

DESIGN & ACCESS STATEMENT



fig.1. front view

69 HILLWAY
LONDON N6 6AB

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INTRODUCTION

69 Hillway is a two storey house, built in a variant of the Arts & Crafts style on the Holly Lodge Estate, North London. The house is a detached house occupying a large plot with a long rear garden.

This proposal seeks to extend the property through the enlargement and remodelling of an existing rear extension. The house was renovated in the 1960's or 70's and has not really been improved since.

The house has been unoccupied and has fallen into dillapadation. The fabric of the building has aged badly and the entire house requires improvement especially in terms of thermal performance.

The proposal takes into account the guidance set out in the Holly Lodge estate management strategy, along with the relevant LB Camden planning stipulations.



fig. 2. Aerial view



fig. 3. street view Holy Lodge estate



fig.4 & 5 street views Holy Lodge estate

SITE CONTEXT

The Holly Lodge Estate is a privately-managed suburban housing estate in Highgate, North London. Built in the 1920's, the estate is composed in an English vernacular style closely inspired by the Arts & Crafts movement. Typified by generous allowances of green space and mature trees, houses are set back from streets to create an open, village feel which has remained intact despite additional development.

69 Hillway is not a listed building however it is within the boundaries of "Holly Lodge Estate" conservation area. The house is in rough cast render and to the rear it presents an existing glass extension with a pitched roof facing the back garden. On the roof, there are two large dormers added probably in the 1970's. The rear garden has largely been paved over.

The neighbouring properties are built in a similar style to No. 69. Both adjacent No. 71 and No. 67 have large rear extensions, alongside rooflights and side extensions. No. 67 has also a large garden studio.



fig. 6. conservation area map for Holy Lodge estate

EXISTING EXTERNAL PHOTOGRAPHS



fig.7- 69 Hillway front view



fig.8- 69 Hillway rear view



fig.9. front view showing the garage door



fig.10 & fig.11. front view showing entrance glazing with first floor balcony



fig.12. rear view showing boundary between no.71



fig.13. existing rear sliding doors



fig.14. rear view showing the boundary between no.67

DESIGN PROPOSAL

Our aim is to improve the existing house while keeping much of the existing arrangement, replace the aluminium windows with painted timber windows. The existing roof is to be retained but repaired where necessary. The existing profiled rainwater goods will be replaced with new half round black more in keeping with the context and soffits and fascias will be redecorated. At the front of the house the bay windows will be replaced with more traditional and contextual windows. The garage doors will be renovated to match the appearance of the original partially glazed timber panelled garage doors.

Overall the proposal aims to create a more coherent external appearance, improve the internal circulation and maximise the internal space to improve the usability and livability of the house.

The proposal will add two velux rooflights to the pitch of the roof, respectively to the north and south side of it, enabling natural light to a storage area. At the ground floor an additional extension is proposed to the rear enlarging the kitchen. New aluminium framed sliding and folding doors will allow a direct connection to the rear garden. In addition, a new rooflight will allow direct natural light in the dining area and the kitchen. The garage will be converted into the utility and a new rooflight will be added.

The proposed rear extension will be L shaped to respect the stepped nature of the adjoining buildings. A canopy will be added to allow the user to enjoy the garden in all weather and to provide shade to the interiors. The glazed doors create a connection to the garden, somewhat similar to the existing situation.

The construction of the new extension will meet modern standards whereas the existing is no longer fit for purpose. The property will be comprehensively refurbished and restored throughout and insulation levels will be modernised and the house made more sustainable.

