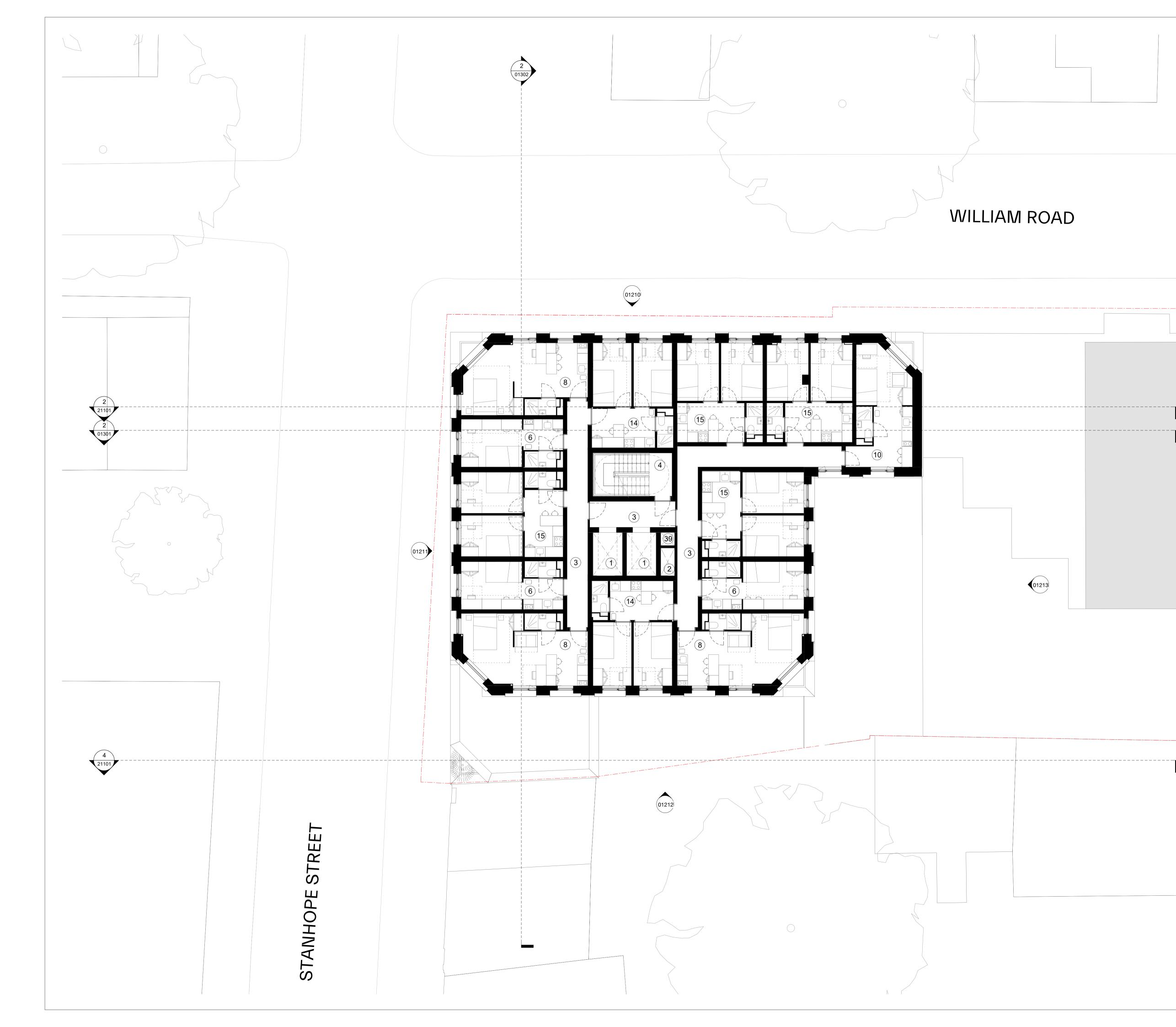


<u>KEY:</u>	
	Plot Boundary
1.	Lift
2.	Service Riser
3.	Circulation/Lobby
4.	Stair
5.	Storage
6.	01A - Standard Studio
7.	01B - Standard 'Deluxe' Studio
8.	01C - Standard 'Deluxe' Studio_Chamfered
9.	01D - Medium Shoulder Studio
10.	01E - Medium Shoulder Studio_Chamfered
11.	01F - Shoudler 'Deluxe' Studio
12.	01G - Shoulder 'Deluxe' Studio_Chamfered
13.	02A - Standard Accessible Studio
14.	03A - Standard 'Twodio'_North/South
15.	03B - Standard 'Twodio'_East/West/North
16.	Courtyard/Loggia/Terrace
17.	WC/Shower
18.	Laundrette
19.	Amenity
20.	Plant
21.	Office/Meeting Room
22.	Reception
23.	Residential Entrance
24.	Bike Store
25.	Bin Store
26.	Gym
27.	Cinema
28.	Management Room
29.	Post Room
30.	Existing Rooflight Above
31.	Proposed Rooflight Above
32.	Wheelchair Accessible Parking
33.	Sedum Roof
34.	Ballast Roof
35.	Light-grey Precast reconstituted stone planter
36.	Refuge Area
37.	Roof Hatch
38.	Lift Overrun
39. 40.	Smoke Shaft
40. 41.	Ramp Cleaner's Store

Ν P01 30.10.20 Planning amendment revision date SCALE BAR 1000 10000 mm 2000 MORRIS+COMPANY Unit 7, 16-24 Underwood Street, London N1 7JQ Tel: +44 (0)20 7566 7440 Fax: +44 (0)20 7014 3119 www.morrisand.company Do not scale from this drawing
All dimensions to be checked on site by the Contractor
And such dimensions to be their responsibility
Report all drawing errors and omissions to the Architect
All dimensions in millimeters unless noted otherwise
If in doubt ask Contract Administrator job title WILLIAM ROAD drawing title / location PROPOSED LEVEL 04-05 FLOOR PLAN status PLANNING 26/10/2020 date 1:100 @ A1 1:200 @ A3 scale projectoriginatorzoneleveltyperolenumberstatus - revisionA295MCOBA04DRA01104P01



3.

4.

5. 6.

10. 11. 12.

EY:	
	Plot Boundary

Lift Service Riser Circulation/Lobby

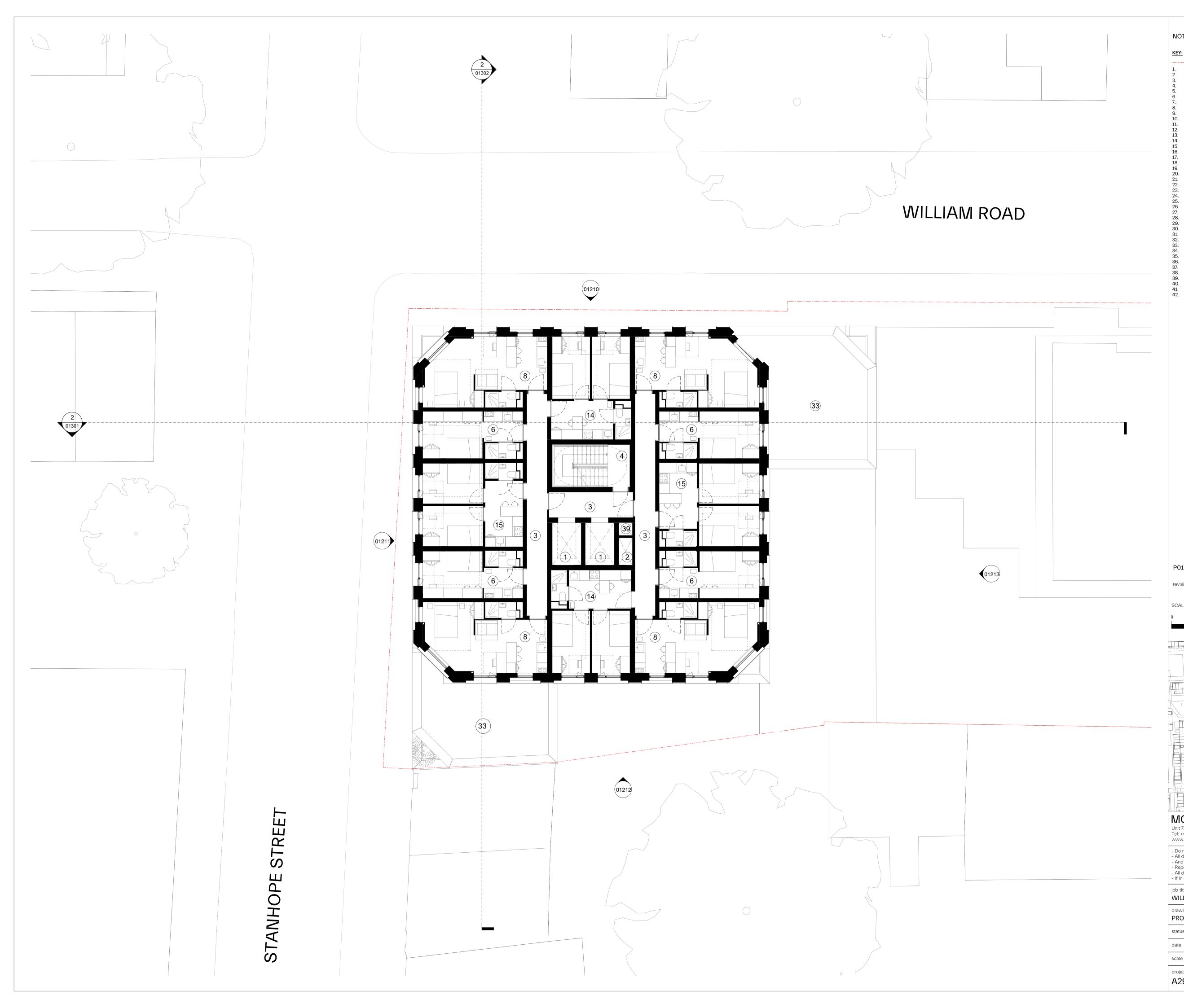
- Stair

- Stair Storage 01A Standard Studio 01B Standard 'Deluxe' Studio 01C Standard 'Deluxe' Studio_Chamfered 01D Medium Shoulder Studio 01E Medium Shoulder Studio_Chamfered 01F Shoudler 'Deluxe' Studio 01G Shoulder 'Deluxe' Studio_Chamfered 02A Standard 'Twodio' North/South
- 13.
- 02A Standard Accessible Studio 03A Standard 'Twodio'_North/South 03B Standard 'Twodio'_East/West/North Courtyard/Loggia/Terrace WC/Shower Laundrette Amenity Plant Office/Meeting Room Recention

- Reception
- Residential Entrance Bike Store
- Bin Store

- Bin Store Gym Cinema Management Room Post Room Existing Rooflight Above Proposed Rooflight Above Wheelchair Accessible Parking Sedum Roof Ballast Roof Light-grey Precast reconstituted
- Light-grey Precast reconstituted stone planter Refuge Area Roof Hatch
- 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. Llft Overrun Smoke Shaft
- Ramp Cleaner's Store Comms Room

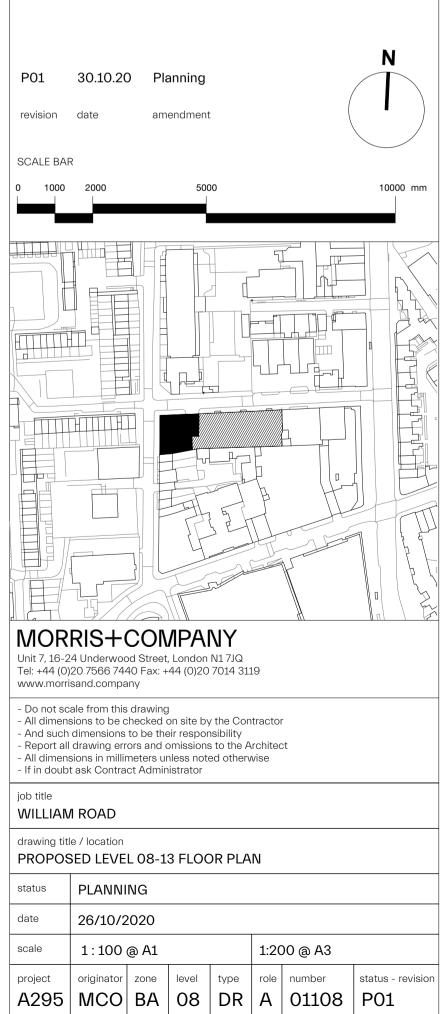
Ν P01 30.10.20 Planning revision date amendment SCALE BAR 1000 10000 mm MORRIS+COMPANY Unit 7, 16-24 Underwood Street, London N1 7JQ Tel: +44 (0)20 7566 7440 Fax: +44 (0)20 7014 3119 www.morrisand.company - Do not scale from this drawing - All dimensions to be checked on site by the Contractor And such dimensions to be their responsibilityReport all drawing errors and omissions to the Architect All dimensions in millimeters unless noted otherwise
 If in doubt ask Contract Administrator job title WILLIAM ROAD drawing title / location PROPOSED LEVEL 06-07 FLOOR PLAN status PLANNING date 26/10/2020 1:100 @ A1 1:200 @ A3 scale project originator zone level type role number status - revision A295 MCO BA 06 DR A 01106 P01

