



Smart's Place

**Application for Discharge of
Conditions**

Ref: 2019/1420/P

Prepared by
David Kohn Architects

On behalf of
Crispin Kelly

Rev. * 17.11.20

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For any further information
please contact:

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Summary

This application is for the discharge of pre commencement conditions relating to approval:

Ref: 2019/1420/P

The conditions our client wishes to discharge are:

Condition 4: Cycle Storage;

Condition 10: SUDs.

Application ref: 2019/1420/P
Contact: Kate Henry
Tel: 020 7974 3794
Date: 10 March 2020

David Kohn Architects
Bedford House
125-133 Camden High Street
NW1 7JR
United Kingdom



Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk/planning

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted Subject to a Section 106 Legal Agreement

Address:
8 Smart's Place
London
WC2B 5LW

Proposal:
Erection of 3 storey roof extension to create 1x 3-bed self-contained flat with roof garden; installation of replacement plant machinery for existing four-storey office building; alterations to existing building
Drawing Nos: 221-ZZ-PL11-01; 221-ZZ-PL01-01; 221-ZZ-PL01-02; 221-ZZ-PL02-01; 221-ZZ-PL02-02; 221-ZZ-PL02-03; 221-ZZ-PL02-04; 221-ZZ-PL02-05; 221-ZZ-PL02-06; 221-ZZ-PL04-01; 221-ZZ-PL04-02; 221-ZZ-PL05-02; 221-ZZ-PL05-03; 221-ZZ-PL11-02; 221-EW-PL12-01; 221-EW-PL12-02; 221-EW-PL12-03; 221-EW-PL12-04; 221-EW-PL12-05; 221-XX-PL12-06 Rev B; 221-XX-PL12-07 Rev B; 221-XX-PL12-08 Rev B; 221-XX-PL12-10 Rev B; 221-XX-PL14-01 Rev B; 221-XX-PL14-02 Rev B; 221-XX-PL15-02 Rev C; 221-XX-PL15-03 Rev B; Design & Access Statement (dated 15/03/2019); Planning Statement Incorporating Heritage Assessment (dated March 2019); Noise Impact Assessment (dated 05/03/2019); Daylight/Sunlight Report (dated February 2019); Energy and Sustainability Strategy Assessment Report (Ref: J3386-M-RP-0001); Planning Visual Updates.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 221-ZZ-PL11-01; 221-ZZ-PL01-01; 221-ZZ-PL01-02; 221-ZZ-PL02-01; 221-ZZ-PL02-02; 221-ZZ-PL02-03; 221-ZZ-PL02-04; 221-ZZ-PL02-05; 221-ZZ-PL02-06; 221-ZZ-PL04-01; 221-ZZ-PL04-02; 221-ZZ-PL05-02; 221-ZZ-PL05-03; 221-ZZ-PL11-02; 221-EW-PL12-01; 221-EW-PL12-02; 221-EW-PL12-03; 221-EW-PL12-04; 221-EW-PL12-05; 221-XX-PL12-06 Rev B; 221-XX-PL12-07 Rev B; 221-XX-PL12-08 Rev B; 221-XX-PL12-10 Rev B; 221-XX-PL14-01 Rev B; 221-XX-PL14-02 Rev B; 221-XX-PL15-02 Rev C; 221-XX-PL15-03 Rev B; Design & Access Statement (dated 15/03/2019); Planning Statement Incorporating Heritage Assessment (dated March 2019); Noise Impact Assessment (dated 05/03/2019); Daylight/Sunlight Report (dated February 2019); Energy and Sustainability Strategy Assessment Report (Ref: J3386-M-RP-0001); Planning Visual Updates.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of Policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Before the development commences, details of secure and covered cycle storage area for 2x cycles shall be submitted to and approved by the local planning authority. The approved facility shall thereafter be provided in its entirety prior to the first occupation of any of the new units, and permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of Policy T1 of the London Borough of Camden Local Plan 2017.

