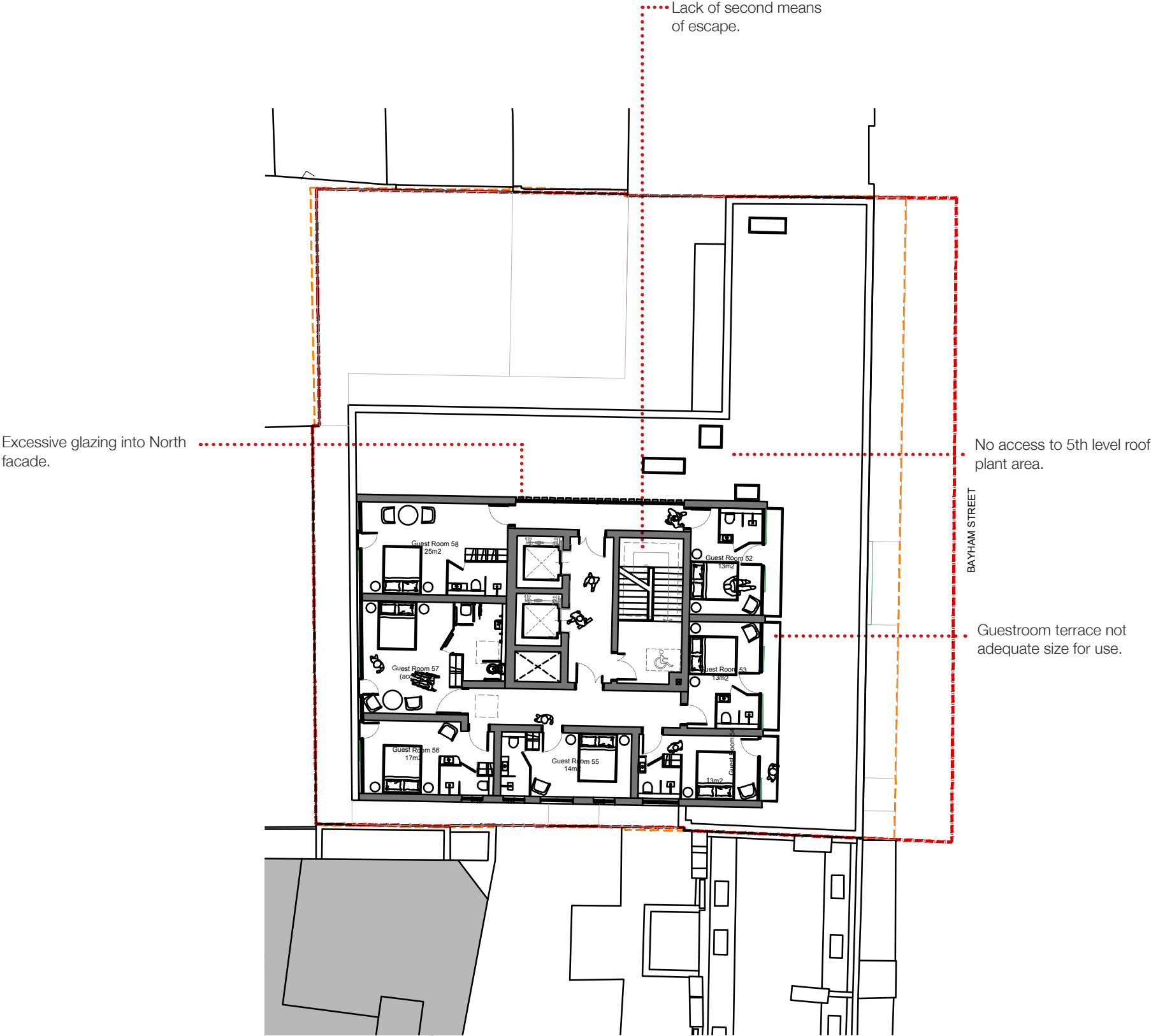
PROPOSED

AMENDMENTS

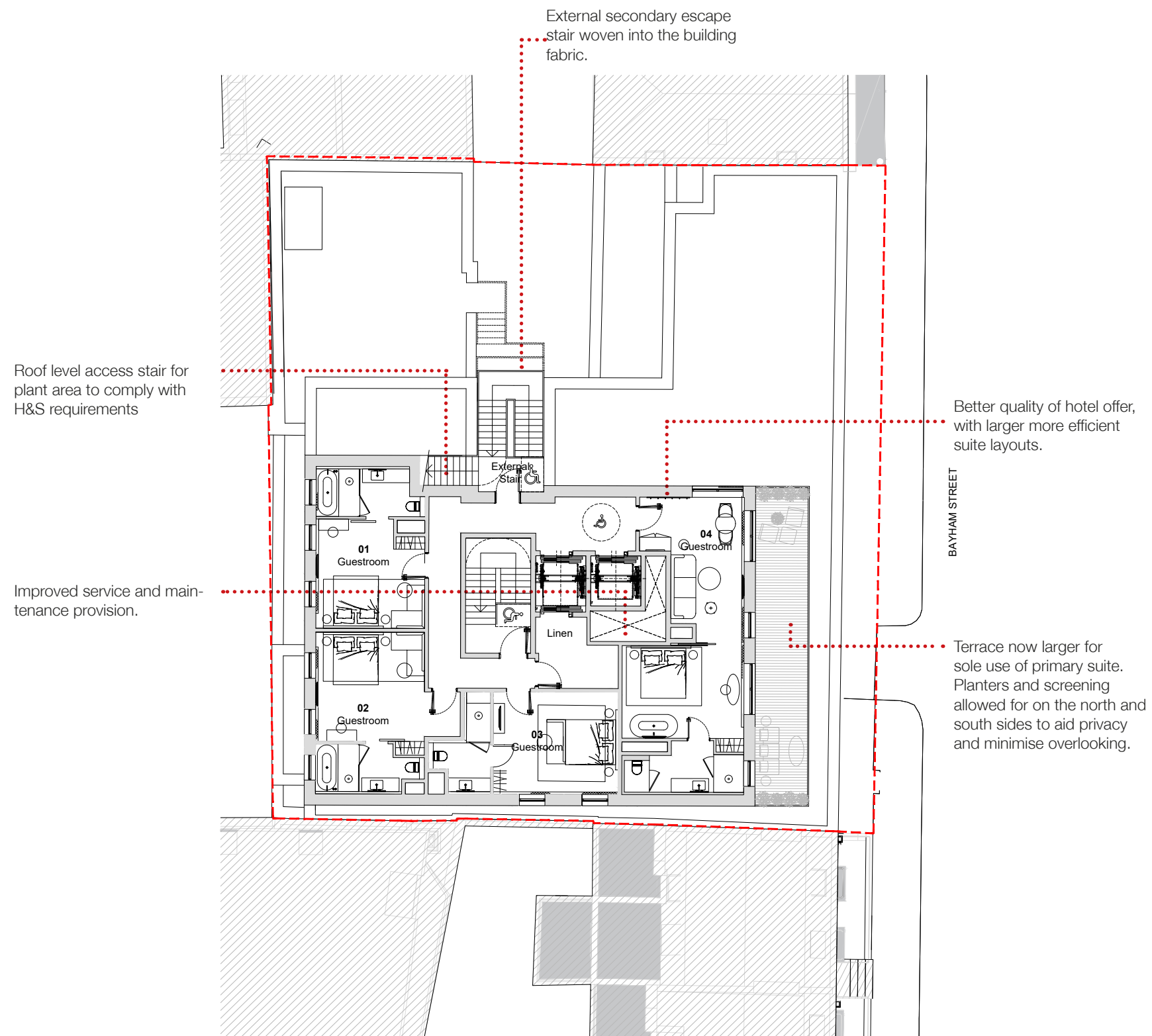
- Guestroom configurations revised to improve the general circulation with the scheme.
- Guestroom layouts standardised to align with brand requirements.
- Linen stores introduced to each level with direct lift access.



FOURTH FLOOR
CONSENTED



- Consented scheme boundary line
- Updated boundary line indicated



FOURTH FLOOR

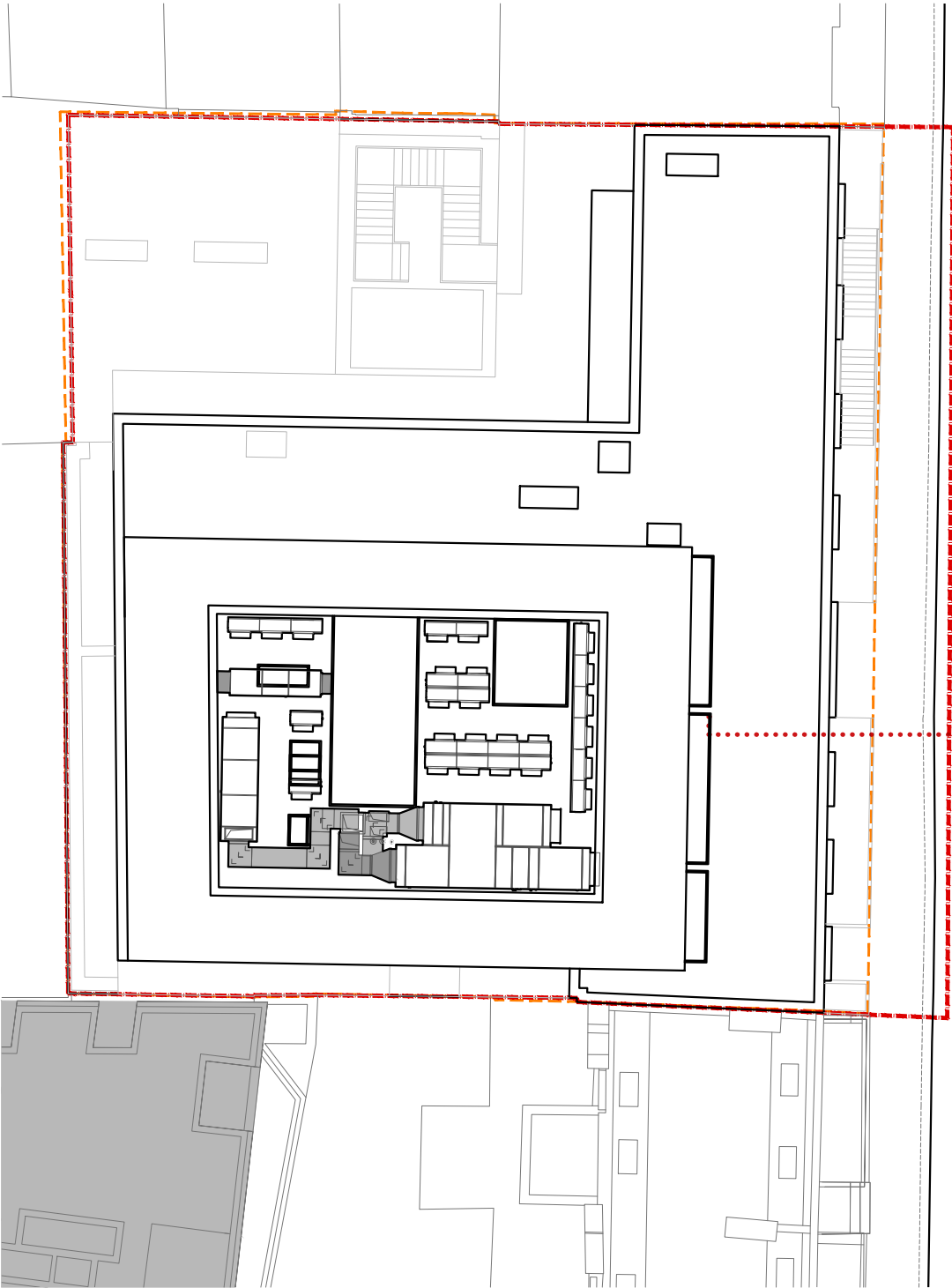
PROPOSED

AMENDMENTS:

- Fourth floor revised to allow for high quality suites to align with clientele expectations.
- One large suite added fronting Bayham Street with private external roof terrace.