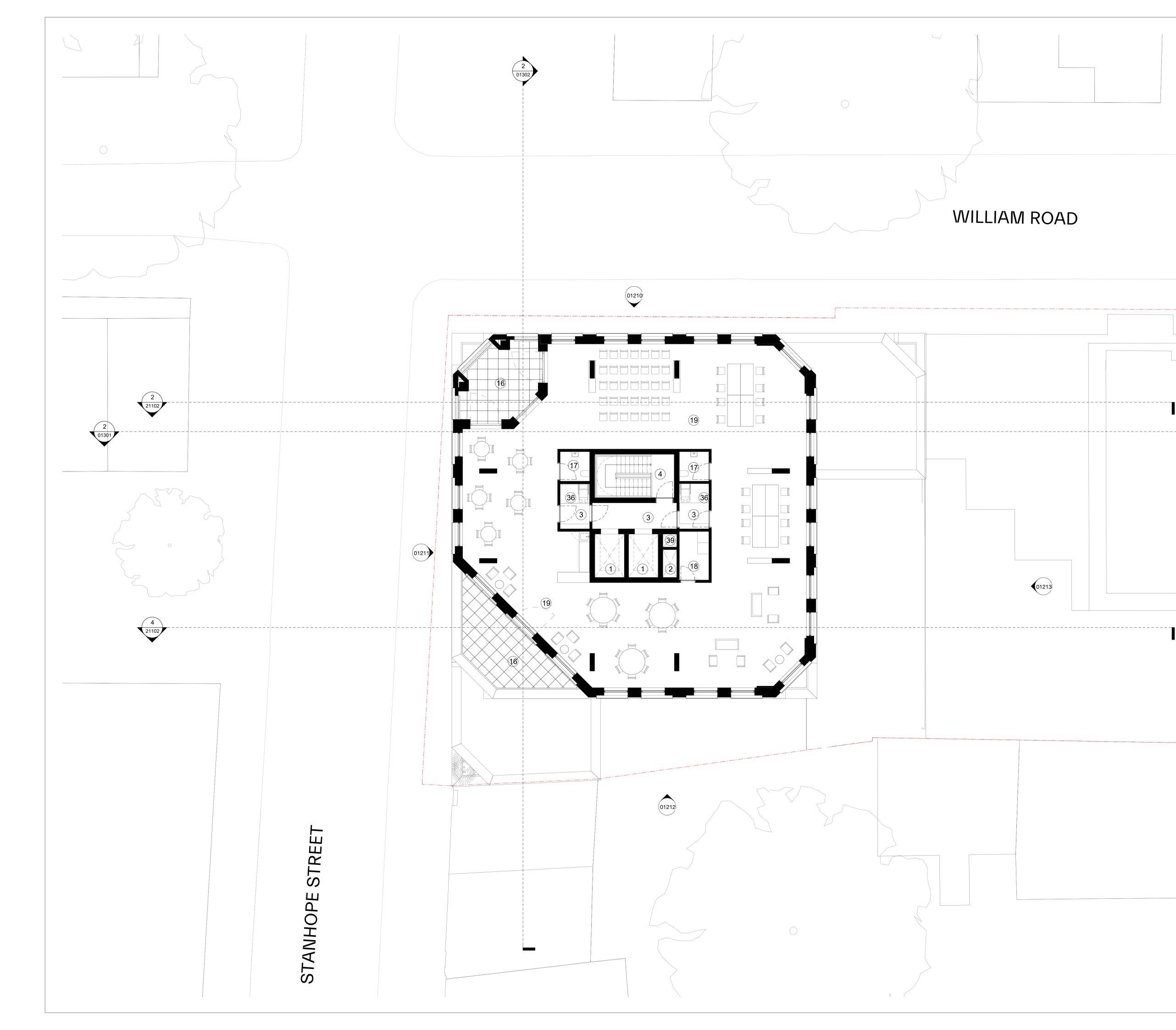


| KEY: | |
|------|--|
| | Plot Boundary |
| 1. | Lift |
| 2. | Service Riser |
| 3. | Circulation/Lobby |
| 4. | Stair |
| 5. | Storage |
| 6. | 01A - Standard Studio |
| 7. | 01B - Standard 'Deluxe' Studio |
| 8. | 01C - Standard 'Deluxe' Studio_Chamfered |
| - | |

- 01D Medium Shoulder Studio
- 01E Medium Shoulder Studio 01E Medium Shoulder Studio 01F Shoudler 'Deluxe' Studio 01G Shoulder 'Deluxe' Studio_Chamfered 02A Standard Accessible Studio 12.
- 02A Standard Accessible Studio 03A Standard 'Twodio'_North/South 03B Standard 'Twodio'_East/West/North Courtyard/Loggia/Terrace WC/Shower Laundrette Amenity Plant Office/Meeting Room Reception Residential Entrance Bike Store Bin Store Gym

- Bin Store Gym Cinema Management Room Post Room Existing Rooflight Above Proposed Rooflight Above Wheelchair Accessible Parking Sedum Roof Ballast Roof Light-grey Precast reconstituted
- Ballast Roof Light-grey Precast reconstituted stone planter Refuge Area Roof Hatch Llft Overrun Smoke Shaft Ramp Cleaner's Store Comms Room





11.

12. 13.

| <u>KEY:</u> | |
|-------------|--|
| | Plot Boundary |
| 1. | Lift |
| 2. | Service Riser |
| 3. | Circulation/Lobby |
| 4. | Stair |
| 5. | Storage |
| 6. | 01A - Standard Studio |
| 7. | 01B - Standard 'Deluxe' Studio |
| 8. | 01C - Standard 'Deluxe' Studio_Chamfered |
| 9. | 01D - Medium Shoulder Studio |
| 10. | 01E - Medium Shoulder Studio_Chamfered |

- 01F Shoudler 'Deluxe' Studio 01G - Shoulder 'Deluxe' Studio_Chamfered 02A - Standard Accessible Studio
- 02A Standard Accessible Studio 03A Standard 'Twodio'_North/South 03B Standard 'Twodio'_East/West/North Courtyard/Loggia/Terrace WC/Shower Laundrette Amenity Plant Office/Meeting Room Recention

- Reception
- Residential Entrance Bike Store
- Bin Store

- Bin Store Gym Cinema Management Room Post Room Existing Rooflight Above Proposed Rooflight Above Wheelchair Accessible Parking Sedum Roof Ballast Roof Light-grey Precast reconstituted
- Light-grey Precast reconstituted stone planter Refuge Area Roof Hatch Llft Overrun Smoke Shaft
- 14.

 15.

 16.

 17.

 18.

 19.

 20.

 21.

 22.

 23.

 24.

 25.

 26.

 27.

 28.

 29.

 30.

 31.

 32.

 33.

 34.

 35.

 36.

 37.

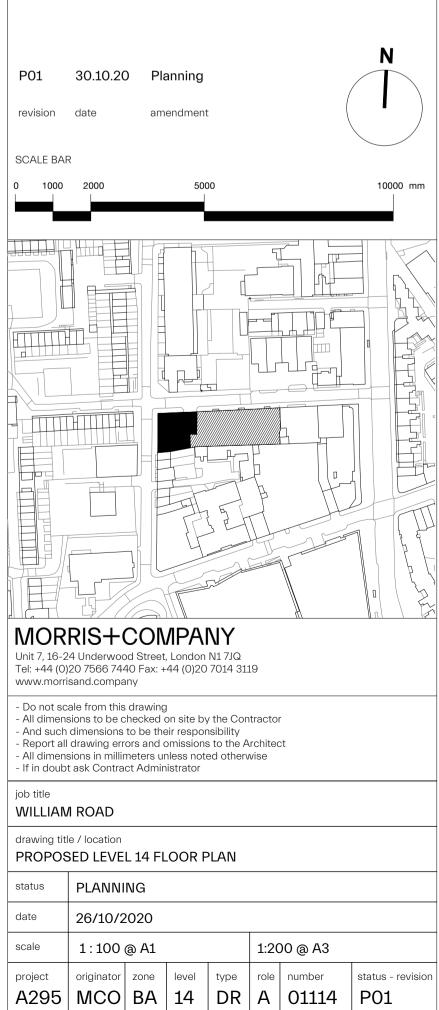
 38.

 39.

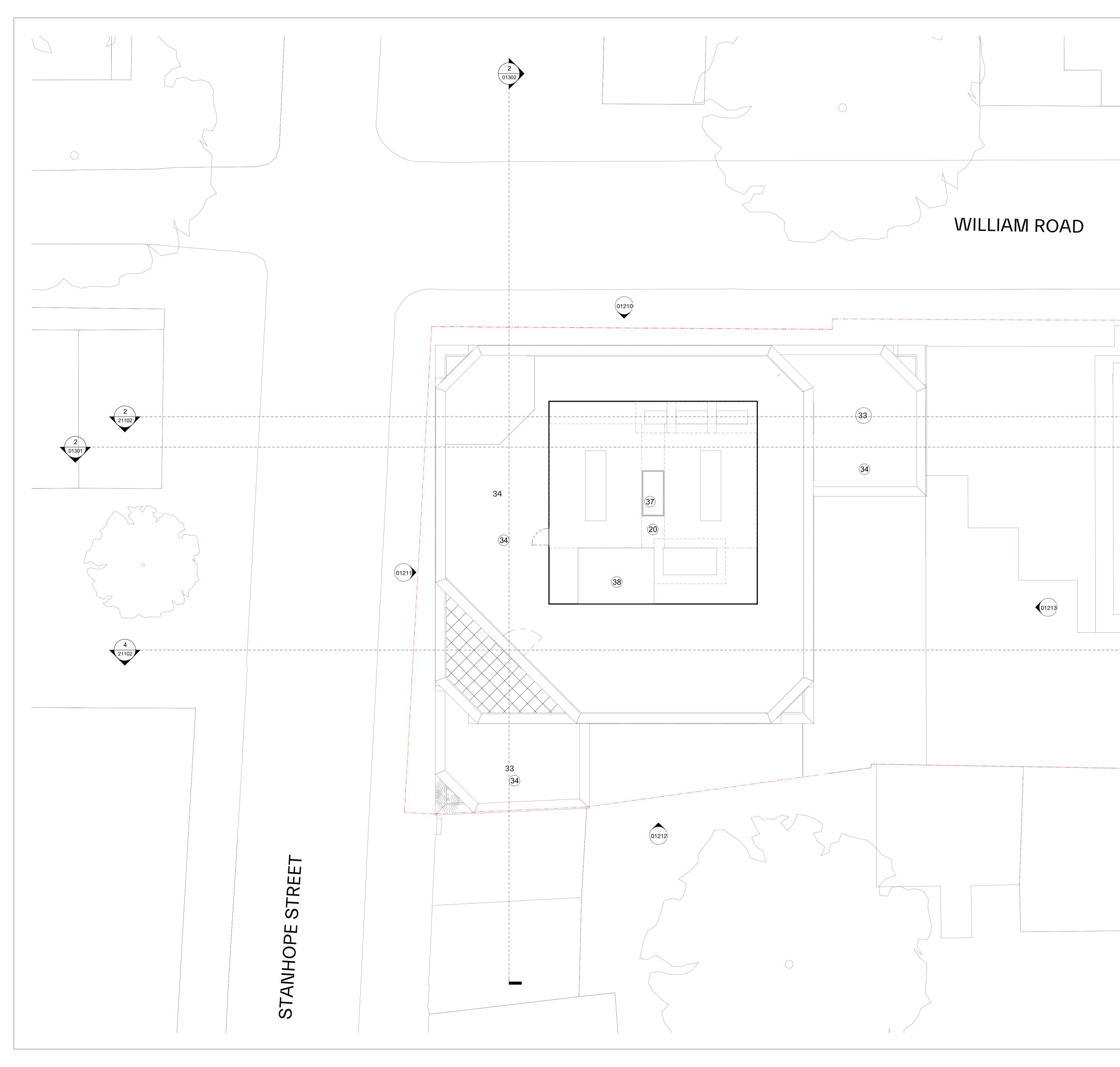
 40.