- 5 Noise levels at a point 1 metre external to sensitive facades shall be at least 10dB(A) less than the existing background measurement (LA90), expressed in dB(A) when all plant/equipment (or any part of it) is in operation unless the

plant/equipment hereby permitted will have a noise that has a distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are distinct impulses (bangs, clicks, clatters, thumps), then the noise levels from that piece of plant/equipment at any sensitive façade shall be at least 15dB(A) below the LA90, expressed in dB(A).

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of Policies G1, CC1, D1, A1 and A4 of the London Borough of Camden Local Plan 2017.

- 6 Before the use commences, machinery, plant or equipment and ducting at the development shall be mounted with proprietary anti-vibration isolators and fan motors shall be vibration isolated from the casing and adequately silenced and maintained as such.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of Policies A1 and A4 of the London Borough of Camden Local Plan 2017.

- 7 All non-Road mobile Machinery (any mobile machine, item of transportable industrial equipment, or vehicle - with or without bodywork) of net power between 37kW and 560kW used on the site for the entirety of the [demolition and/construction] phase of the development hereby approved shall be required to meet Stage IIIB of EU Directive 97/68/EC. The site shall be registered on the NRMM register for the [demolition and/construction] phase of the development.

Reason: To safeguard the amenities of the adjoining occupiers, the area generally and contribution of developments to the air quality of the borough in accordance with the requirements of policies G1, A1, CC1 and CC4 of the London Borough of Camden Local Plan 2017.

- 8 No development shall take place until full details of soft landscaping / planting for the roof terraces have been submitted to and approved by the local planning authority in writing.

The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies A3, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 9 All landscaping works shall be carried out in accordance with the approved landscape details prior to the occupation for the permitted use of the development. Any trees or areas of planting which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation.

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Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policies A3, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 10 Prior to commencement of development details of a sustainable urban drainage system shall be submitted to and approved in writing by the local planning authority. Such system shall be based on a 1:100 year event with 40% provision for climate change, demonstrating at least 50% attenuation of all runoff. The system shall be implemented as part of the development and thereafter retained and maintained.

Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with Policies CC1, CC2, CC3 of the London Borough of Camden Local Plan 2017.

- 11 The development hereby approved shall achieve a maximum internal water use of 110litres/person/day. The dwelling/s shall not be occupied until the Building Regulation optional requirement has been complied with.

Reason: To ensure the development contributes to minimising the need for further water infrastructure in an area of water stress in accordance with Policies CC1, CC2, CC3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.
- 2 This proposal may be liable for the Mayor of London's Community Infrastructure Levy (CIL) and the Camden CIL. Both CILs are collected by Camden Council after a liable scheme has started, and could be subject to surcharges for failure to assume liability or submit a commencement notice PRIOR to commencement. We issue formal CIL liability notices setting out how much you may have to pay once a liable party has been established. CIL payments will be subject to indexation in line with construction costs index. You can visit our planning website at www.camden.gov.uk/cil for more information, including guidance on your liability, charges, how to pay and who to contact for more advice.
- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 4 This approval does not authorise the use of the public highway. Any

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requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

- 5 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 6 If a revision to the postal address becomes necessary as a result of this development, application under Part 2 of the London Building Acts (Amendment) Act 1939 should be made to the Camden Contact Centre on Tel: 020 7974 4444 or Environment Department (Street Naming & Numbering) Camden Town Hall, Argyle Street, WC1H 8EQ.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