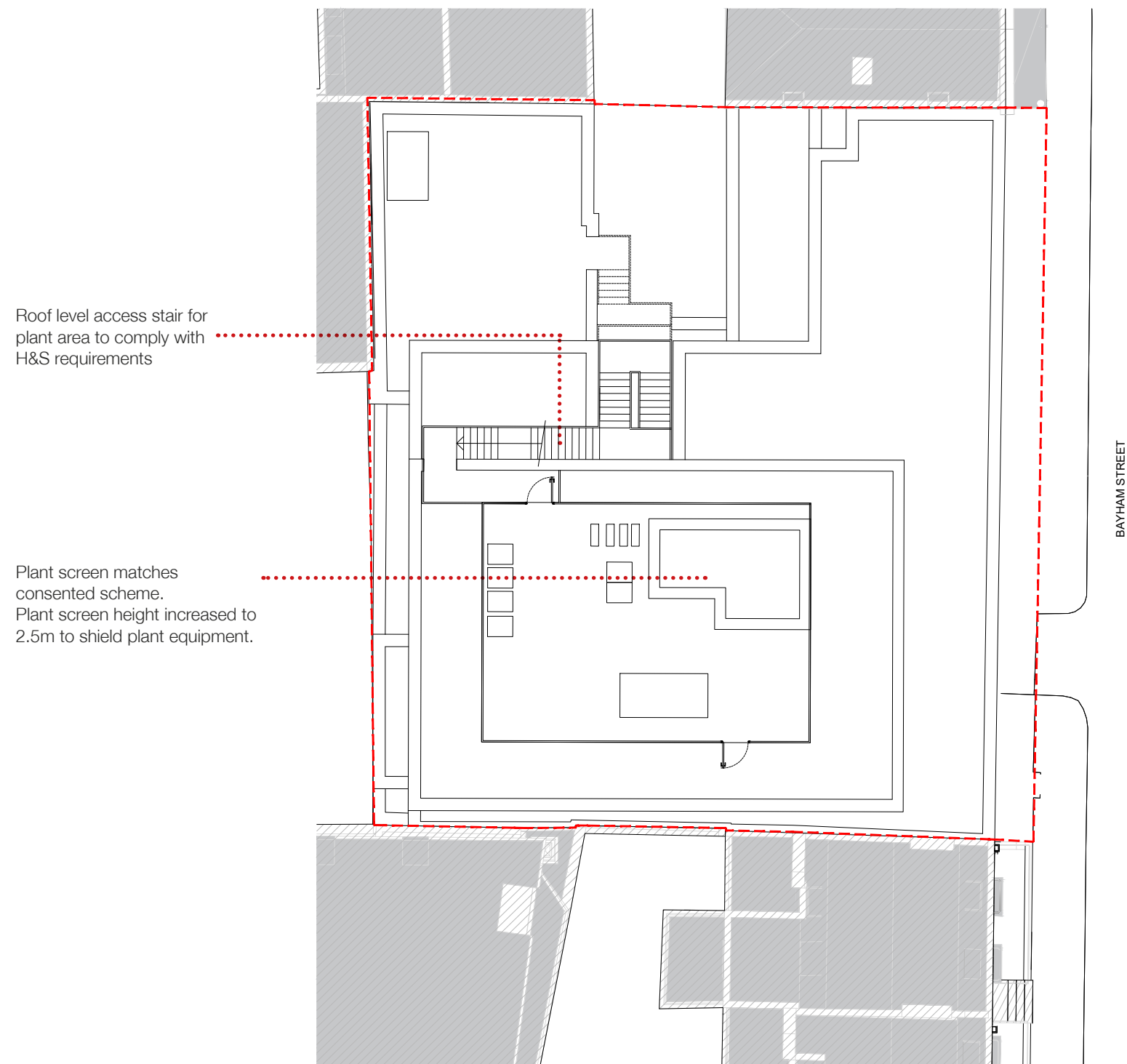


ROOF
CONSENTED



Limited access to roof plant area.

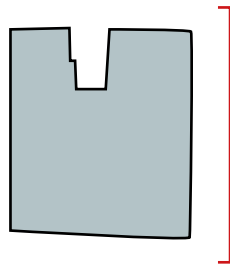
- Consented scheme boundary line
- Updated boundary line indicated



ROOF PROPOSED

AMENDMENTS:

- Plant screen height increased to allow for adequate screening.
- The consented scheme allowed for minimal MEP plant at roof level and access for routine maintenance was not included. H&S guidance states that 3 points of contact should be available for employees accessing plant.
- Employees carrying tools and climbing ladders is not accepted. Further guidance on adequate plant space access for workmen with tools can be provided by the Principle Designer.



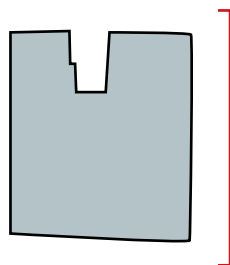
EAST ELEVATION
CONSENTED

Consented scheme
lightwells create a difficult
relationship to neighbouring
buildings on Bayham St.



Consented access stair acts
as potential security risk

Site Boundary

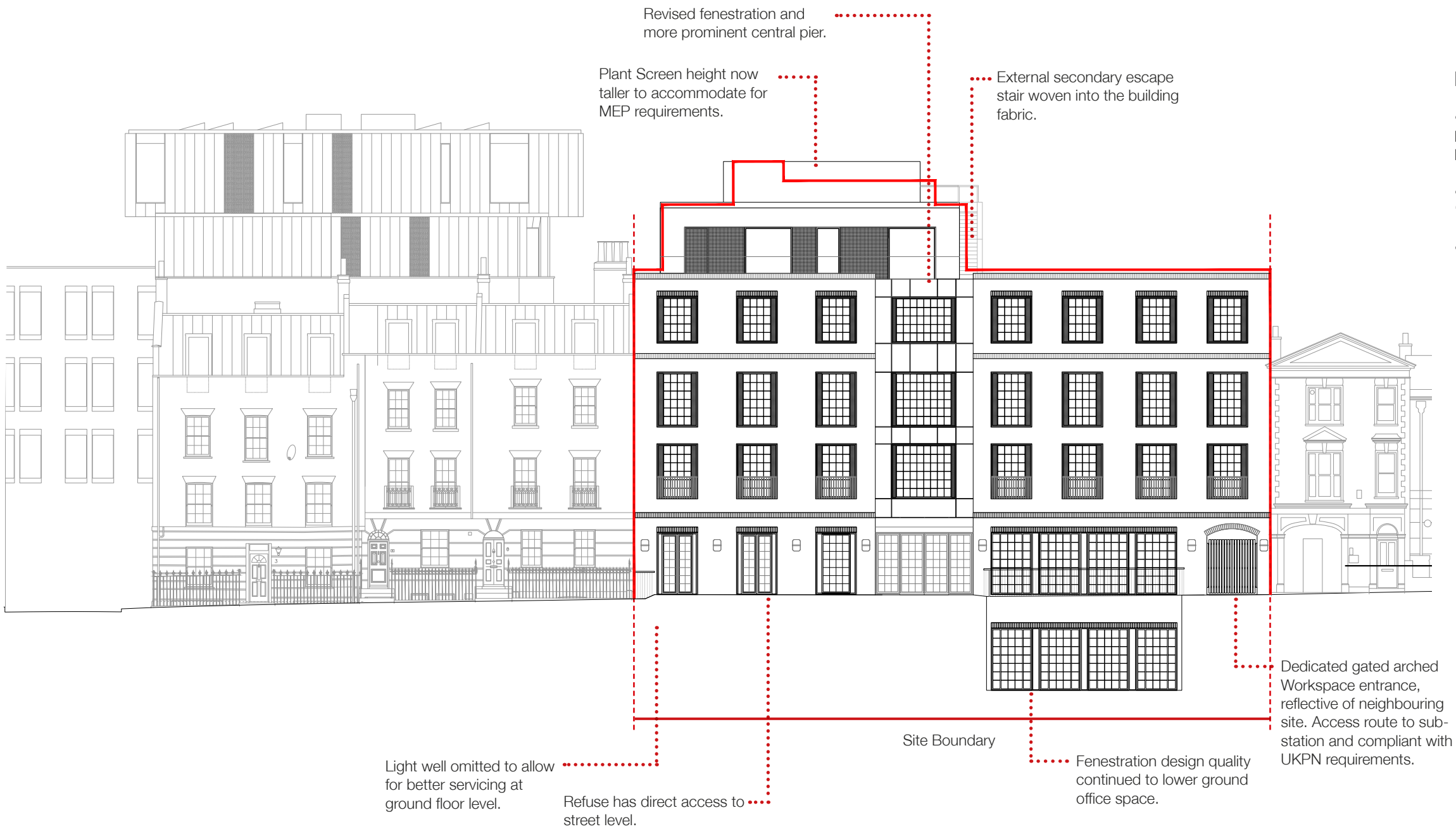


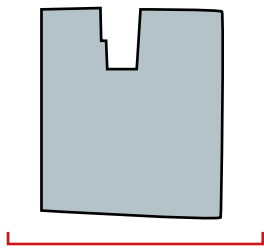
EAST ELEVATION

PROPOSED

EXTERNAL AMENDMENTS

- The main facade has been revised to reflect the new internal layouts and also the Camden context, whilst adhering the key design language of the previously consented scheme.
- Window proportions and locations revised to align better with a 'warehouse' aesthetic.
- Materiality aligns with existing planning consent.