 41.

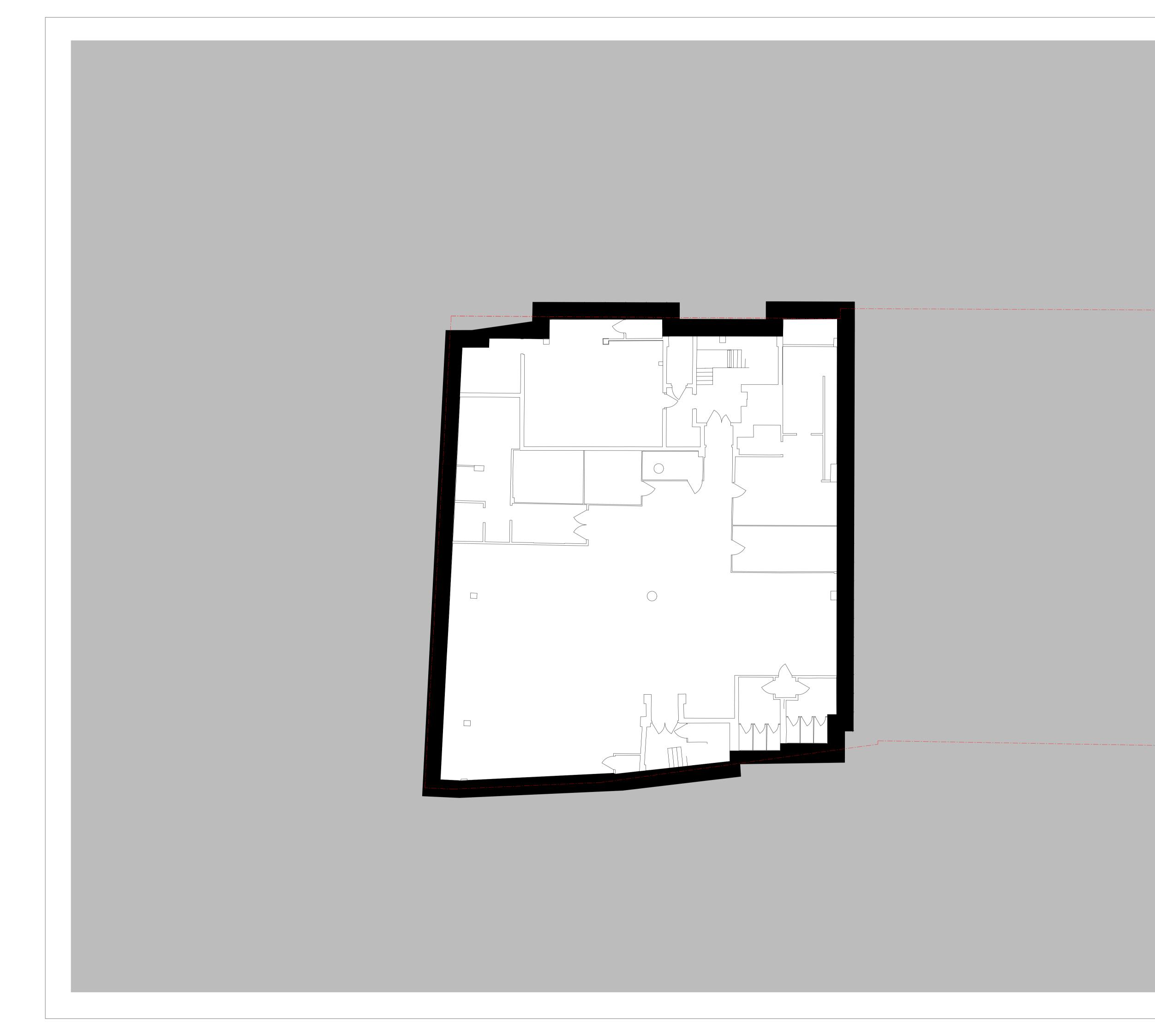
 42.
- Ramp Cleaner's Store Comms Room



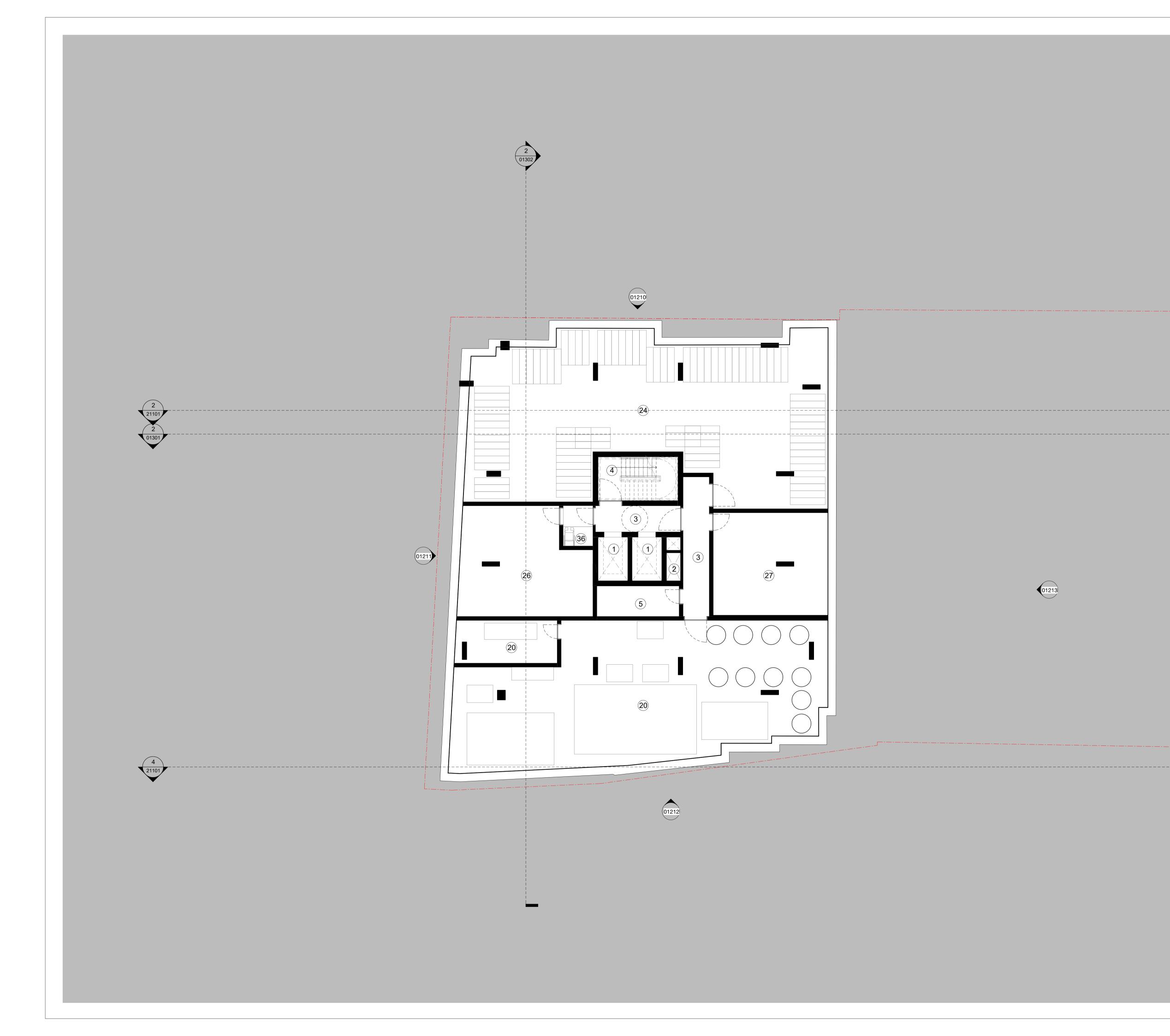




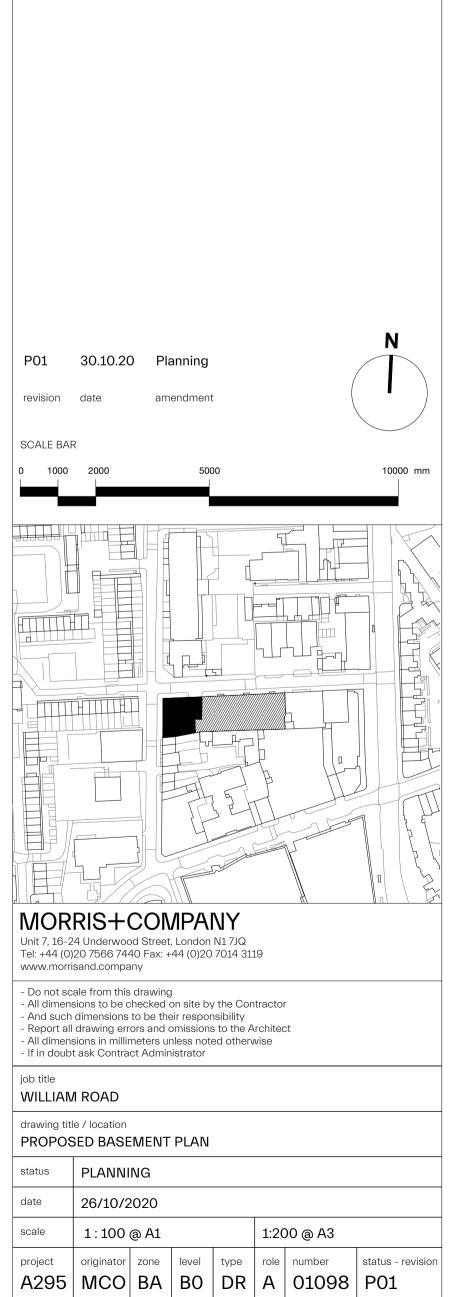
| NOTES: | | | | | | | |
|--|--|-----------------------------------|--|---------------------------|-------------------|------------------------|-------------------------|
| | Plot Boundar | y | | | | | |
| 2. S
3. C | .ift
Service Riser
Circulation/L
Stair | | | | | | |
| 5. S
6. C | Storage
01A - Standa
01B - Standa | | | C | | | |
| 8. 0
9. 0
10. 0 |)1C - Standa
)1D - Mediur
)1E - Mediun | rd 'Delu:
n Should
n Should | xe' Studio
der Studio
der Studio | o_Chamfe
o
o_Chamfe | | | |
| 12. C
13. C |)1F - Shoudl
)1G - Should
)2A - Standa
)3A - Standa | er 'Delux
rd Acce | xe' Studio
ssible St | o_Chamfe
udio | ered | | |
| 15. C
16. C |)3B - Standa
)3B - Standa
Courtyard/Lo
NC/Shower | rd 'Two | dio'_East | | orth | | |
| 18. L
19. A
20. F | aundrette
Amenity
Plant | | | | | | |
| 22. F
23. F | Office/Meeti
Reception
Residential E
Bike Store | | n | | | | |
| 25. E
26. G | Bin Store
Bym
Cinema | | | | | | |
| 28. N
29. F
30. E | /lanagement
Post Room
Existing Roof | light Ab | ove | | | | |
| 32. V
33. S | Proposed Ro
Wheelchair A
Sedum Roof
Ballast Roof | | | g | | | |
| 35. L
36. F | ight-grey Pr
Refuge Area
Roof Hatch | ecast re | constitut | ted stone | plante | er | |
|
38. L
39. 3
40. F | .lft Overrun
Smoke Shaf [.]
Ramp | | | | | | |
| | Cleaner's Sto
Comms Roor | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| P01 | 30.10.20 |) Pla | anning | | | | N |
| revision | date | am | iendmen [.] | t | | | |
| SCALE BAF | 2 | | | | | | |
| 0 1000 | 2000 | | 500 | 00 | | | 10000 mm |
| | | | | 1 | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | Ļ | | |
| | | | | | | | |
| | | | | | IIIIIII
D
G | | |
| | | | | | THE A | | |
| | | | F | J E | Ţ | | |
| | | | | The state | | Y | |
| | | | | | | <u>}</u> | |
| Unit 7, 16-2
Tel: +44 (0) | RIS+(
4 Underwood
20 7566 744 | d Street
10 Fax: + | t, London | N1 7JQ | 19 | | |
| www.morri
- Do not sc | sand.compa
ale from this | ny
drawing | g | | | | |
| - And such
- Report all | sions to be c
dimensions
drawing erro
sions in millir | to be the
ors and o | eir respoi
omission: | nsibility
s to the A | rchited | | |
| - All dimens
- If in doubt
job title | t ask Contra | t Admir | nistrator | Sa ourerv | -100 | | |
| drawing titl | | | | | | | |
| PROPOS | SED ROOF | | EL PLAN | N | | | |
| status
date | PLANNI
26/10/2 | | | | | | |
| scale | 1:100 | | | | 1:20 | 00 @ A3 | |
| project
A295 | originator
MCO | ^{zone} | level
15 | type
DR | ^{role} | number
01115 | status - revision P01 |
| | | | <u> </u> | 1 | | © M | orris+Company Ltd. 2018 |