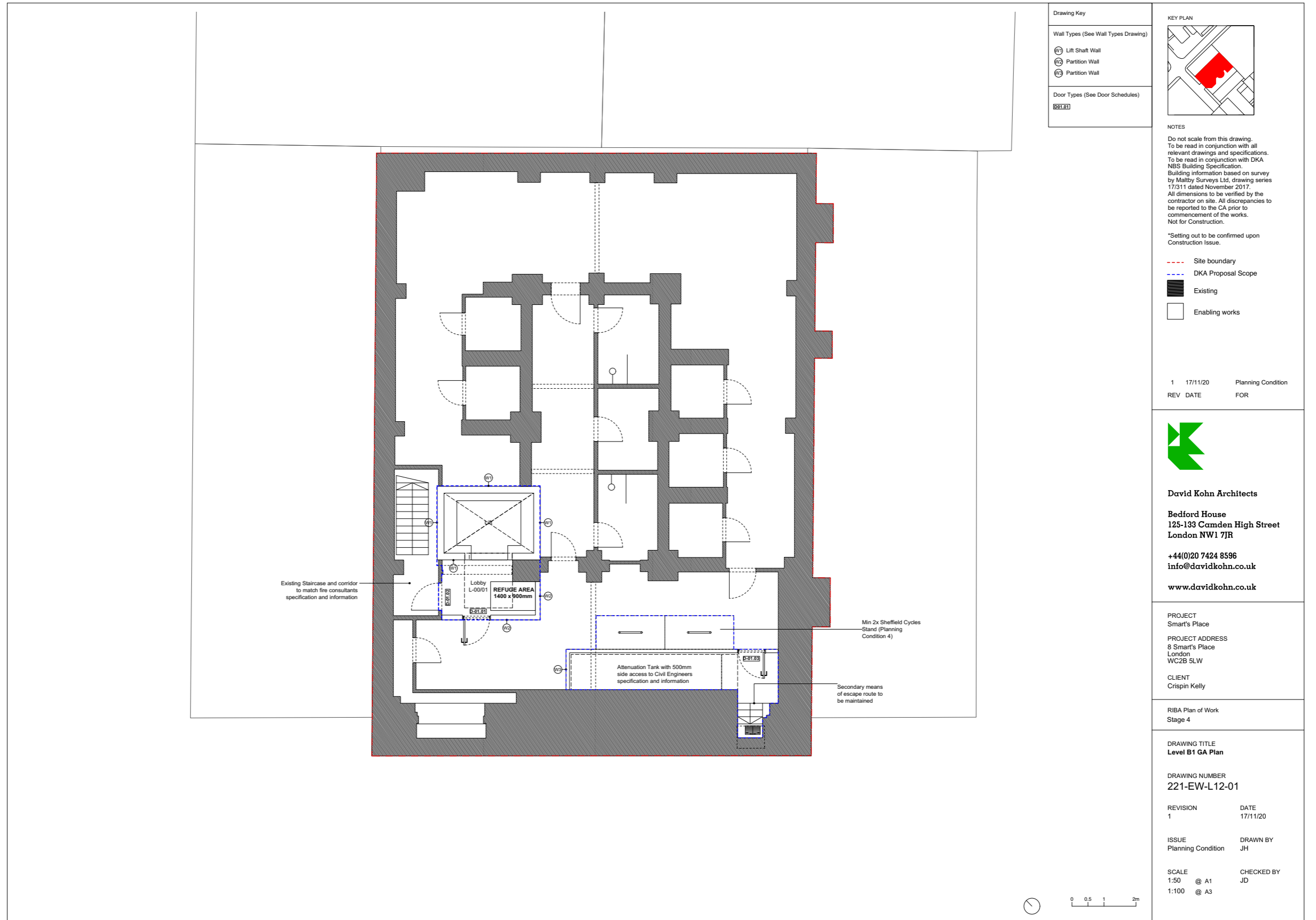


Daniel Pope
Chief Planning Officer

Condition 4 - Cycle Storage

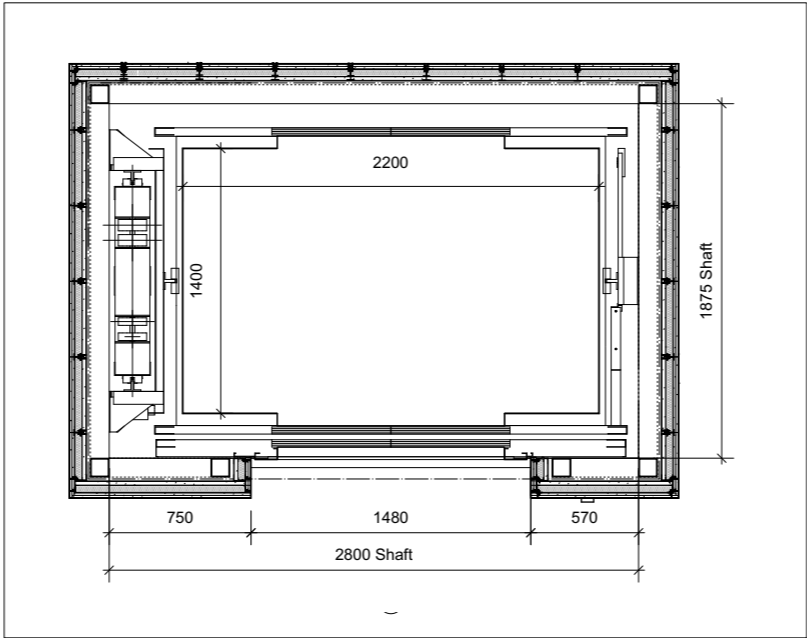
Two sheffield cycle stands have been provided at the basement level which is accessible via a lift.

The lift has dimensions of 1.4 by 2.2 metres, with a door opening of 1200mm, and any door to a cycle parking area will be automated – push button or pressure pad operated