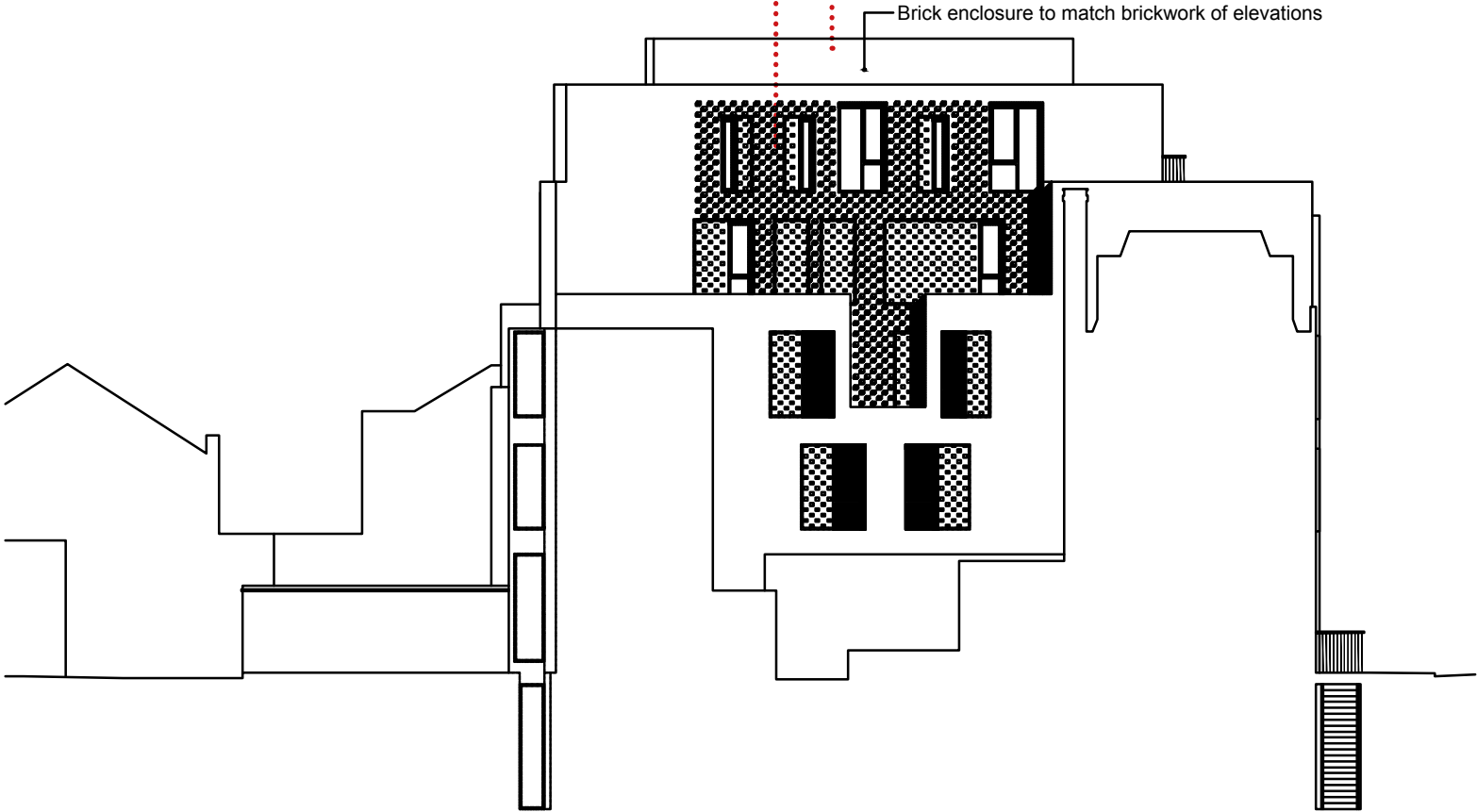


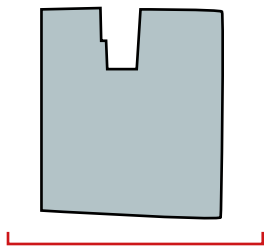
SOUTH ELEVATION
CONSENTED

Excessive glazing into
neighbouring courtyard,
impacting on overlooking
issues and maintenance.

Plant screen height not
adequate for servicing of
hotel.
No provision for access to
plant area.

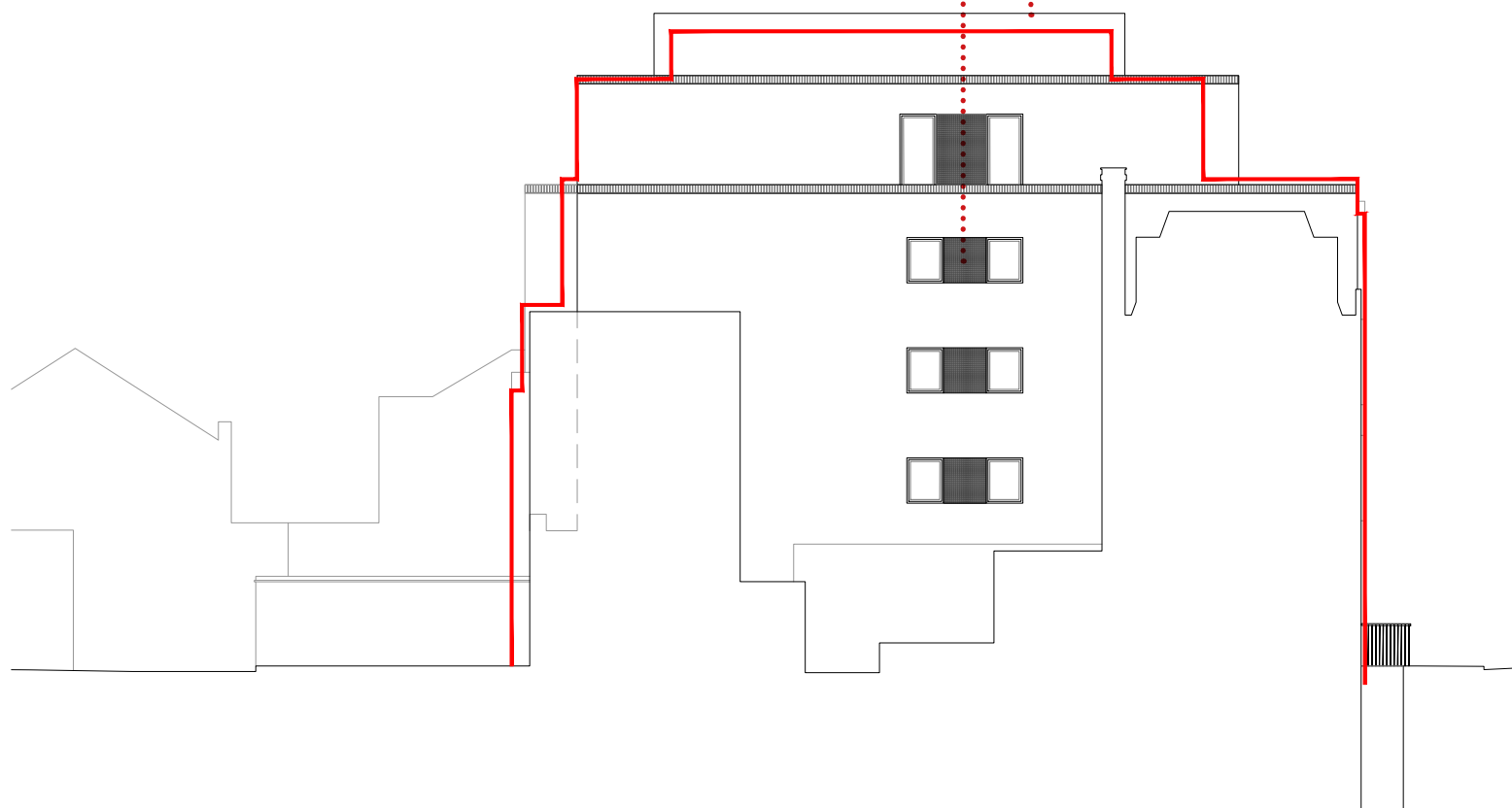
Brick enclosure to match brickwork of elevations





South facade simplified by reducing glazing extent to minimise overlooking and enhance neighbouring courtyard.

Plant Screen height now taller to accommodate for MEP requirements.

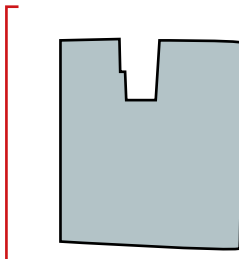


SOUTH ELEVATION

PROPOSED

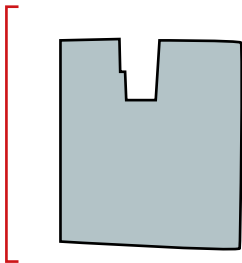
EXTERNAL AMENDMENTS

- The South facade has been revised to simplify the design features and better sympathise with neighbouring building typologies with an emphasis on improving privacy and reducing overlooking.
- Materiality aligns with existing planning consent.
- Green Walls omitted in response to fire safety.