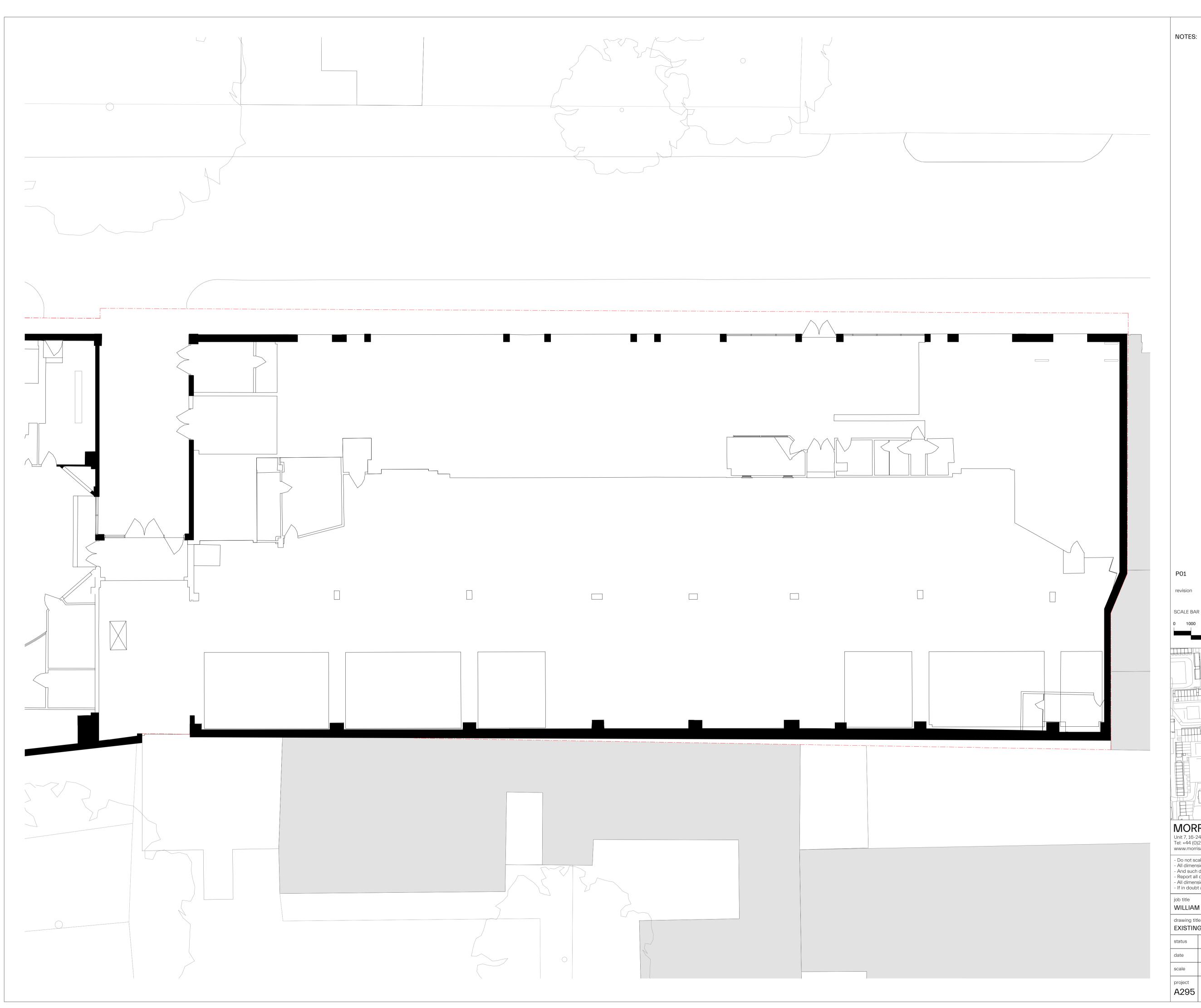


|
NOTES: | | | | | | | | |
|--|-----------------------------|-------------------------|-------------------------|-------------------------|-----------|-----------------|------------------------------|--|
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| P01 | 30.10.20 | 0 Pla | anning | | | | N | |
| revision | date | am | endment | t | | | | |
| SCALE BAF | 2 | | | | | | | |
| 0 1000 | 2000 | | 500 | 00 | | | 10000 mm | |
| | | | - | 1 | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | E | | | |
| | | | | | THE A | H- | | |
| | | | F | S E F | Ţ | | | |
| | |]+L | | | | F | | |
| | | | | | | <u>}</u> | | |
| MOR
Unit 7, 16-2
Tel: +44 (0) | 4 Underwoo | od Street | , London | N1 7JQ | 19 | | | |
| www.morri | sand.compa
ale from this | any
s drawing | | | | | | |
| - All dimens
- And such
- Report all
- All dimens | dimensions
drawing err | to be the
rors and c | eir respor
omissions | nsibility
s to the A | rchited | | | |
| - If in doubt | t ask Contra | ict Admin | istrator | | - | | | |
| WILLIAN
drawing titl | | | | | | | | |
| EXISTIN | G BASEN | IENT P | LAN | | | | | |
| status
date | PLANN
26/10/2 | | | | | | | |
| scale | 1 : 100 | | | | | 00 @ A3 | | |
| project
A295 | originator | | level
B0 | type
DR | role
A | number
00098 | status - revision P01 | |
| | | 1 | 1 | | | © N | lorris+Company Ltd. 2018 | |

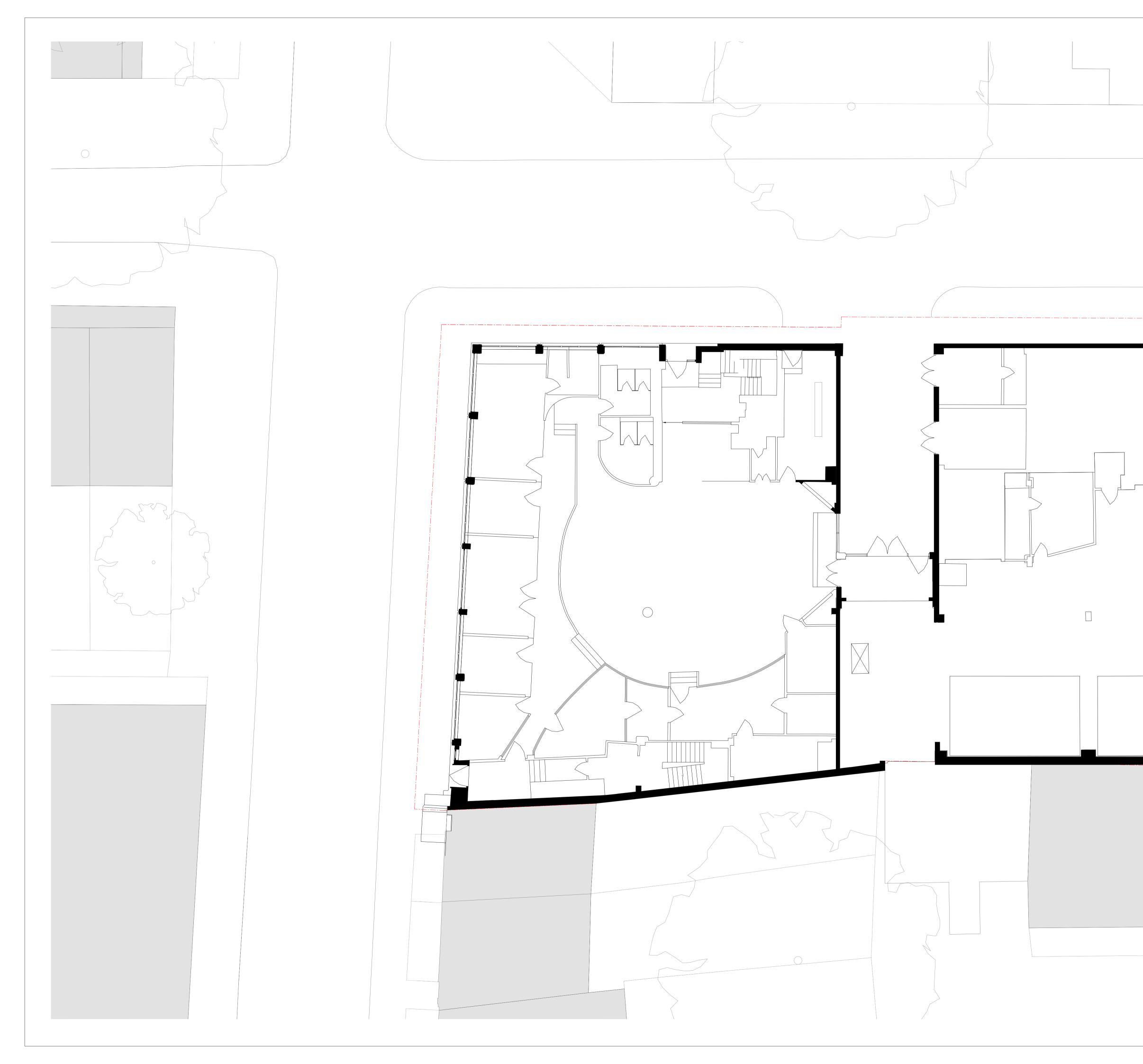


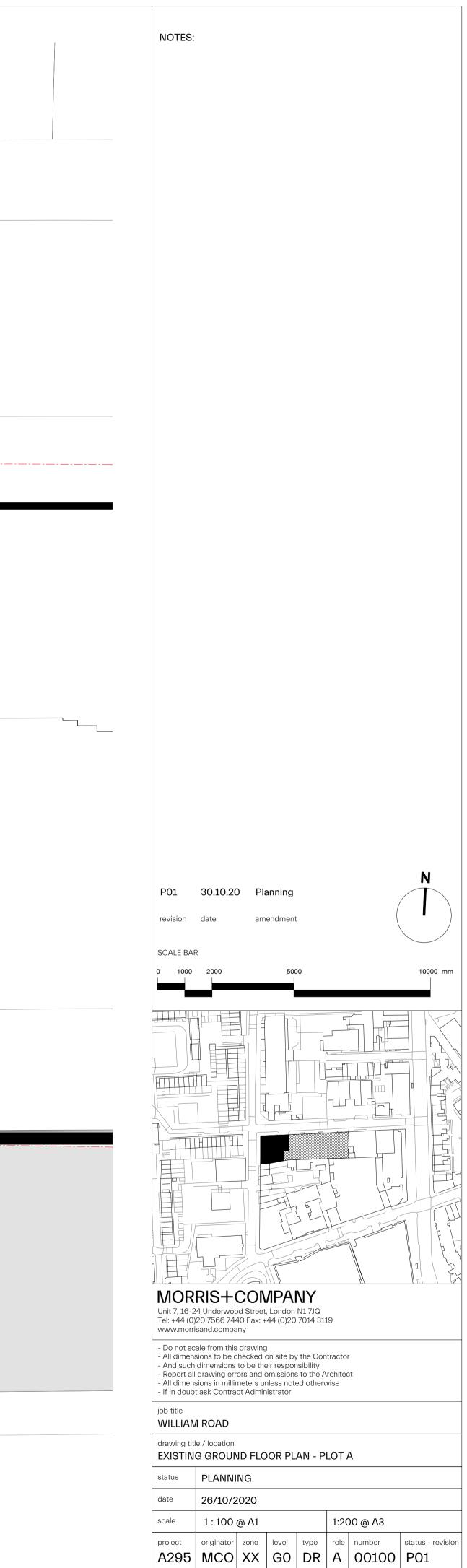
| NOTES: |
|--|
| KEY: |
| Plot Boundary 1. Lift 2. Service Riser 3. Circulation/Lobby 4. Stair 5. Storage 6. OIA - Standard Ybeluxe' Studio 7. OIB - Standard 'Deluxe' Studio 8. OIC - Standard 'Deluxe' Studio 9. OID - Medium Shoulder Studio_Chamfered 9. OID - Medium Shoulder Studio_Chamfered 11. OIF - Shoudler 'Deluxe' Studio 12. OIG - Shoulder 'Deluxe' Studio 13. O2A - Standard 'Twodio'_North/South 15. O3B - Standard 'Twodio'_North/South 16. Courtyard/Loggia/Terrace 17. WC/Shower 18. Laundrette 19. Amenity 20. Plant 21. Office/Meeting Room 22. Reception 23. Residential Entrance 24. Bike Store 25. Bin Store 26. Gym 27. Cinema 28. Management Room 29. Post Room |
| |