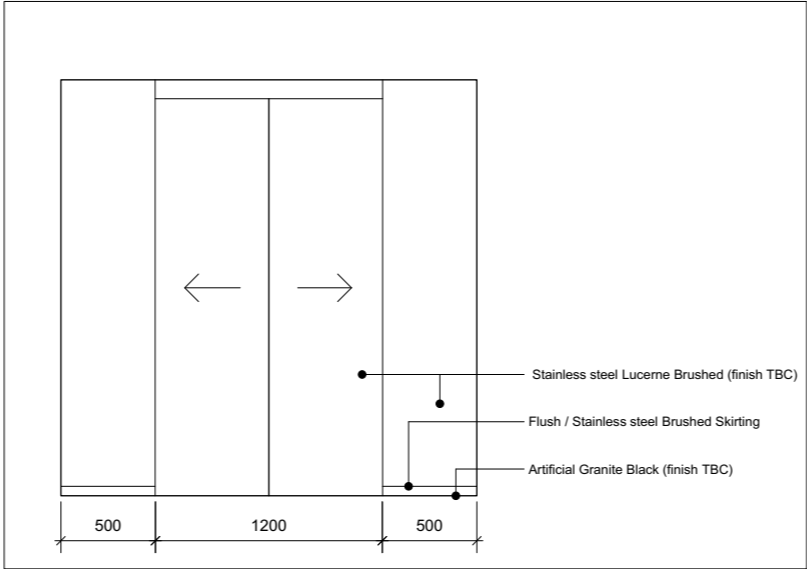


Basement Level

Condition 4 - Cycle Storage

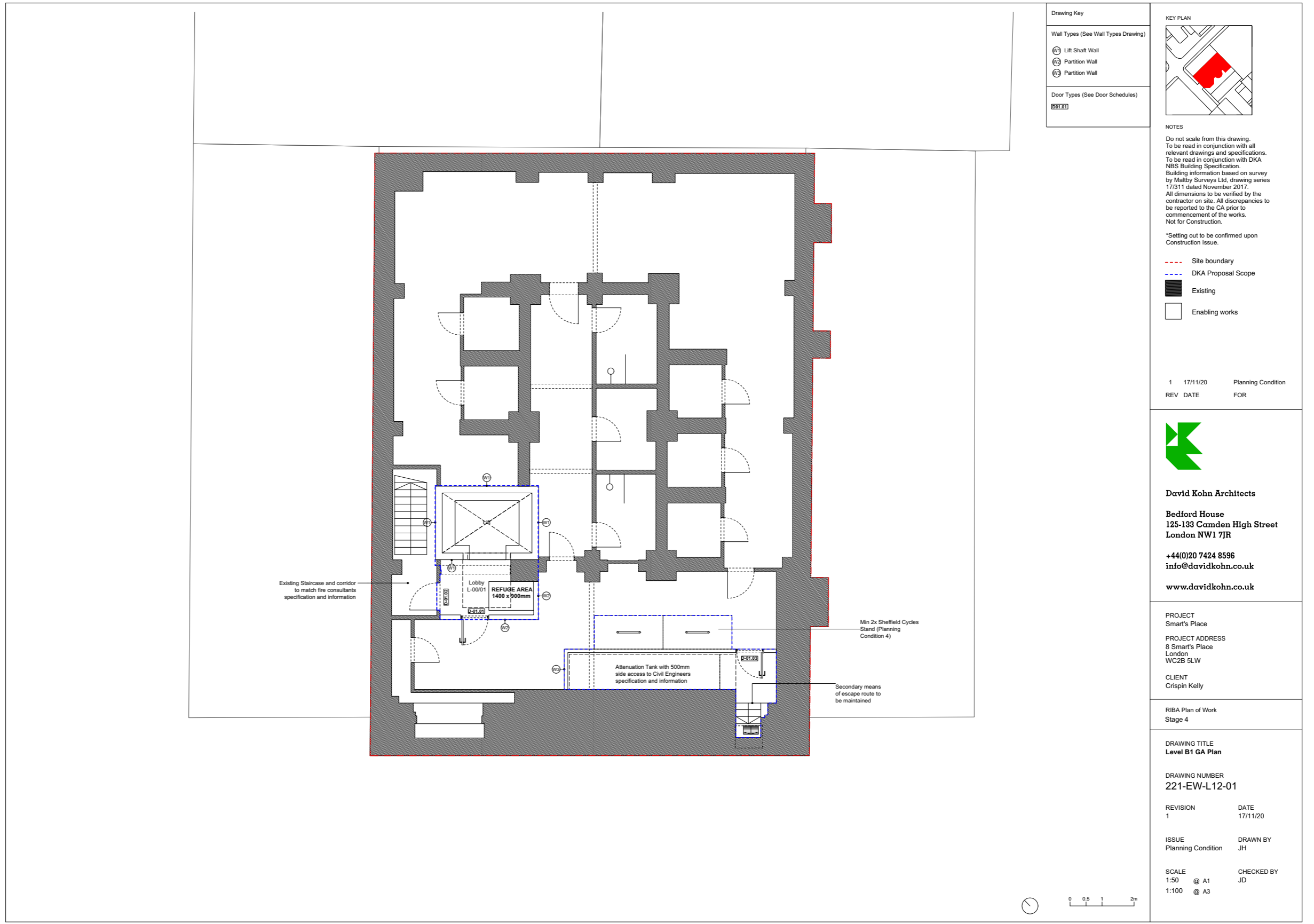


Lift Plan



Internal Lift Elevation

Condition 4 - Cycle Storage



Drawing Key	
Wall Types (See Wall Types Drawing)	
Ⓜ	Lift Shaft Wall
Ⓟ	Partition Wall
Ⓠ	Partition Wall
Door Types (See Door Schedules)	
D07, D11	

KEY PLAN

NOTES

Do not scale from this drawing. To be read in conjunction with all relevant drawings and specifications. To be read in conjunction with DKA NBS Building Specification. Building information based on survey by Maltby Surveys Ltd, drawing series 17/311 dated November 2017. All dimensions to be verified by the contractor on site. All discrepancies to be reported to the CA prior to commencement of the works. Not for Construction.

*Setting out to be confirmed upon Construction Issue.

--- Site boundary
 --- DKA Proposal Scope
 Existing
 Enabling works

1	17/11/20	Planning Condition
REV	DATE	FOR

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 125-133 Camden High Street
 London NW1 7JR
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 info@davidkohn.co.uk
 www.davidkohn.co.uk

PROJECT
 Smart's Place
PROJECT ADDRESS
 8 Smart's Place
 London
 WC2B 5LW
CLIENT
 Crispin Kelly

RIBA Plan of Work
 Stage 4

DRAWING TITLE
 Level B1 GA Plan
DRAWING NUMBER
 221-EW-L12-01

REVISION	DATE
1	17/11/20

ISSUE	DRAWN BY
Planning Condition	JH

SCALE	CHECKED BY
1:50 @ A1	JD
1:100 @ A3	

Ground Level

Condition 8 - Sustainable Urban Drainage

A method statement has been prepared to describe the approach to sustainable urban drainage, this accompanies the plans for the proposed solution.