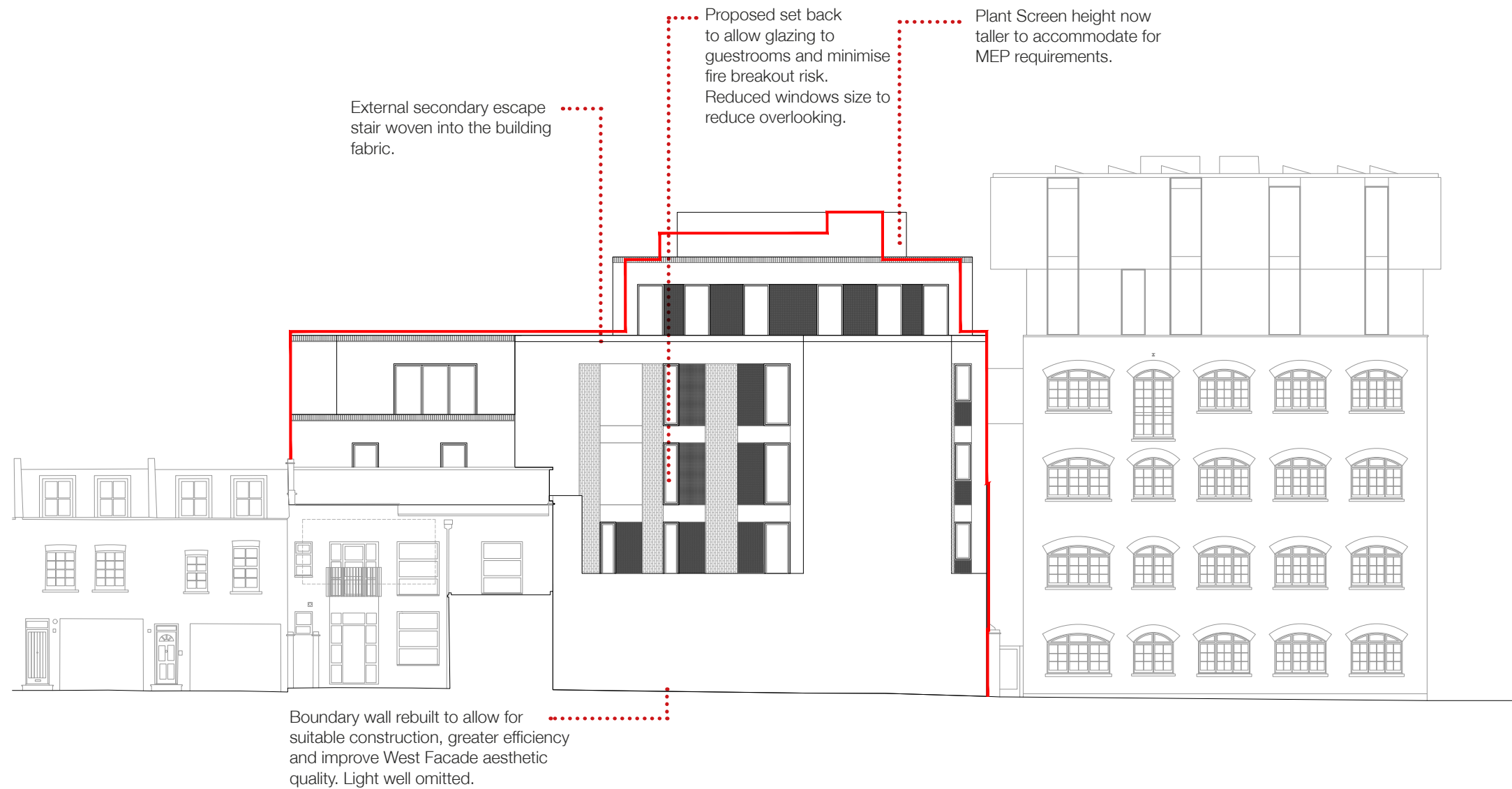
WEST ELEVATION
CONSENTED





WEST ELEVATION

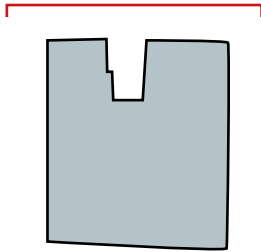
PROPOSED



EXTERNAL AMENDMENTS

- The West facade has been revised to step away from the boundary to allow glazing to guestrooms and minimise fire breakout risk.
- Materiality aligns with existing planning consent
- Green Walls omitted in response to fire safety.

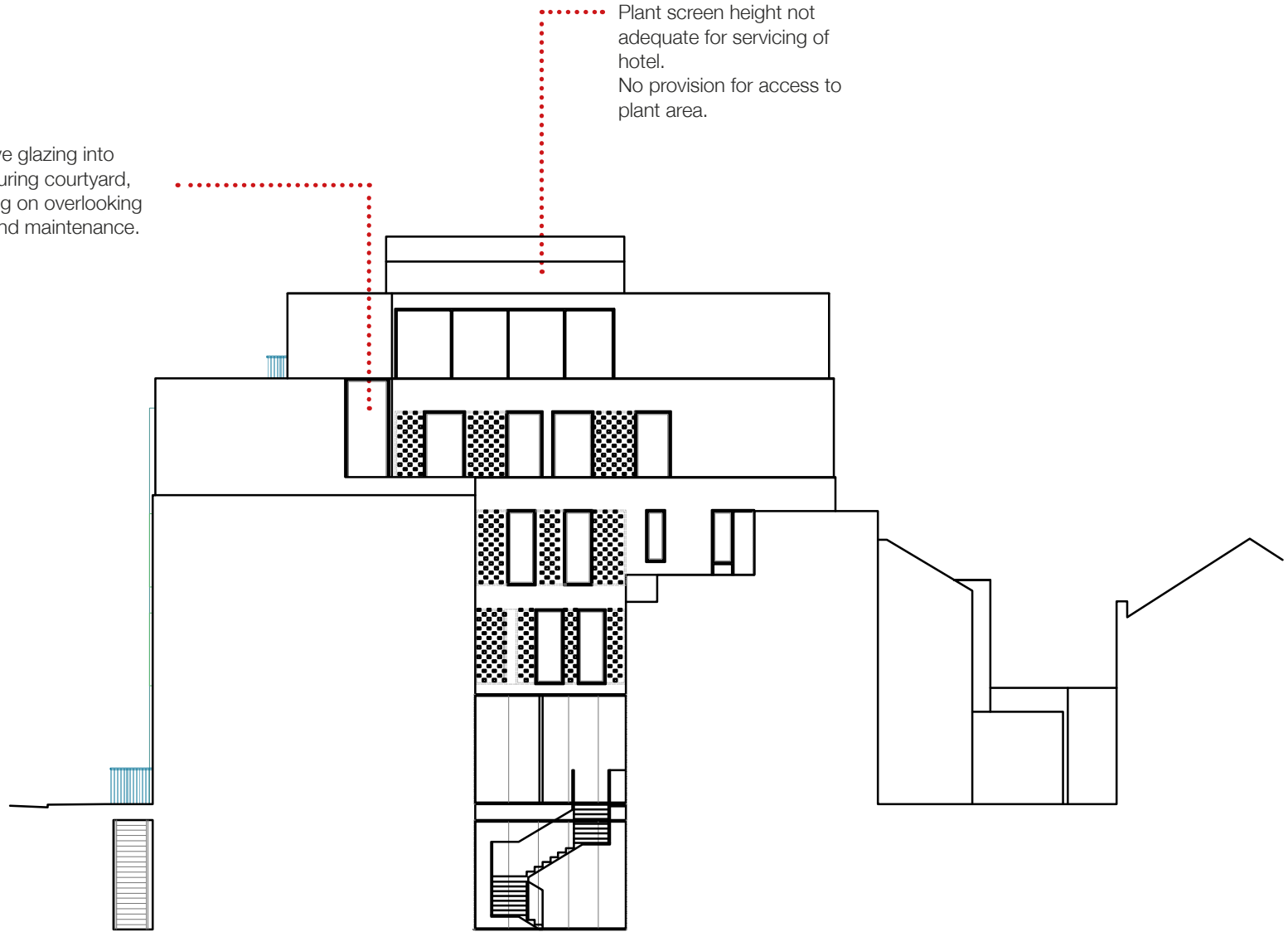
Consented scheme outline

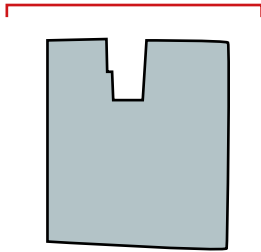


NORTH ELEVATION
CONSENTED

Excessive glazing into
neighbouring courtyard,
impacting on overlooking
issues and maintenance.

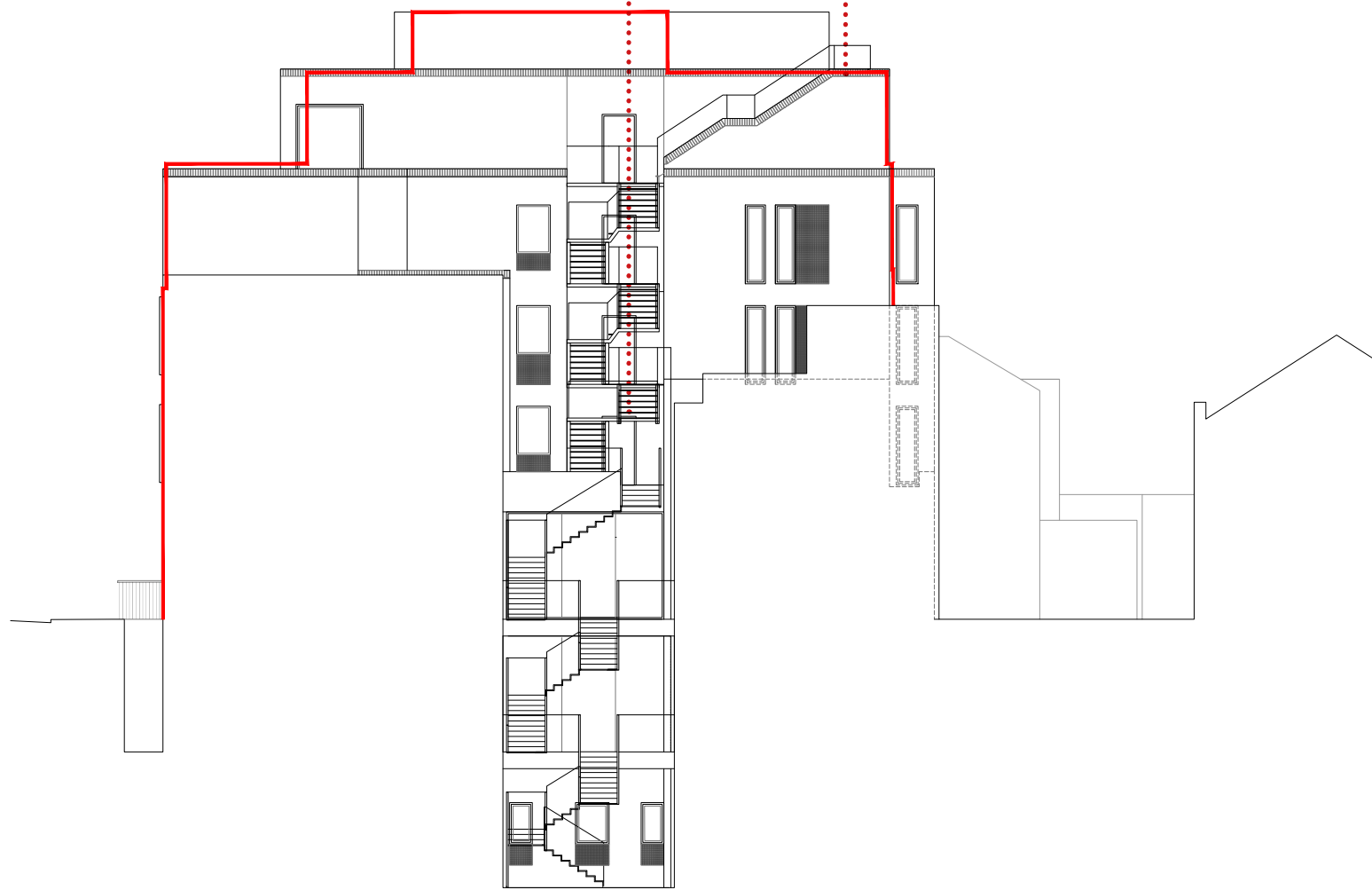
Plant screen height not
adequate for servicing of
hotel.
No provision for access to
plant area.