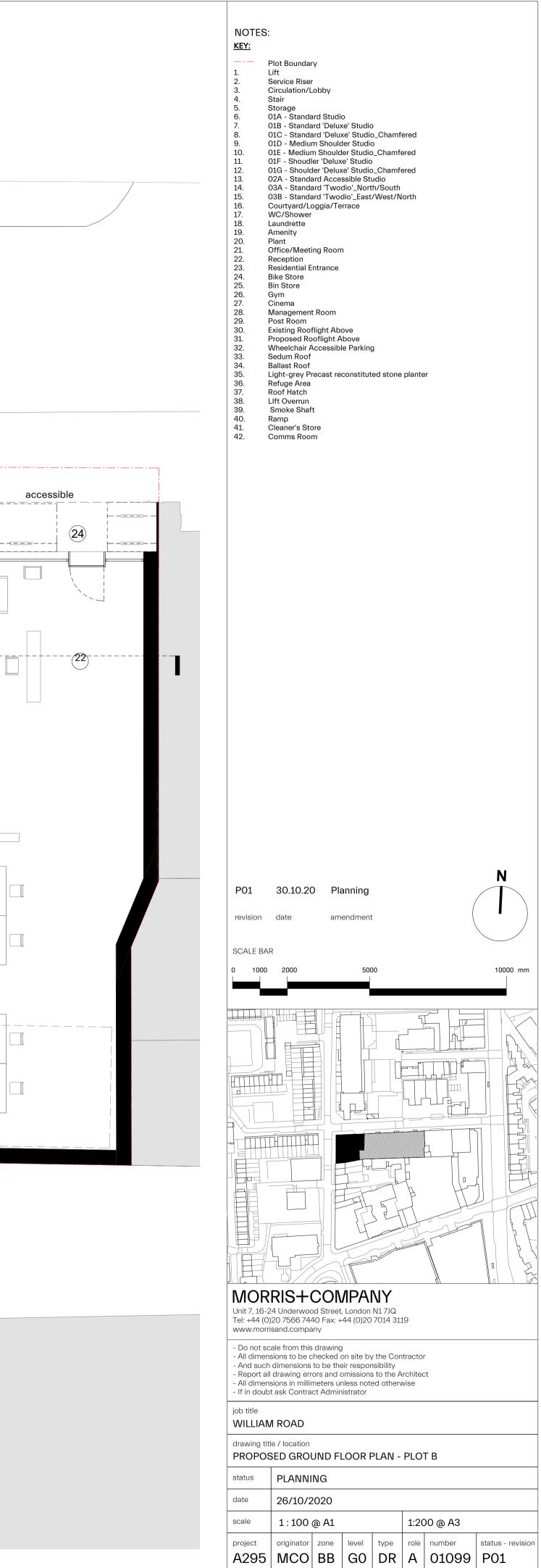


| P01 | 30.10.20 |) Pla | anning | | | | N |
|--|--|--|---|--------------------------|-----------|-----------------|--------------------------|
| revision | date | | endment | : | | | |
| SCALE BAR | २
2000 | | 500 | 00 | | | 10000 mm |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| Unit 7, 16-2
Tel: +44 (0) | RIS+(
24 Underwood
20 7566 744
isand.compa | od Street,
10 Fax: + | , London | N1 7JQ | .9 | <u>}</u> | |
| - All dimen:
- And such
- Report all
- All dimen:
- If in doub | ale from this
sions to be c
dimensions
drawing err
sions in millir
t ask Contra | hecked of
to be the
ors and o
neters ur | on site by
eir respor
omissions
nless note | nsibility
is to the A | rchited | | |
| job title
WILLIAN
drawing tit | I ROAD | | | | | | |
| | G GROUN | |)OR - P | LOT B | | | |
| date
scale | 26/10/2
1:100 | | | | 1.00 |)0 @ A3 | |
| project
A295 | originator | zone | level
G0 | type
DR | role
A | number
00099 | status - revision
P01 |

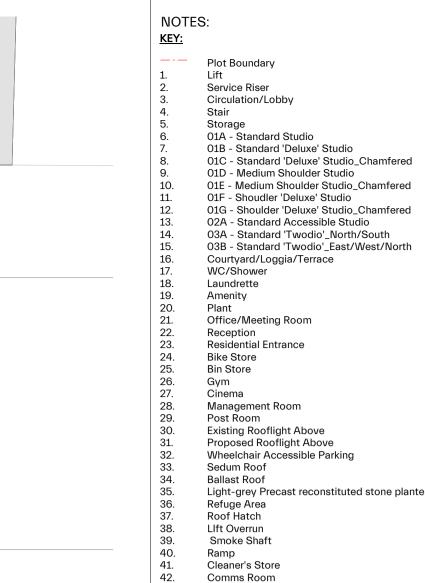








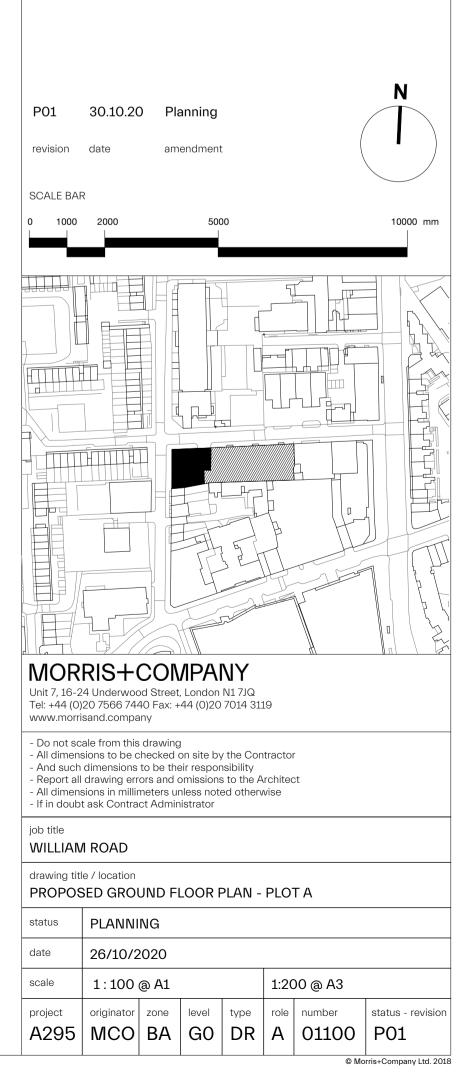




- Reception Residential Entrance Bike Store Bin Store

- Bin Store Gym Cinema Management Room Post Room Existing Rooflight Above Proposed Rooflight Above Wheelchair Accessible Parking Sedum Roof Ballast Roof Light-grey Precast reconstituted stone planter Refuge Area Roof Hatch Lift Overrun Smoke Shaft Ramp Cleaner's Store Comms Room

- Comms Room

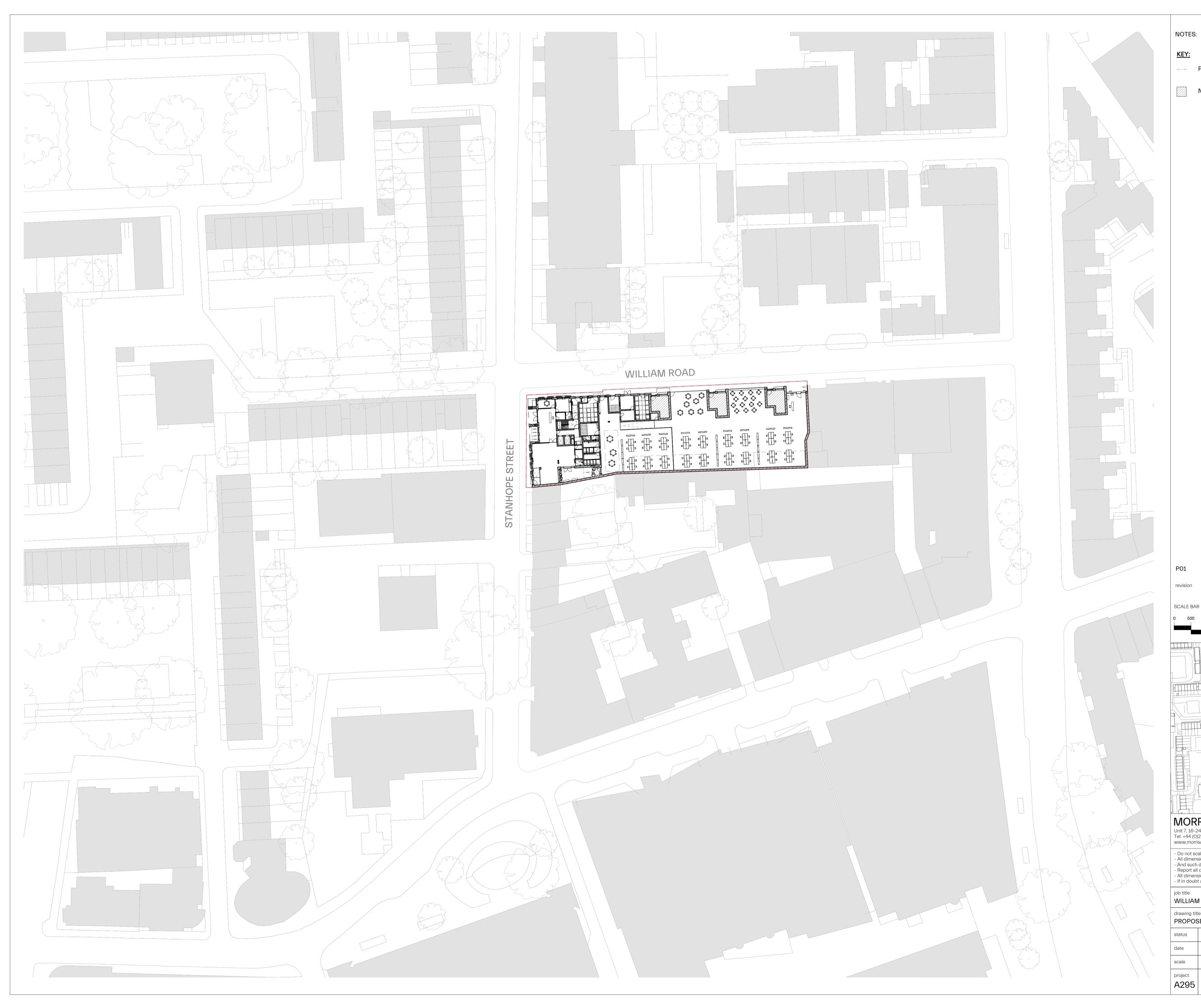








NOTES: <u>KEY:</u> --- Plot Boundary Not in scope of application Ν P01 30.10.20 Planning amendment revision date SCALE BAR 5000 10000 50000 mm MORRIS+COMPANY Unit 7, 16-24 Underwood Street, London N1 7JQ Tel: +44 (0)20 7566 7440 Fax: +44 (0)20 7014 3119 www.morrisand.company Do not scale from this drawing All dimensions to be checked on site by the Contractor And such dimensions to be their responsibility Report all drawing errors and omissions to the Architect All dimensions in millimeters unless noted otherwise If in doubt ask Contract Administrator job title WILLIAM ROAD drawing title / location SITE LOCATION PLAN status PLANNING date 26/10/2020 1:500 @ A1 1:1000 @ A3 scale projectoriginatorzoneleveltyperolenumberstatus - revisionA295MCOXXRODRA00001P01



| <u>KEY:</u> | | | | | | |
|-----------------------------|---|----------------------------------|-----------------------------|------------------|----------|--------------------------|
| | Plot Bound | dary | | | | |
| | Not in sco | pe of appl | ication | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| P01 | 30.10.20 | Plannin | g | | | N |
| revision | date | amendm | ent | | | |
| | 2 | | | | | |
| SCALE BAI | 1000 | | 2500 | | | 5000 mm |
| | | | | | | |
| | | | | Ĺ | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | D | |
| | | | 4 5 | A | H | |
| | | | SEA | H | | |
| | | | - T- | | F | |
| | | | | | <u>}</u> | |
| | RIS+C | | | | | |
| Tel: +44 (0) | 20 7566 744(
isand.compan | 0 Fax: +44 (0) | 20 7014 31 | 19 | | |
| - All dimen | ale from this o
sions to be ch
dimensions to | necked on site | by the Cor | ntracto | r | |
| - Report all
- All dimen | dimensions to
drawing erro
sions in millim
t ask Contrac | rs and omissi
ieters unless r | ons to the A
loted other | Architeo
wise | ot | |
| job title | | ., | | | | |
| drawing tit | I ROAD | | | | | |
| | SED SITE F | PLAN | | | | |
| status | PLANNIN | | | | | |
| date
scale | 26/10/20
1:500 @ | | | 1.10 |)00 @ A3 | |
| project | | zone leve | type | role | number | status - revision |
| A295 | MCO | XX RC |) DR | A | 00010 | |
| | I | ! | | | © N | lorris+Company Ltd. 2018 |



| NOTES: | |
|--|-----------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| P01 30.10.20 Planning | |
| revision date amendment
SCALE BAR
0 2000 4000 10000 20000 mm | n |
| | ~ |
| | |
| | |
| | |
| | I Lon Alt |
| MORRIS+COMPANY
Unit 7, 16-24 Underwood Street, London N1 7JQ
Tel: +44 (0)20 7566 7440 Fax: +44 (0)20 7014 3119
www.morrisand.company | |
| Do not scale from this drawing All dimensions to be checked on site by the Contractor And such dimensions to be their responsibility Report all drawing errors and omissions to the Architect All dimensions in millimeters unless noted otherwise If in doubt ask Contract Administrator | |
| job title
WILLIAM ROAD | |