Drainage Strategy Note

Project	8 Smart's Place				
Reference	J3386-C-RP-0003_01				
Date	25.11.2019	Job number	J3386	Author	AM

1. Background

This drainage strategy note is written in support of the planning application for the proposed development of 8 Smart's Place, London, WC2B 5LW. Specifically Condition 10 which states that:

Prior to commencement of development details of a sustainable urban drainage system shall be submitted to and approved in writing by the local planning authority. Such system shall be based on a 1:100 year event with 40% provision for climate change, demonstrating at least 50% attenuation of all runoff. The system shall be implemented as part of the development and thereafter retained and maintained.

Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with Policies CC1, CC2, CC3 of the London Borough of Camden Local Plan 2017.

2. Drainage Strategy

The proposed development is for the erection of a 3-story roof extension to create a self-contained flat with roof garden. The roof garden will contain different elements of permeable landscaping build ups, which will act to slow the rate of discharge, however, as these have not been designed for this purpose, the effect has been ignored. As a result, the impermeable area (240m²) will remain unchanged as the existing building already fills the entire extent of the site.

Above ground drainage will direct surface water from the new roofing areas through the existing building to be attenuated within storage tanks in the basement. The attenuation tanks will collect 100% of the surface water catchment area prior to discharge to an existing Thames Water Sewer connection. Noting any new connection will require a formal submission to Thames Water under Section 106 of the Water Industry Act. Drawing J3386-C-GA-01 10_00_S4.pdf outlines the drainage scheme for this project.

2.1. Proposed flow rates

The existing rate of surface water runoff has been calculated using Microdrainage and is shown in Table 1 below. Flow rates have been calculated for a 1:100 year storm event with a 40% provision for climate change as per Condition 10.