Courtyard Fenestration simplified allowing for less overlooking and more efficient maintenance. Lightwell extended into basement.

External secondary escape stair woven into the building fabric.

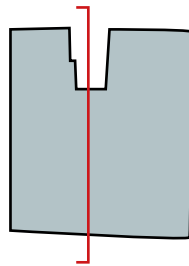


NORTH ELEVATION

PROPOSED

EXTERNAL AMENDMENTS

- The North facade has been revised to simplify the design features and better sympathise with neighbouring building typologies.
- Courtyard fenestration has been simplified allowing for less overlooking and more efficient maintenance.
- Light well extended to Basement Level allowing light into basement guestrooms.
- Green Walls omitted in response to fire safety.



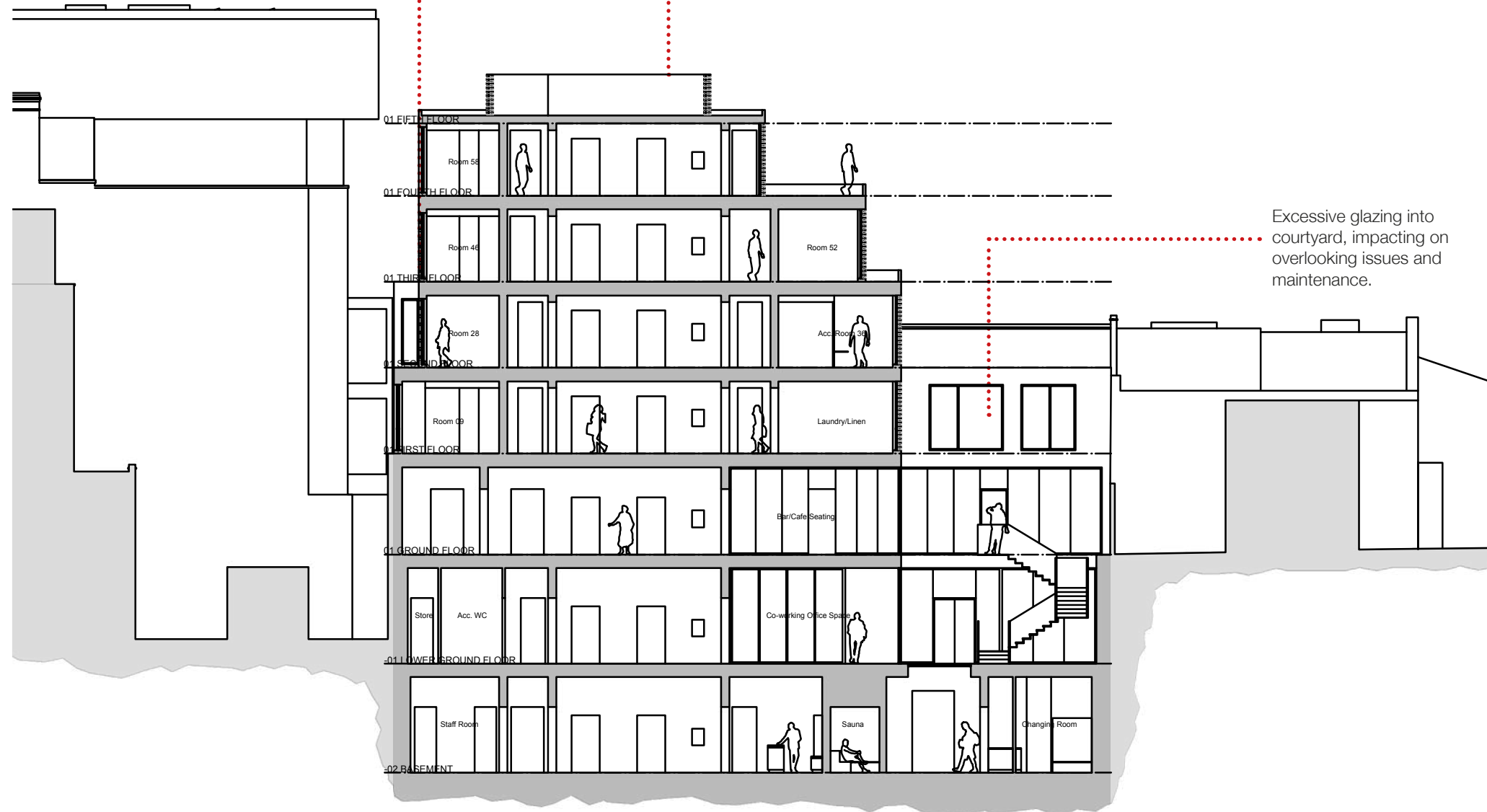
SECTION A-A

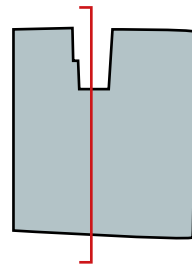
CONSENTED

Excessive glazing into courtyard, impacting on overlooking issues and maintenance.

Plant screen height not adequate for servicing of hotel.
No provision for access to plant area.

Excessive glazing into courtyard, impacting on overlooking issues and maintenance.





South facade simplified by reducing glazing extent to minimise overlooking and enhance neighbouring courtyard.



Plant Screen height now taller to sufficiently accommodate for MEP requirements.



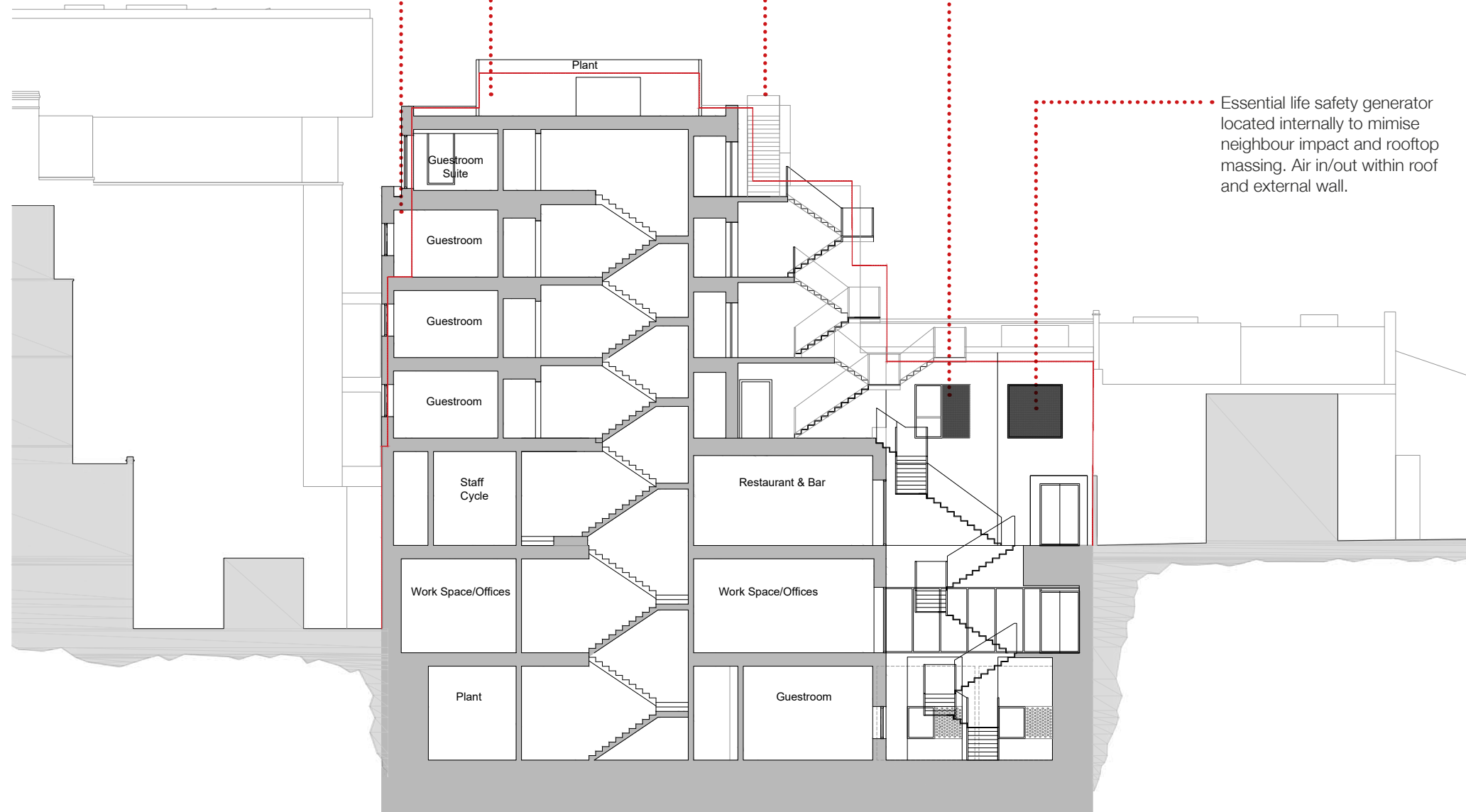
External secondary escape stair woven into the building fabric.



Courtyard fenestration reduced to minimise overlooking and fire risk.



Essential life safety generator located internally to minimise neighbour impact and rooftop massing. Air in/out within roof and external wall.



SECTION A-A

PROPOSED

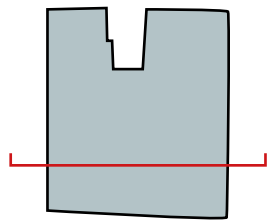
AMENDMENTS

- General massing retained with only slight increase to rooftop plant screen to enable to shielding of required proposed plant.
- Insufficient plant screen height was allowed for within the consented scheme, mechanical plant will be required to serve a scheme of this nature.

1. Supply and extract ventilation is to be provided to the hotel and common areas, this will be via a centralised air handling unit (complete with heat recovery). The AHU is to be located on the roof.
2. High efficiency Variable Refrigerant Volume/Flow (VRV/VRF) equipment will operate as the main communal heating (and cooling) system for the building located on the roof.
3. Planning consent states that the kitchen extract must vent to the roof.

The installation of these systems are required at a height of 2.1m to ensure they are suitably hidden from view.

- External secondary escape stair woven into the building fabric.
- Courtyard fenestration has been simplified allowing for less overlooking and more efficient maintenance.
- Light well extended to Basement Level allowing light into basement guestrooms.
- Essential life safety generator located internally to minimise neighbour impact and rooftop massing. Air in/out within roof and external wall.
- Green Walls omitted in response to fire safety.