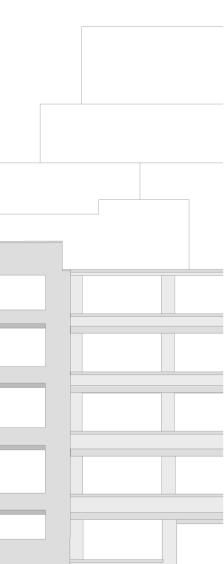
drawing title / location EXISTING NORTH ELEVATION status PLANNING date 26/10/2020 1:400 @ A3 scale 1:200 @ A1 projectoriginatorzoneleveltyperolenumberstatus - revisionA295MCOXXZZDRA00210P01 © Morris+Company Ltd. 2018

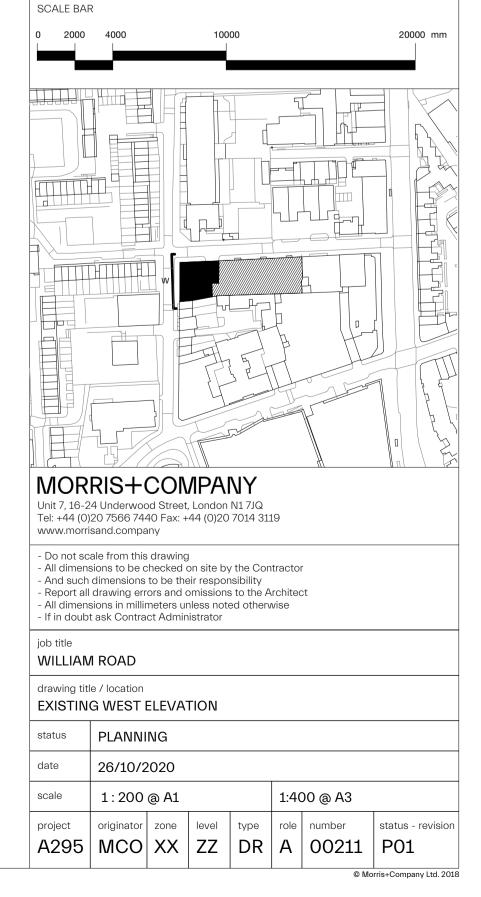
WILLIAM ROAD



PLOT A 35 - 37 WILLIAM ROAD

58 - 60 STANHOPE ST



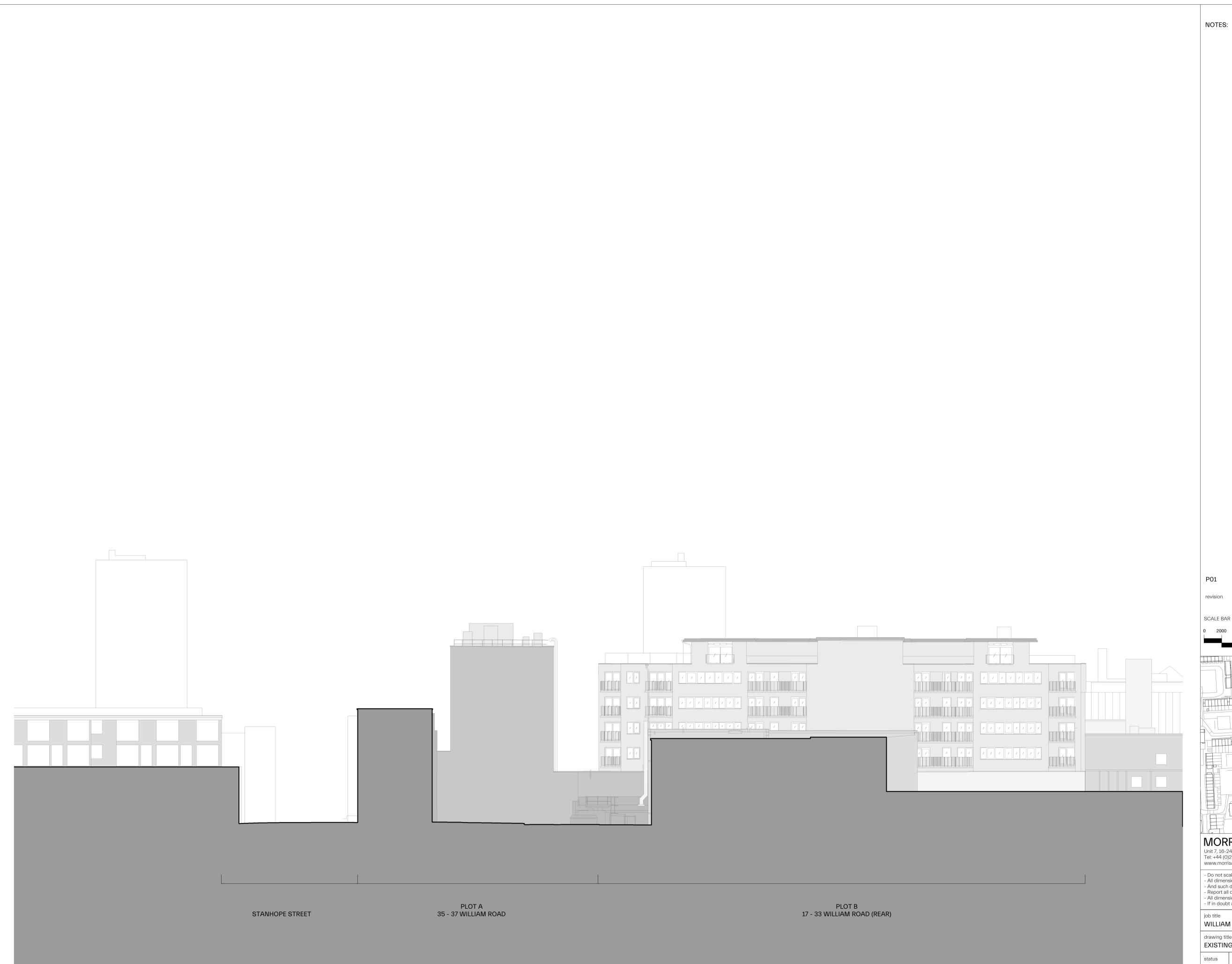


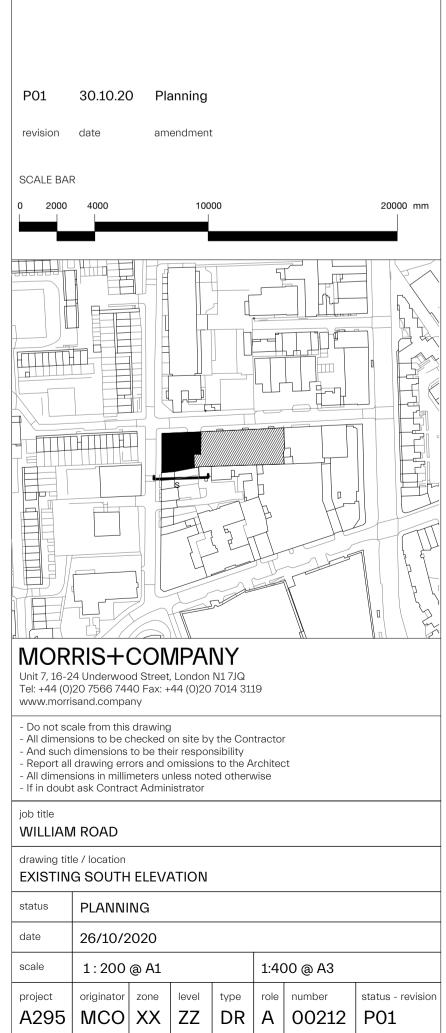
revision date

NOTES:

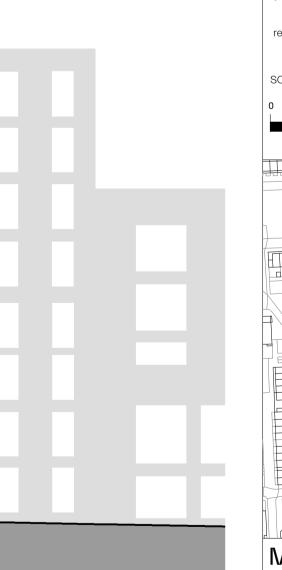
P01 30.10.20 Planning

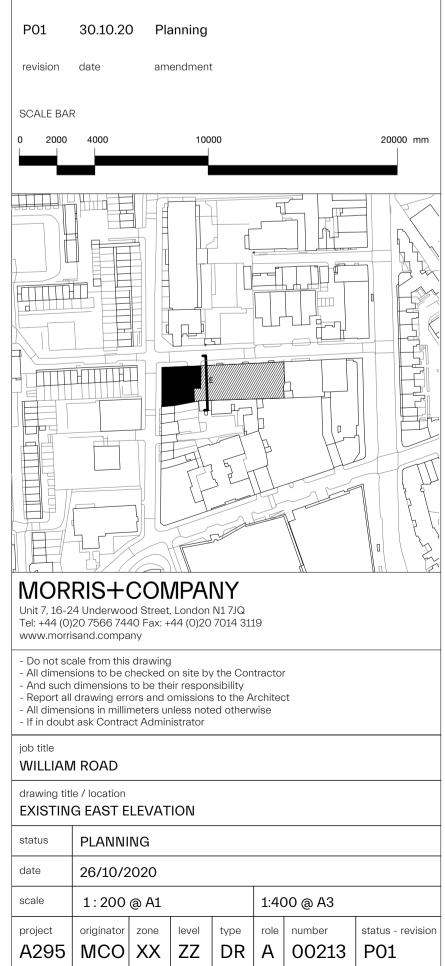
amendment

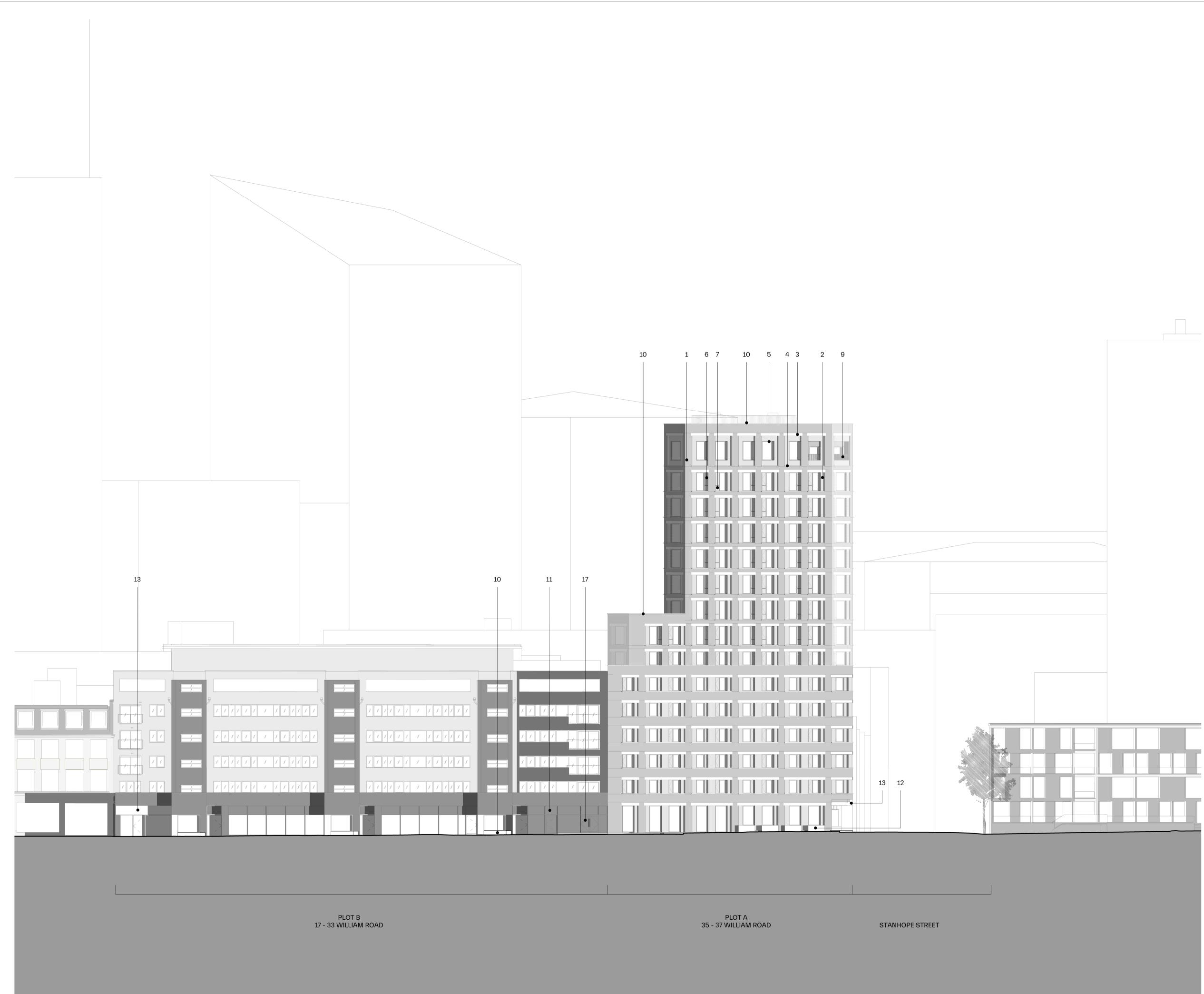








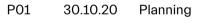




<u>KEY</u>

Refer to Design and Access Statement for relevant material palettes, colours and textures.

- Dark Plum coloured brickwork. Stretcher bond
- (brick-type 01) Light Grey/Cream coloured brickwork. Stretcher bond
- (brick-type 02) Light-Grey coloured Precast Reconstituted Stone lintel. Matte finish Light-Grey coloured Precast Reconstituted Stone Window sill. Matte
- Finish. Light Grey/Cream coloured Aluminium window frame. Matte Finish 5.
- coloured to match brick type 02 Light Grey/Cream coloured Aluminium openable panel for ventilation. 6
- Matte Finish coloured to match brick type 02
- Light Grey/Cream coloured Aluminium spandrel panel. Matte Finish coloured to match brick type 02
- Light Grey/Cream coloured Louvered ventilated doors. Matte Finish 8.
- coloured to match brick type 02 9. Light Grey/Cream coloured Metal balustrade to loggia and terrace. Matte Finish coloured to match brick type 02
- 10. Light Grey/Cream coloured Precast Reconstituted Stone coping. Matte finish Dark Grey/Charcoal black Metal panels. Matte Finish coloured to match 11.
- existing stair core cladding in plot B. 12. Dark plum coloured brickwork. Vertical stretcher bond
- (brick-type 01)
- 13. Signage area. Embossed within Light-Grey coloured Precast Reconstituted Stone lintel.
- 14. UKPN louvered door. Grey coloured metalwork door. to match other metalwork.
- Light-Grey coloured Precast Reconstituted Stone planter and bench 15. 16. Light-Grey coloured Aluminium frame glazed entrance doors. Matte Finish
- coloured to match brick type 02 Light-Grey coloured Perforated Aluminium screen fixed to louverto roof plant enclosure. Matte Finish coloured to match brick type 02



amendment

SCALE BAR

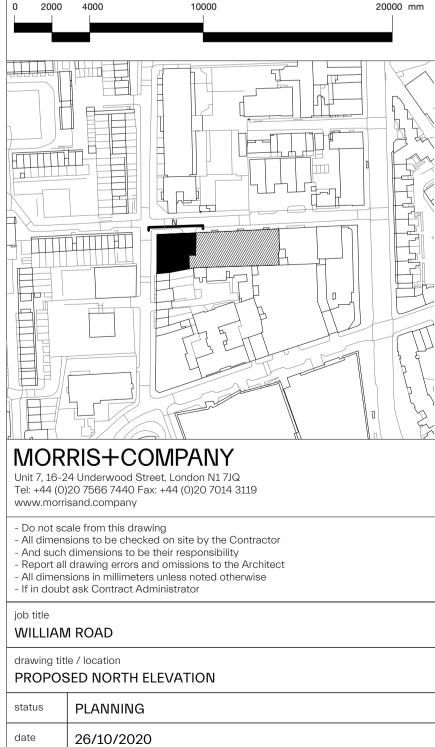
scale

1:200 @ A1

revision date

0 2000 4000





1:400 @ A3

© Morris+Company Ltd. 2018

project originator zone level type role number status - revision

A295 MCO XX ZZ DR A 01210 P01

| | VIILLIAM ROAD | | | |
|--|---------------|--|--|--|
| | | | | |



PLOT A 7 WILLIAM ROAD

58 - 60 STANHOPE ST

NOTES:

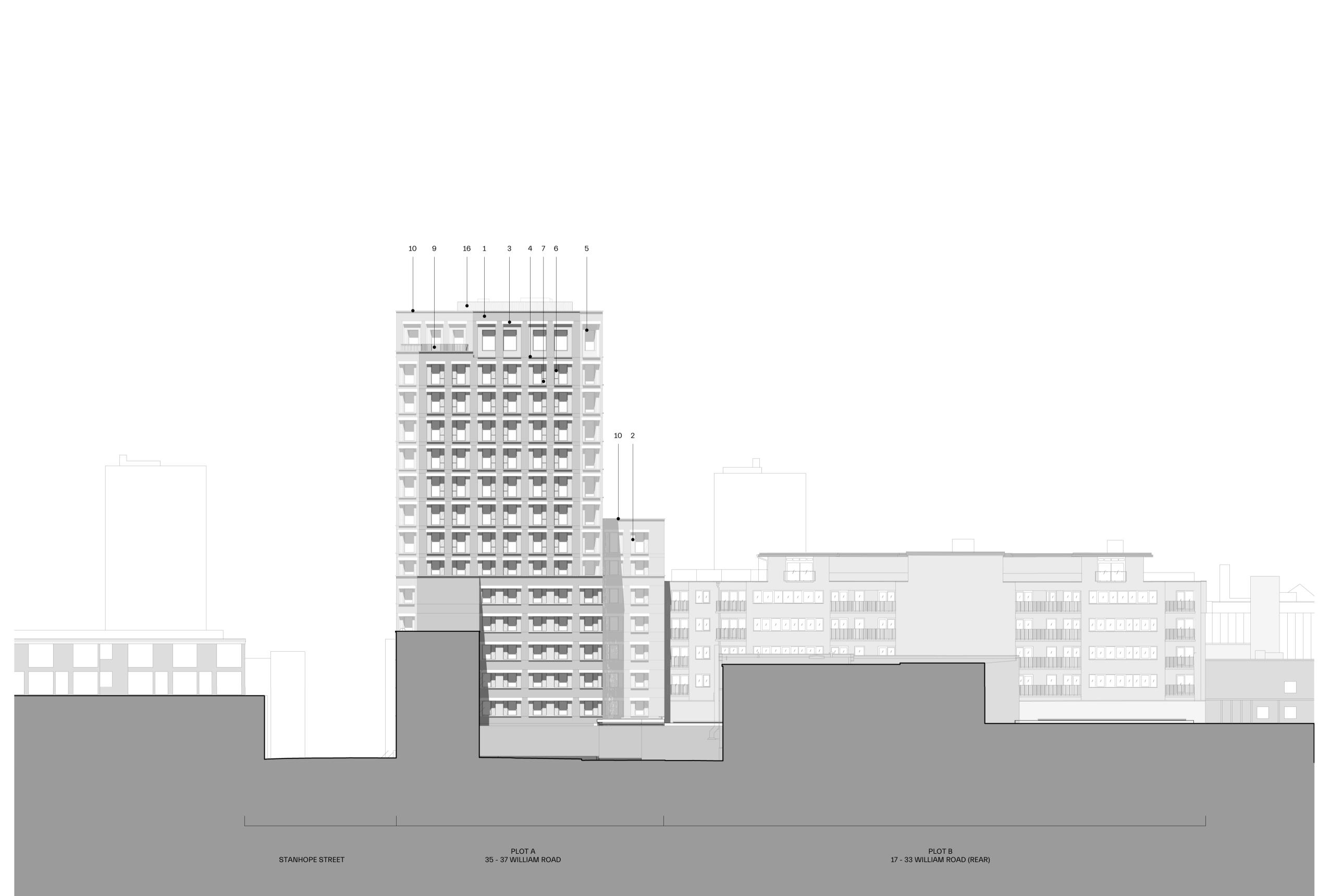
<u>KEY</u>

5

Refer to Design and Access Statement for relevant material palettes, colours and textures.

- Dark Plum coloured brickwork. Stretcher bond 1.
- (brick-type 01)
- Light Grey/Cream coloured brickwork. Stretcher bond (brick-type 02) 3.
- Light-Grey coloured Precast Reconstituted Stone lintel. Matte finish Light-Grey coloured Precast Reconstituted Stone Window sill. Matte 4.
- Finish. Light Grey/Cream coloured Aluminium window frame. Matte Finish
- coloured to match brick type 02 Light Grey/Cream coloured Aluminium openable panel for ventilation. 6.
- Matte Finish coloured to match brick type 02 Light Grey/Cream coloured Aluminium spandrel panel. Matte Finish
- coloured to match brick type 02 Light Grey/Cream coloured Louvered ventilated doors. Matte Finish 8.
- coloured to match brick type 02 Light Grey/Cream coloured Metal balustrade to loggia and terrace. Matte 9.
- Finish coloured to match brick type 02 Light Grey/Cream coloured Precast Reconstituted Stone coping. Matte finish 10.
- Exits Grey/Charcoal black Metal panels. Matte Finish con existing stair core cladding in plot B. Dark plum coloured brickwork. Vertical stretcher bond (brick-type 01) 11. Dark Grey/Charcoal black Metal panels. Matte Finish coloured to match
- 12.
- 13. Signage area. Embossed within Light-Grey coloured Precast
- Reconstituted Stone lintel. 14. UKPN louvered door. Grey coloured metalwork door. to match other
- metalwork.
- 15. Light-Grey coloured Precast Reconstituted Stone planter and bench Light-Grey coloured Aluminium frame glazed entrance doors. Matte Finish 16. coloured to match brick type 02 Light-Grey coloured Perforated Aluminium screen fixed to louverto roof plant enclosure. Matte Finish coloured to match brick type 02 17.