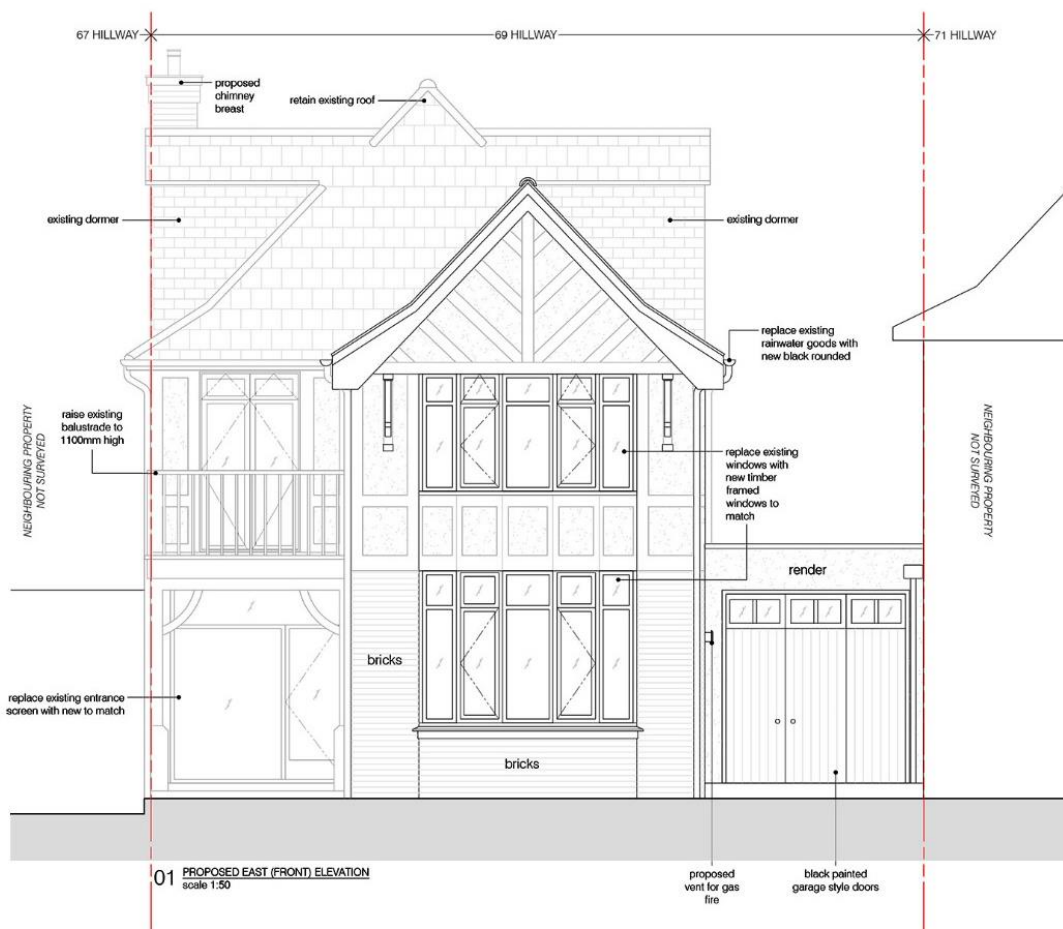


fig.15. proposed front elevation



fig.16. existing rear elevation

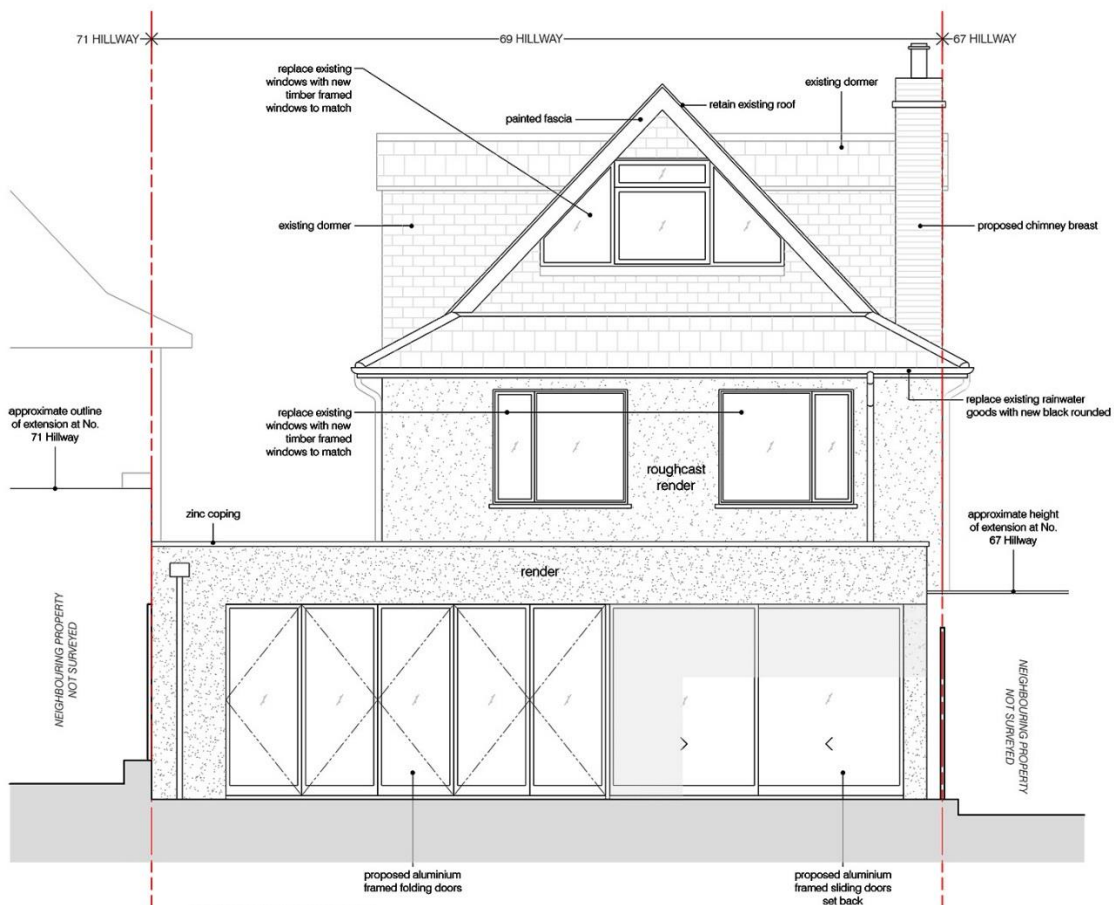


fig.17. proposed elevation

GARDEN AND GARDEN STUDIO

The proposal is to landscape the gardens and particularly at the rear to provide more green cover and trees to make the garden more attractive while also improving privacy and contributing to the greening of the estate. A mature garden with trees and shrubs will obscure views in and out at ground level and enable the rear extension to appear more bedded in to the landscape. The intention is that the site regains the garden character that was originally intended.

In addition we propose a low height garden studio at the rear of the garden that will be surrounded by planting.