SECTION B-B

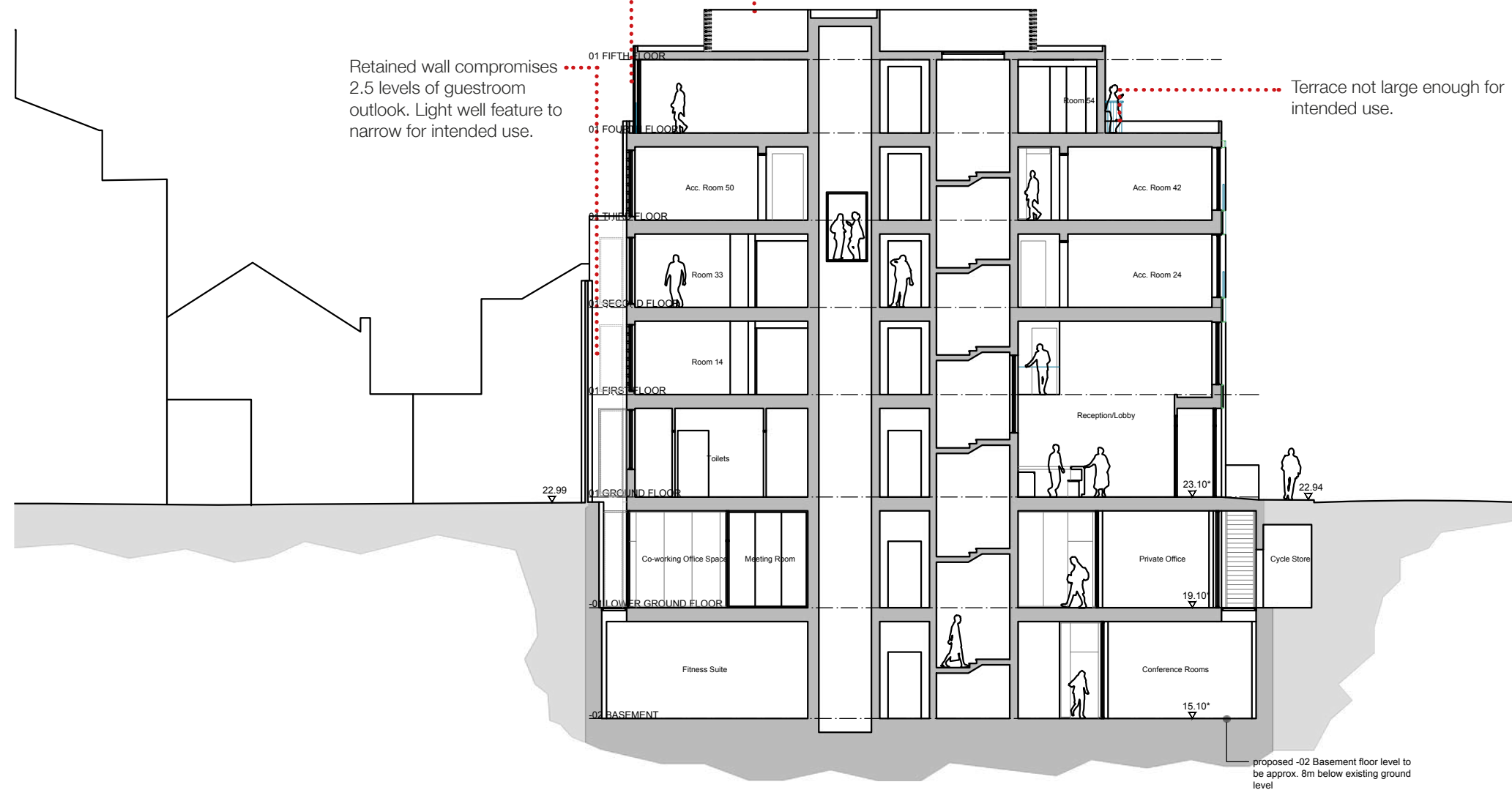
CONSENTED

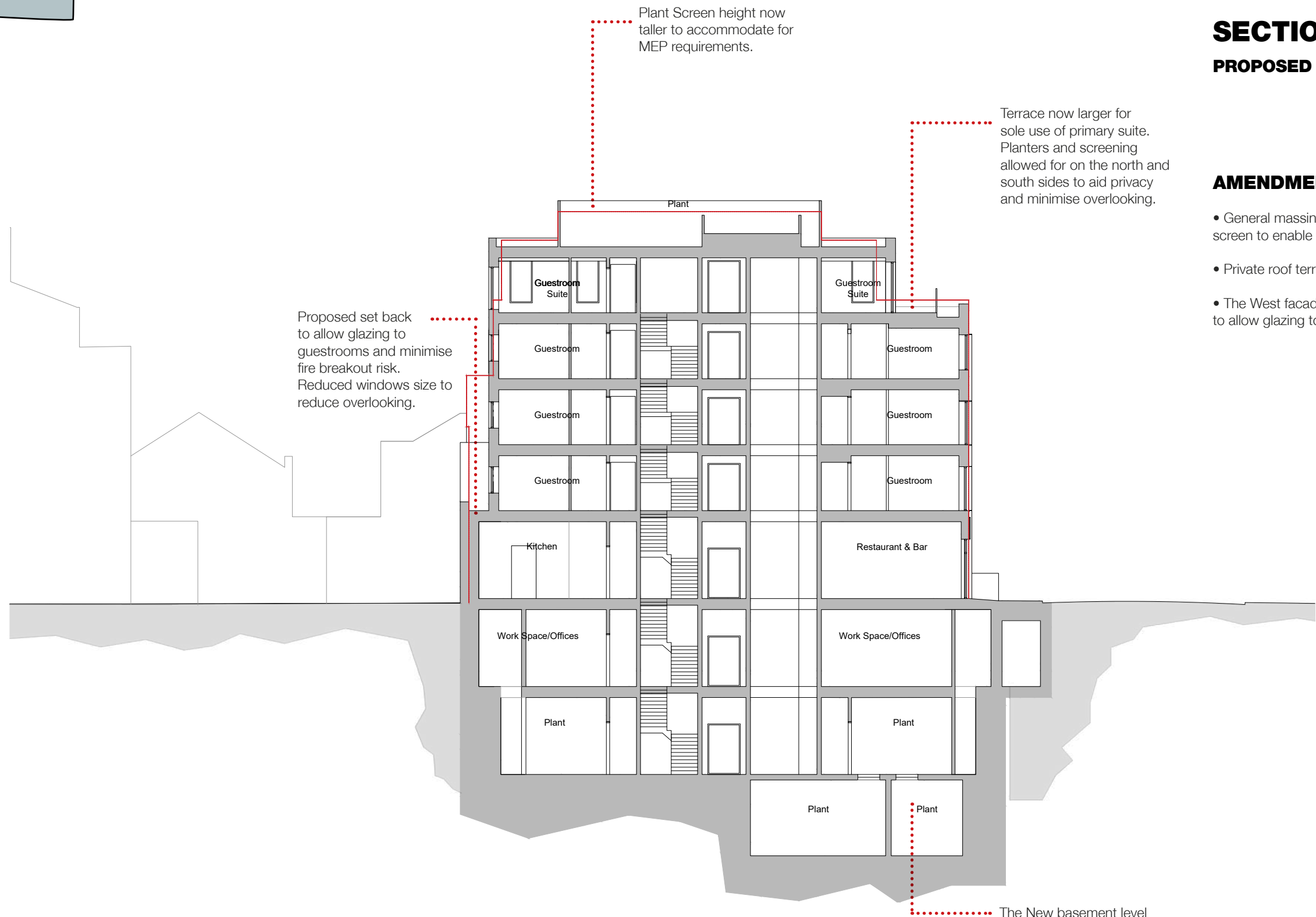
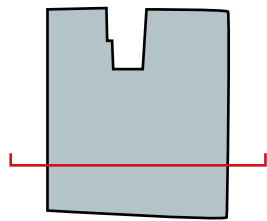
Excessive glazing on west facade impacting on overlooking issues and maintenance.

Plant screen height not adequate for servicing of hotel.
No provision for access to plant area.

Retained wall compromises 2.5 levels of guestroom outlook. Light well feature to narrow for intended use.

Terrace not large enough for intended use.