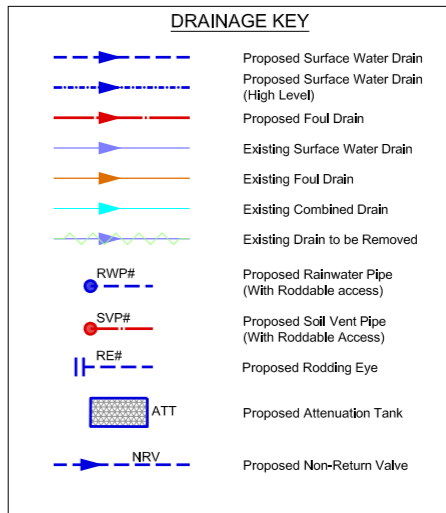
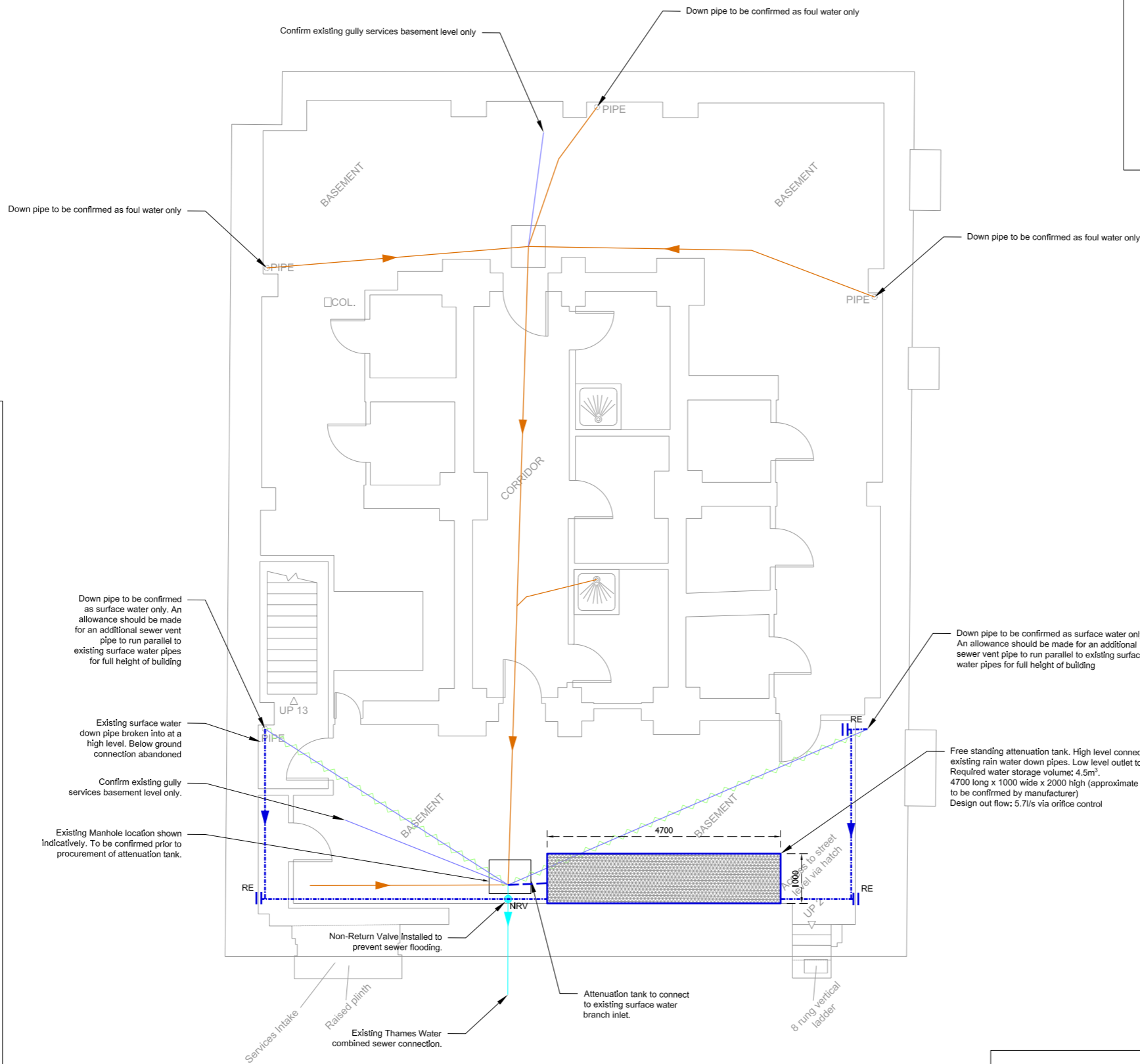
A Microdrainage analysis shows that to reduce the flow rate by 50%, an attenuation tank with capacity of 4.5m³ will be required. A yet to be specified flow control device will limit the rate of surface water run-off to 5.7l/s. Refer to Table 1 below for a summary of results.

Webb Yates Engineers Ltd
 48-50 Scrutton Street
 London, EC2A 4HH
 020 3696 1550
 london@webbyates.com
 www.webbyates.com