fig.18. existing rear garden view

EXISTING INTERNAL PHOTOGRAPHS



fig.19. view showing entrance



fig.20. view showing front living room



fig.21. view showing entrance hall



fig.22 view showing kitchen



fig.23 view showing existing extension to rear living room



fig.24 view showing first floor landing



fig.25 first floor bathroom



fig.26 first floor bedroom 3 at the rear



fig.27 view showing first floor bedroom 2 at the rear



fig.28 & 29 view showing first floor master bedroom & master en-suite

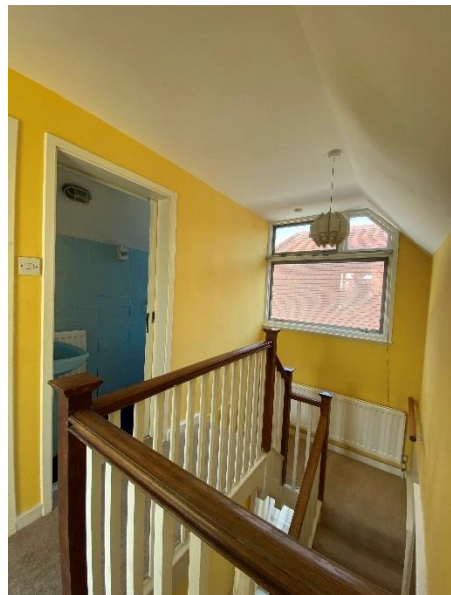
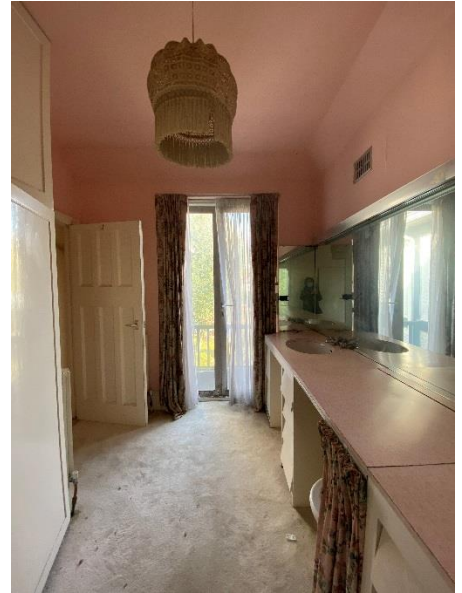


fig.30 view showing second floor landing



fig.31 view showing second floor shower room



fig.32 second floor roof space/store



fig.33 view showing second floor bedroom 4



fig.34 view showing second floor bedroom 4

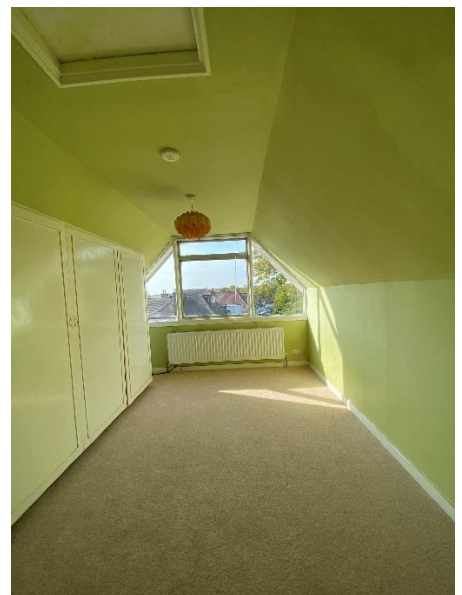


fig.35 second floor bedroom 5

MATERIALS

Materials will follow those used in the surrounding houses. The velux rooflights will be metal framed and the new sliding and folding doors facing the rear garden will have an aluminium frame.

Replacement windows and front door will be in painted hardwood.

SUSTAINABILITY

It is our aim to use the renovation and extension of the building as an opportunity to minimise the energy requirements of the house. We aim to employ the following sustainable elements:

- Super insulation of the new extension, existing loft, ground floor throughout and wherever possible.
- Use glazing with high thermal performance whilst maximising daylight
- Utilise rainwater collection to water the garden
- Use low energy lighting solutions
- Provide heat exchange ventilation systemUse a high efficient boiler
- Use energy saving appliances.

ACCESS

Access to the property is unchanged from the street, though will be enhanced by resurfacing of the currently uneven approach. Internally, the access is enhanced through the opening up of spaces and enlargement of the ground floor plan. Circulation is enhanced by new internal links to the front and rear of the property. Thresholds are level wherever possible.

Internally the extension enables reorganisation of the plan, creating an enlarged kitchen, dining and living areas, and it will allow natural light to flow in.

At the end of the long garden the proposal will add a garden studio, similar to the one at No.67, and it will take into account the guidance set out in the Holly Lodge Estate management strategy.