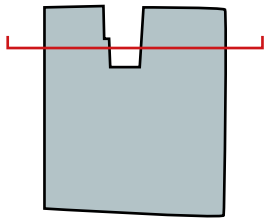




SECTION B-B
PROPOSED

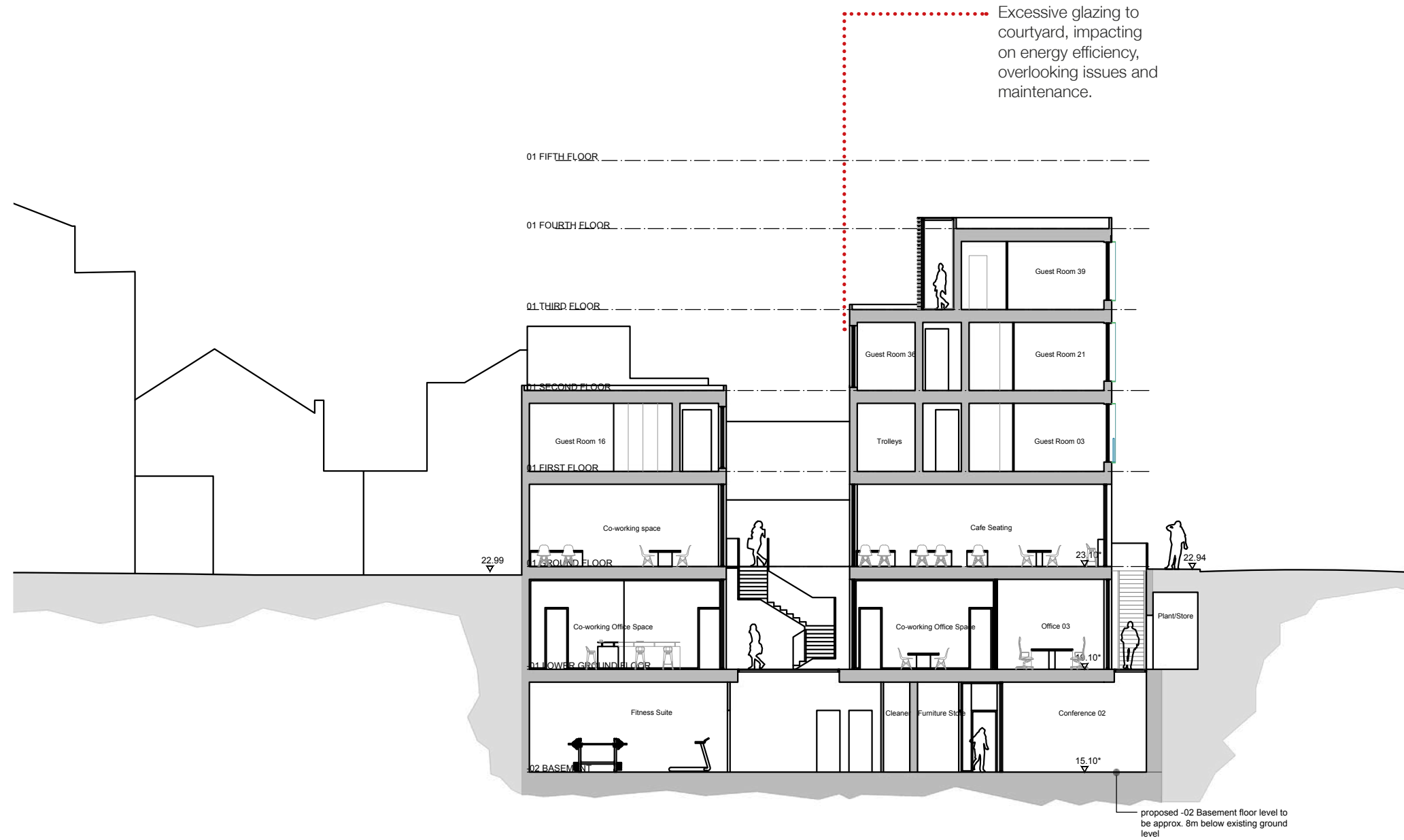
AMENDMENTS

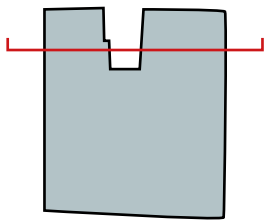
- General massing retained with only slight increase to rooftop plant screen to enable to sheilding of proposed plant.
- Private roof terrace to primary suite shown.
- The West facade has been revised to step away from the boundary to allow glazing to guestrooms and minimise fire breakout risk.



SECTION C-C

CONSENTED





SECTION C-C

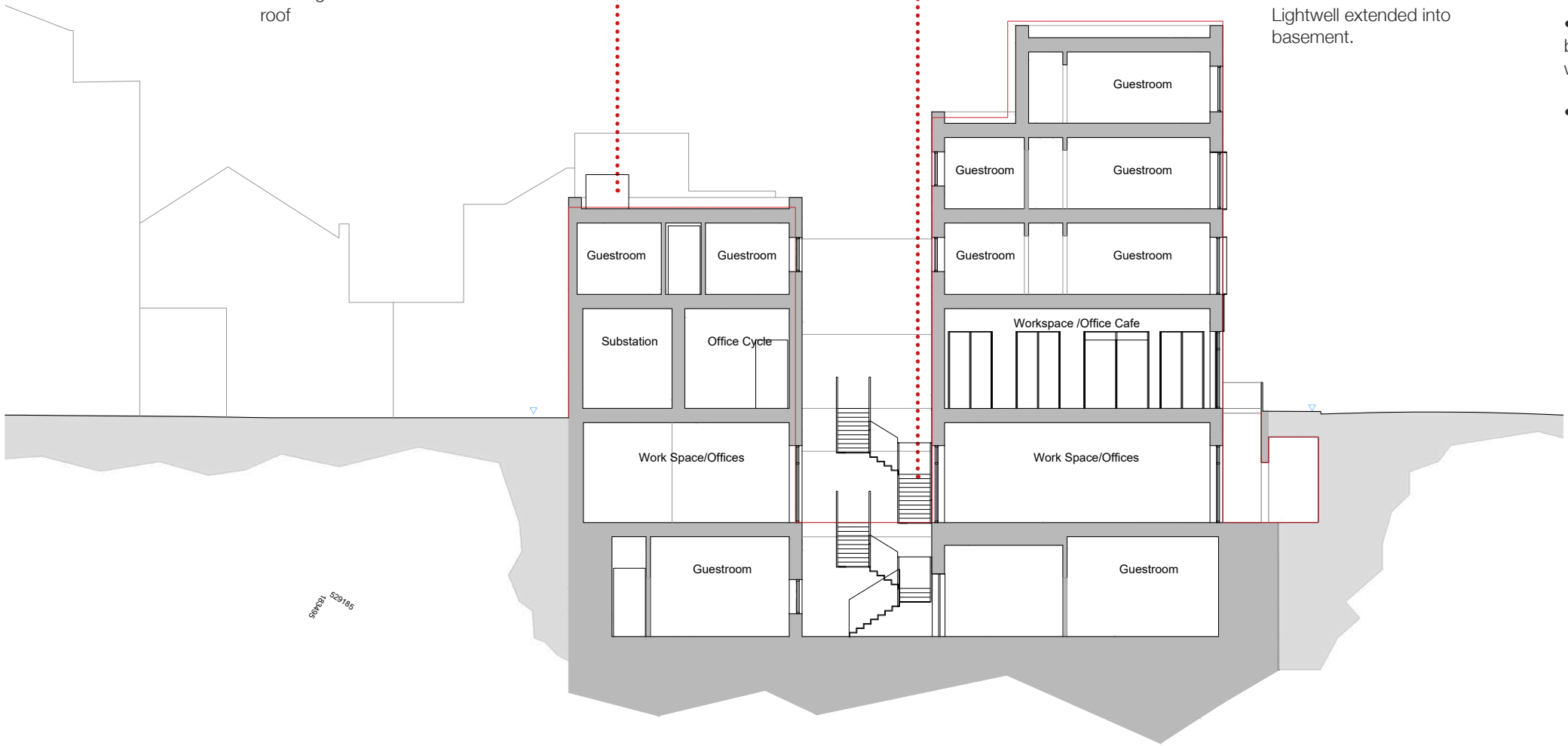
PROPOSED

AMENDMENTS

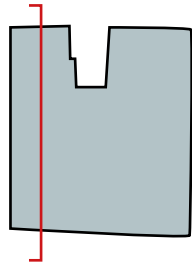
- General massing retained.
- Light well extended to Basement Level allowing light into basment guestrooms.
- Essential life safety generator located internally to minimise neigh-
bour impact and rooftop massing. Air in/out within roof and external
wall.
- Green Walls omitted in response to fire safety.

Essential life safety generator
located internally to minimise
nieghbour impact and rooftop
massing. Air vent located on
roof

Courtyard Fenestration
simplified allowing for less
overlooking and more
efficient maintenance.
Lightwell extended into
basement.



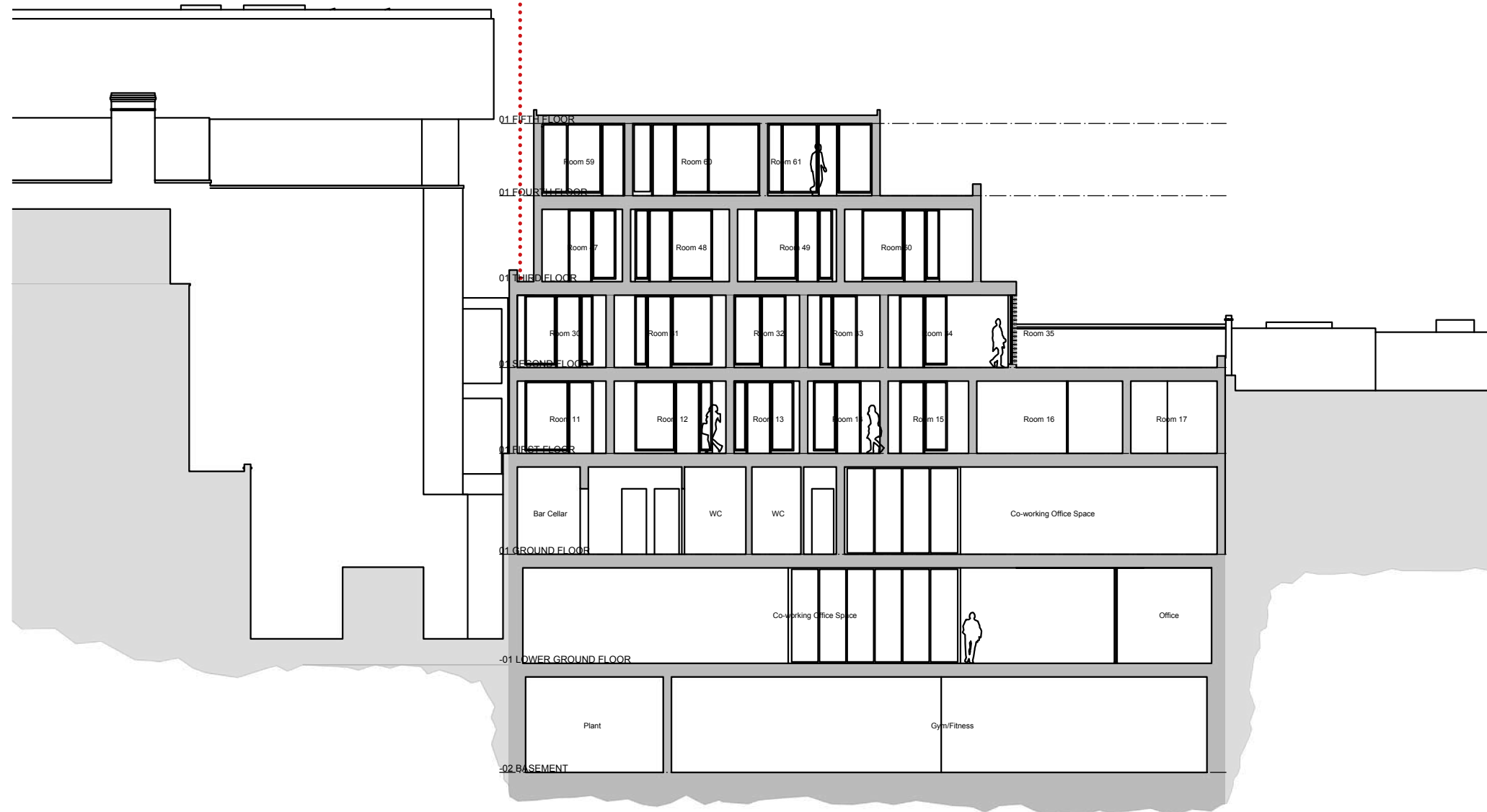
----- Consented scheme outline

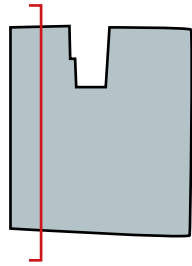


Excessive glazing into
neighbouring courtyard,
impacting on overlooking
issues and maintenance.