Registered in England & Wales No.: 5393930

General Notes to Drainage

- This drawing is to be read in conjunction with the drainage details and other relevant Architects and Engineers drawings and specifications.
- Design and setting out of above ground drainage by Architect/M&E engineer. All soil pipes, rainwater downpipes, channels and gullies are shown indicatively.
- Any part of the existing drainage system retained as part of the new scheme shall be cleaned and inspected.
- Existing drainage connectivity & condition to be confirmed by Contractor. Before starting work, check invert levels & positions of existing drains, sewers, inspection chambers & manholes against drawings. Report discrepancies.
- All pipe work needs to be surveyed to roof level to confirm connections and inlets.
- Any drains proposed to be removed, the Contractor is to confirm the drain is no longer live prior to removal/capping.
- Private foul water and surface water drainage is to be constructed in accordance with the building regulations part H (2015), BS EN 12056-2:2000 (inside buildings), BS EN 752:2017 (outside buildings) and all relevant agreement certificates.
- Allow for rodding access points in all locations to conform to specification. Notify contractor and architect of places where access is required to these rodding points in addition to those shown on plans.
- Provide 25mm foil face mineral wool insulation to all RWP's & SVP's.
- Provide rodding points to RWP's and SVP's before the below ground connection.
- All rodding eyes and access points shall be of 'double-seal' type.
- Appliances connecting to the drainage system shall be installed with a trap to prevent escape of foul air into the building.
- Appliances, pipes and fittings shall comply with relevant European standards where applicable.
- Any Statutory Authority (eg Section 106 Water Industry Act) connection approvals or new drain adoption approvals to be undertaken by Client / Contractor.
- Relevant drains to be built to adoptable standard as per "Sewers for Adoption, 7th Edition".
- Drain connections to be soffit to soffit unless noted otherwise.
- Where drains run at shallow depths under basements and foundations, allow for Cast Iron pipes to BS EN 877 (Saint-Gobain "Timesaver" or similar approved).
- All Foul Drains are DN100mm at 1:40 gradient UNO.
- All Storm Drains are DN100mm at 1:100 gradient UNO.
- Concrete surround to pipes below slab to be monolithic with slab, allow for nominal re-bar to be cast into surround and tie into slab. Double-rocker detail required at all interfaces.
- All pipes passing through foundations to be fitted with double rocker pipe connections on each side and/or sleeved through ground beams/walls subject to confirmation with structural engineer.
- Surface water from private areas is not to be discharged onto public highway.
- All internal manhole covers and rodding eyes shall be of 'double-seal' type. All external foul drainage manholes shall have double seal covers and all storm drainage manholes shall have single seal cover as a minimum.
- Manhole covers and frames shall be BS EN 124 and shall be Kitemarked. Covers and frames shall be heavy duty C250 in carriageways and vehicular areas and medium duty B125 in footways and soft landscaping. In blocked/concrete paved areas covers shall be recessed fabricated steel. All recessed covers shall be in accordance with the FACTA association gradings and shall match the Architects finishes.
- Cover levels are to be adjusted locally to suit finished ground levels.
- Access panels are to be provided to all rainwater pipes, max 600 above finished ground level.
- All drains to be tested before backfilling the trench and again after backfilling - this may need to be witnessed by the local building control officer - contractor to confirm. Contractor to agree preferred method of testing (Water or Air test) with building control/engineer.
- HEALTH AND SAFETY: The works shall be carried out by specialist competent and experienced contractors who are members of a recognised national organisation. Operatives shall have received full and appropriate training for the operations they are to undertake. All work shall be carried out in accordance with all pertinent Health and Safety Regulations.
- HEALTH AND SAFETY: Care should be taken to locate services prior to any excavation.



- Notes**
- Do not scale the drawing
 - All dimensions are in millimetres unless noted otherwise
 - Any discrepancies between structural and architectural setting out dimensions must be brought to the attention of the Architect and Engineers

IMPORTANT NOTE: SURVEY INDICATED THAT REMEDIAL WORKS REQUIRED FOR EXISTING DRAINAGE NETWORKS IN BASEMENT. REFER TO CCTV SURVEY FOR DETAILS.

IMPORTANT H&S NOTE: BURIED SERVICES - REFER TO SURVEYS & STATS DRAWINGS FOR DETAILS. ALWAYS FOLLOW GOOD PRACTICE TO AVOID STRIKING BURIED SERVICES.

00	20.11.2019	Issued for Tender	AM	GPD
Rev	Date	Description	Dm	App

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 48-50 Scrutton Street
 London EC2A 4HH
 020 3696 1550
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Project **Smarts Place**

Drawing Title **Below Ground Drainage Basement Layout**

Drawing Status **Tender**

Drawn by	Checked by	Sheet size	Scale	Rev status
AM	GPD	A1	1:50	S4

Drawing Number **J3386-C-GA-0110** Revision **00**