SECTION D-D

CONSENTED





South facade simplified by reducing glazing extent to minimise overlooking and enhance neighbouring courtyard.

Simplified building volume.

Essential life safety generator located to minimise neighbour impact and rooftop massing. Safe maintenance access provided by means of proposed second stair.

SECTION D-D

PROPOSED

AMENDMENTS

- General massing retained except massing realigned at lower levels to simplify construction.
- Essential life safety generator located internally to minimise neighbour impact and rooftop massing. Air in/out within roof and external wall.

Consented scheme outline

04

AREA SCHEDULE

Proposed scheme					
Floor	Standard	Rooms Accessible	Suites	GIA (m²) PROPOSED	GIA (m²) CONSENTED
Basement -2				46 *	0
Basement -1	9	1		469	593
Lower Ground Floor				543	615
Ground Floor				459	508
1 st Floor	18	2		490	508
2 nd Floor	17	2		422	448
3 rd Floor	15	2		393	397
4 th Floor			4	205	199
Total	59	7	4	3,027 m² **	3,268m² ***
TOTAL		70			

* Plant Space

** Office / Co-working area = 540m²
(691 m² previously approved)

*** Consented GIA differs due to site boundary and buildability amendments

BAYHAM EAST FACADE COMPARISON



CONSENTED SCHEME - JULY 2019



PROPOSED SCHEME

BAYHAM STREET SOUTH APPROACH COMPARISON



CONSENTED SCHEME - JULY 2019



PROPOSED SCHEME

BAYHAM STREET NORTH APPROACH COMPARISON



CONSENTED SCHEME - JULY 2019



PROPOSED SCHEME

KINGS TERRACE COMPARISON



CONSENTED SCHEME - JULY 2019



PROPOSED SCHEME

**BAYHAM STREET
PROPOSED ELEVATION**



**BAYHAM STREET
PROPOSED ELEVATION**



BAYHAM STREET PROPOSED ELEVATION

The materials used are principally bronze and brick.

The use of brick draws on the language of the street and its inherently rough nature is contrasted by the bronze, which is used to express details throughout the building in a precious and precise manner.

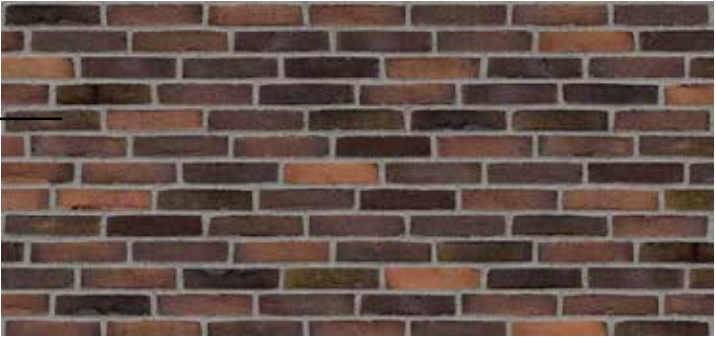
Two types of bricks are proposed, the ground and basement levels will be clad in a dark glazed brick. A lighter brick colour will be used on the upper floors, using different brick bonds to emphasise detailing.



Bronze coloured window frame.



Light coloured brick



Glazed dark coloured brick





SOLDIER COURSE

The different brick bonds will introduce further detailing to the elevation.

WINDOW

The windows retain the industrial look of the consented scheme, and will include bronze vented side panels.

METAL SPANDREL PANELS

The bronzed spandrel panels.

BRICK BOND

Different brick bonds are used to articulate and define parts of the buildings elevation.

ACTIVE FRONTAGE

It is important for the building to create a good connection with its context and the street .

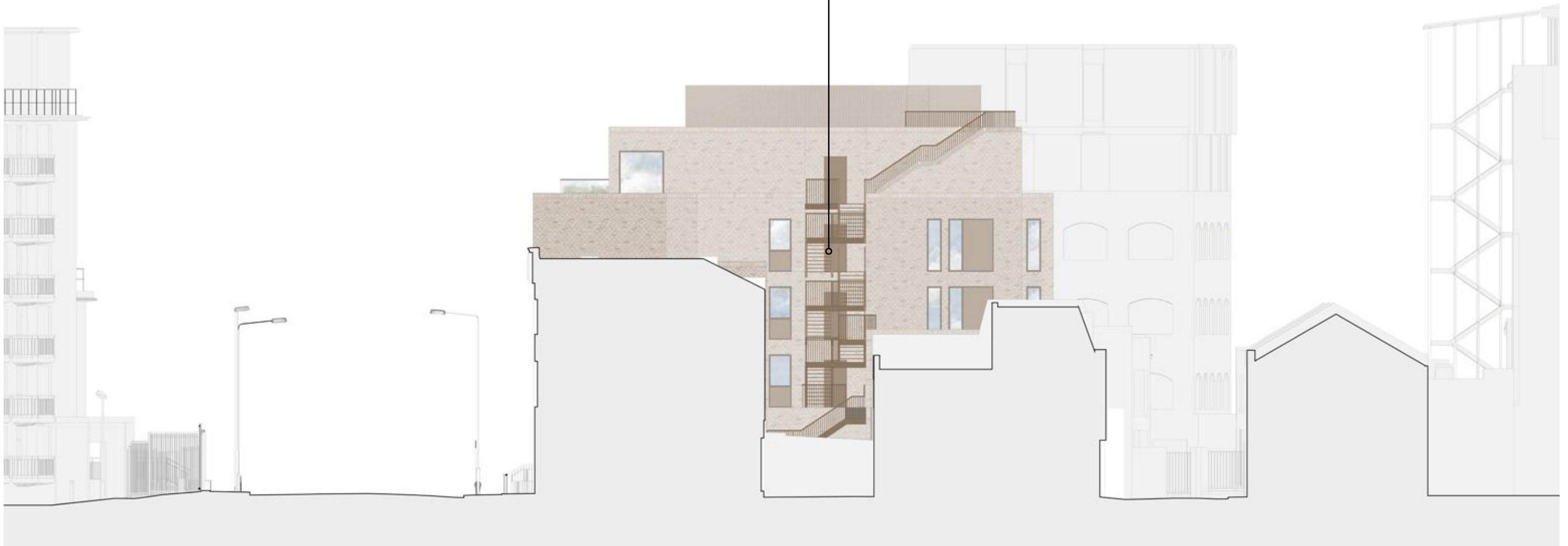
**BAYHAM STREET
PROPOSED ELEVATION**



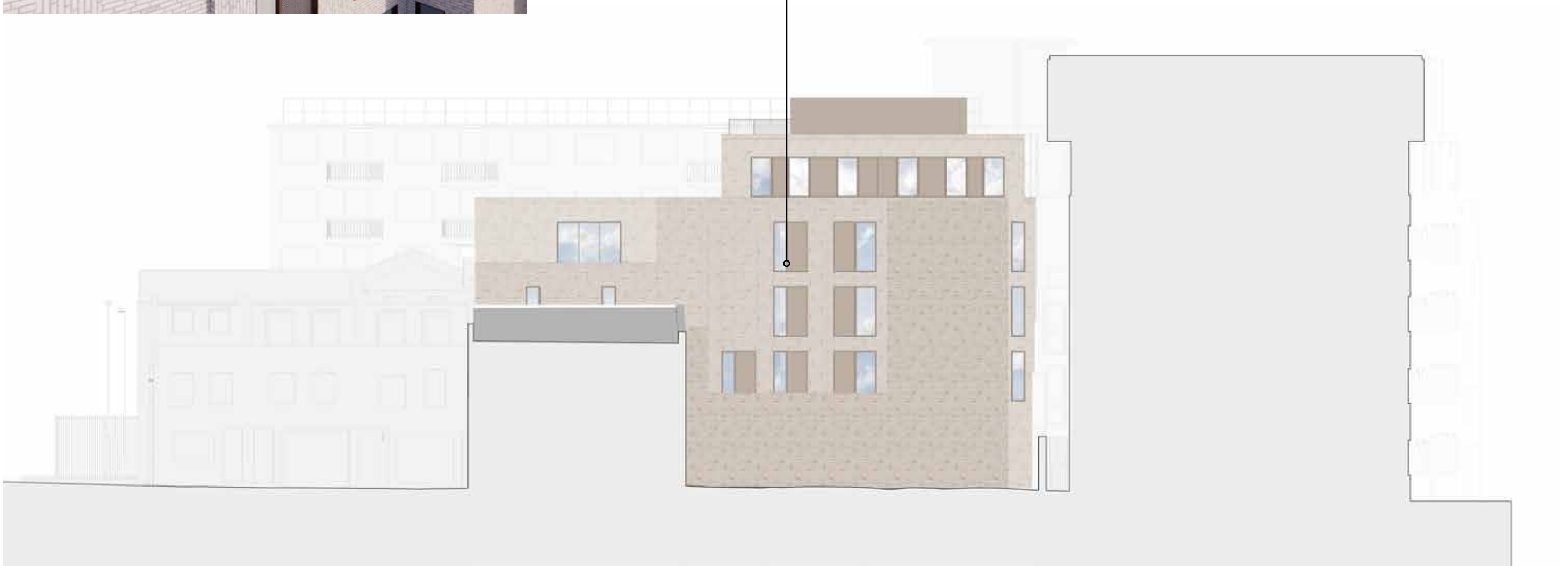
PROPOSED ENTRANCE

The proposed entrance retains the industrial look of the consented scheme.

**PROPOSED
SOUTH ELEVATION**



**PROPOSED
WEST ELEVATION**



BAYHAM STREET PROPOSED DETAILS



Light coloured brick



Bronze coloured window frame.



External stair precedents



The materials used are principally bronze and brick throughout the scheme and this extends to the less prominent elevations also. All elements to include the external stair and screening elements will be designed to the same high quality finish as the building itself.

The stair is proposed in a bronze finish to match the other details throughout the building.

The stair is required as a secondary means of escape to meet Fire Regulations and sits within the consented fabric as far as possible.



Metal stair precedent

BAYHAM STREET SCREENING DETAILS



Through further co-ordination we have managed ot reduce the plant screen in height by 400mm. Please see following updated views.

To tie in with the bronze finish proposed to the building, the screen- ing is proposed to match this with a perforated pattern lightening its overall effect. The plant screen is set back considerably from Bayham Street and has limited visibility as shown in the following street view.

The Rights to Light are not affected.



Perforated metal precedent



Perforated metal precedent

**BAYHAM STREET
PROPOSED ELEVATION**



(above) Main Hotel Entry

Proposed lighting design

(left) Bayham Street Facade (East Facade)

Proposed lighting design