| revision | | | |
|--|---|--|----------|
| | date | amendment | |
| SCALE BAI | R | | |
| 0 2000 | 4000 | 10000 | 20000 mm |
| | | | |
| | | | |
| | | | |
| Unit 7, 16-2
Tel: +44 (0) | 24 Underwoo | COMPANY
od Street, London N1 7JQ
40 Fax: +44 (0)20 7014 3119
iny | |
| Unit 7, 16-2
Tel: +44 (0)
www.morr
- Do not sc
- All dimen
- And such
- Report all
- All dimen | 24 Underwood
)20 7566 744
isand.compa
cale from this
sions to be of
dimensions
I drawing err
sions in millir | od Street, London N1 7JQ
10 Fax: +44 (0)20 7014 3119
ny | |
| Unit 7, 16-2
Tel: +44 (0)
www.morr
- Do not sc
- All dimen
- And such
- Report all
- All dimen | 24 Underwood
)20 7566 744
isand.compa
cale from this
sions to be of
dimensions
I drawing err
sions in millir
t ask Contra | d Street, London N1 7JQ
40 Fax: +44 (0)20 7014 3119
ny
drawing
hecked on site by the Contractor
to be their responsibility
ors and omissions to the Architect
neters unless noted otherwise | |
| Unit 7, 16-2
Tel: +44 (O)
www.morr
- Do not sc
- All dimen
- And such
- Report all
- All dimen
- If in doub
job title
WILLIAI
drawing tit | 24 Underwood
20 7566 744
isand.compa
cale from this
sions to be c
dimensions
I drawing err
sions in millir
t ask Contra
/I ROAD
le / location | d Street, London N1 7JQ
40 Fax: +44 (0)20 7014 3119
ny
drawing
hecked on site by the Contractor
to be their responsibility
ors and omissions to the Architect
neters unless noted otherwise | |
| Unit 7, 16-2
Tel: +44 (O)
www.morr
- Do not sc
- All dimen
- And such
- Report all
- All dimen
- If in doub
job title
WILLIAI
drawing tit | 24 Underwood
20 7566 744
isand.compa
cale from this
sions to be c
dimensions
I drawing err
sions in millir
t ask Contra
/I ROAD
le / location | d Street, London N1 7JQ
40 Fax: +44 (0)20 7014 3119
my
drawing
hecked on site by the Contractor
to be their responsibility
ors and omissions to the Architect
neters unless noted otherwise
ct Administrator | |
| Unit 7, 16-2
Tel: +44 (O)
www.morr
- Do not sc
- All dimen
- And such
- Report all
- All dimen
- If in doub
job title
WILLIAN
drawing tit
PROPOS | 24 Underwood
20 7566 744
isand.compa
cale from this
sions to be of
dimensions
I drawing err
sions in millir
t ask Contra
/ ROAD
le / location
SED WES | do Street, London N1 7JQ
40 Fax: +44 (0)20 7014 3119
ny
drawing
hecked on site by the Contractor
to be their responsibility
ors and omissions to the Architect
neters unless noted otherwise
ct Administrator | |
| Unit 7, 16-2
Tel: +44 (0)
www.morr
- Do not sc
- All dimen
- And such
- Report all
- All dimen
- If in doub
job title
WILLIAN
drawing tit
PROPOS
status | 24 Underwood
20 7566 744
isand.compa
cale from this
sions to be c
dimensions
I drawing err
sions in millir
t ask Contra
I ROAD
Ie / location
SED WES
PLANNI | do Street, London N1 7JQ
40 Fax: +44 (0)20 7014 3119
ny
drawing
hecked on site by the Contractor
to be their responsibility
ors and omissions to the Architect
meters unless noted otherwise
ct Administrator
T ELEVATION
NG | |



<u>KEY</u>

Refer to Design and Access Statement for relevant material palettes, colours and textures.

- 1. Dark Plum coloured brickwork. Stretcher bond
- (brick-type 01) 2. Light Grey/Cream coloured brickwork. Stretcher bond
- (brick-type 02) Light-Grey coloured Precast Reconstituted Stone lintel. Matte finish 3. Light-Grey coloured Precast Reconstituted Stone Window sill. Matte 4.
- Finish. Light Grey/Cream coloured Aluminium window frame. Matte Finish 5.
- coloured to match brick type 02
- Light Grey/Cream coloured Aluminium openable panel for ventilation. 6. Matte Finish coloured to match brick type 02 7. Light Grey/Cream coloured Aluminium spandrel panel. Matte Finish
- coloured to match brick type 02 8. Light Grey/Cream coloured Louvered ventilated doors. Matte Finish
- coloured to match brick type 02 9. Light Grey/Cream coloured Metal balustrade to loggia and terrace. Matte Finish coloured to match brick type 02
- Light Grey/Cream coloured Precast Reconstituted Stone coping. 10.
- Matte finish 11. Dark Grey/Charcoal black Metal panels. Matte Finish coloured to match
- existing stair core cladding in plot B. Dark plum coloured brickwork. Vertical stretcher bond 12.
- (brick-type 01) Signage area. Embossed within Light-Grey coloured Precast 13.
- Reconstituted Stone lintel. UKPN louvered door. Grey coloured metalwork door. to match other 14.
- metalwork. Light-Grey coloured Precast Reconstituted Stone planter and bench 15. Light-Grey coloured Aluminium frame glazed entrance doors. Matte Finish 16.
- coloured to match brick type 02 17. Light-Grey coloured Perforated Aluminium screen fixed to louverto roof plant enclosure. Matte Finish coloured to match brick type 02

P01 30.10.20 Planning

amendment

revision date

date

scale

26/10/2020

1:200 @ A1



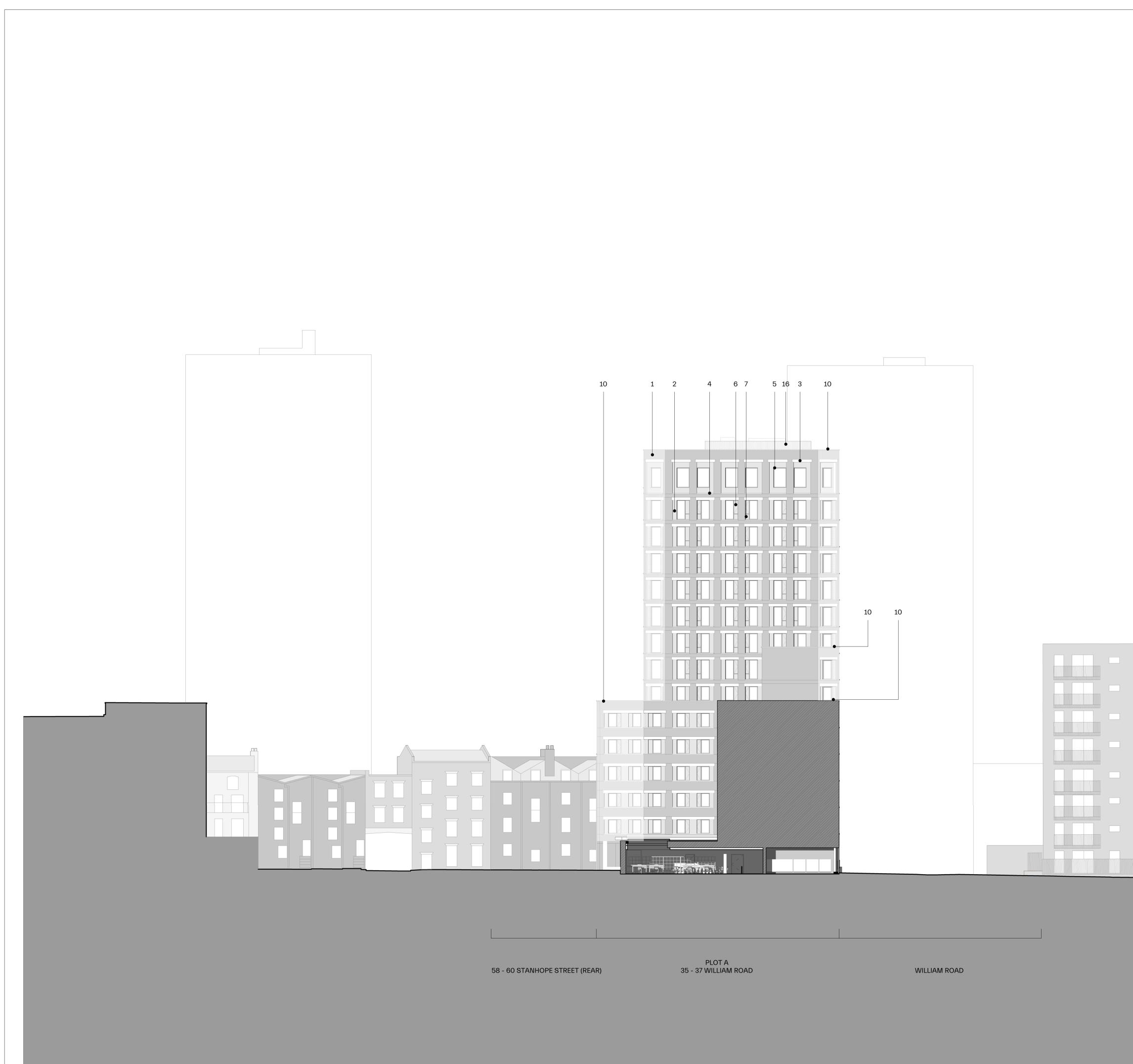
2000 4000 20000 mm E 5 E MORRIS+COMPANY Unit 7, 16-24 Underwood Street, London N1 7JQ Tel: +44 (0)20 7566 7440 Fax: +44 (0)20 7014 3119 www.morrisand.company - Do not scale from this drawing - All dimensions to be checked on site by the Contractor And such dimensions to be their responsibilityReport all drawing errors and omissions to the Architect All dimensions in millimeters unless noted otherwise
 If in doubt ask Contract Administrator job title WILLIAM ROAD drawing title / location PROPOSED SOUTH ELEVATION status PLANNING

1:400 @ A3

© Morris+Company Ltd. 2018

project originator zone level type role number status - revision

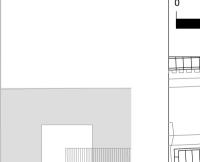
A295 MCO XX ZZ DR A 01212 P01

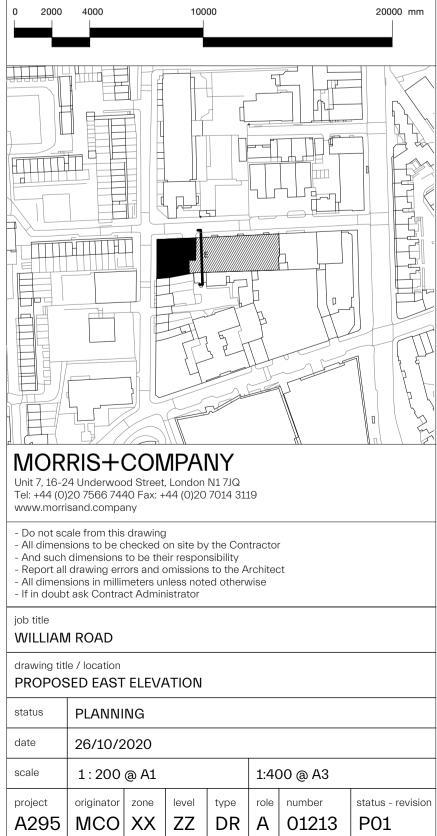


<u>KEY</u>

Refer to Design and Access Statement for relevant material palettes, colours and textures.

- 1. Dark Plum coloured brickwork. Stretcher bond
- (brick-type 01) Light Grey/Cream coloured brickwork. Stretcher bond 2.
- (brick-type 02) Light-Grey coloured Precast Reconstituted Stone lintel. Matte finish 3. Light-Grey coloured Precast Reconstituted Stone Window sill. Matte 4.
- Finish. 5. Light Grey/Cream coloured Aluminium window frame. Matte Finish
- coloured to match brick type 02 6. Light Grey/Cream coloured Aluminium openable panel for ventilation.
- Matte Finish coloured to match brick type 02 7. Light Grey/Cream coloured Aluminium spandrel panel. Matte Finish
- coloured to match brick type 02 8. Light Grey/Cream coloured Louvered ventilated doors. Matte Finish
- coloured to match brick type 02 Light Grey/Cream coloured Metal balustrade to loggia and terrace. Matte 9.
- Finish coloured to match brick type 02 10. Light Grey/Cream coloured Precast Reconstituted Stone coping.
- Matte finish 11. Dark Grey/Charcoal black Metal panels. Matte Finish coloured to match
- existing stair core cladding in plot B. 12. Dark plum coloured brickwork. Vertical stretcher bond
- (brick-type 01)
- 13. Signage area. Embossed within Light-Grey coloured Precast Reconstituted Stone lintel. 14. UKPN louvered door. Grey coloured metalwork door. to match other metalwork.
- 15. Light-Grey coloured Precast Reconstituted Stone planter and bench Light-Grey coloured Aluminium frame glazed entrance doors. Matte Finish 16. coloured to match brick type 02
- Light-Grey coloured Perforated Aluminium screen fixed to louverto roof plant enclosure. Matte Finish coloured to match brick type 02 17.





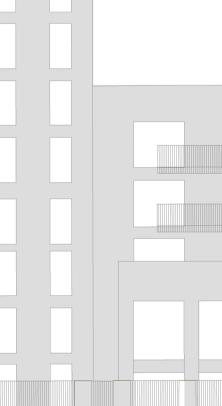
© Morris+Company Ltd. 2018

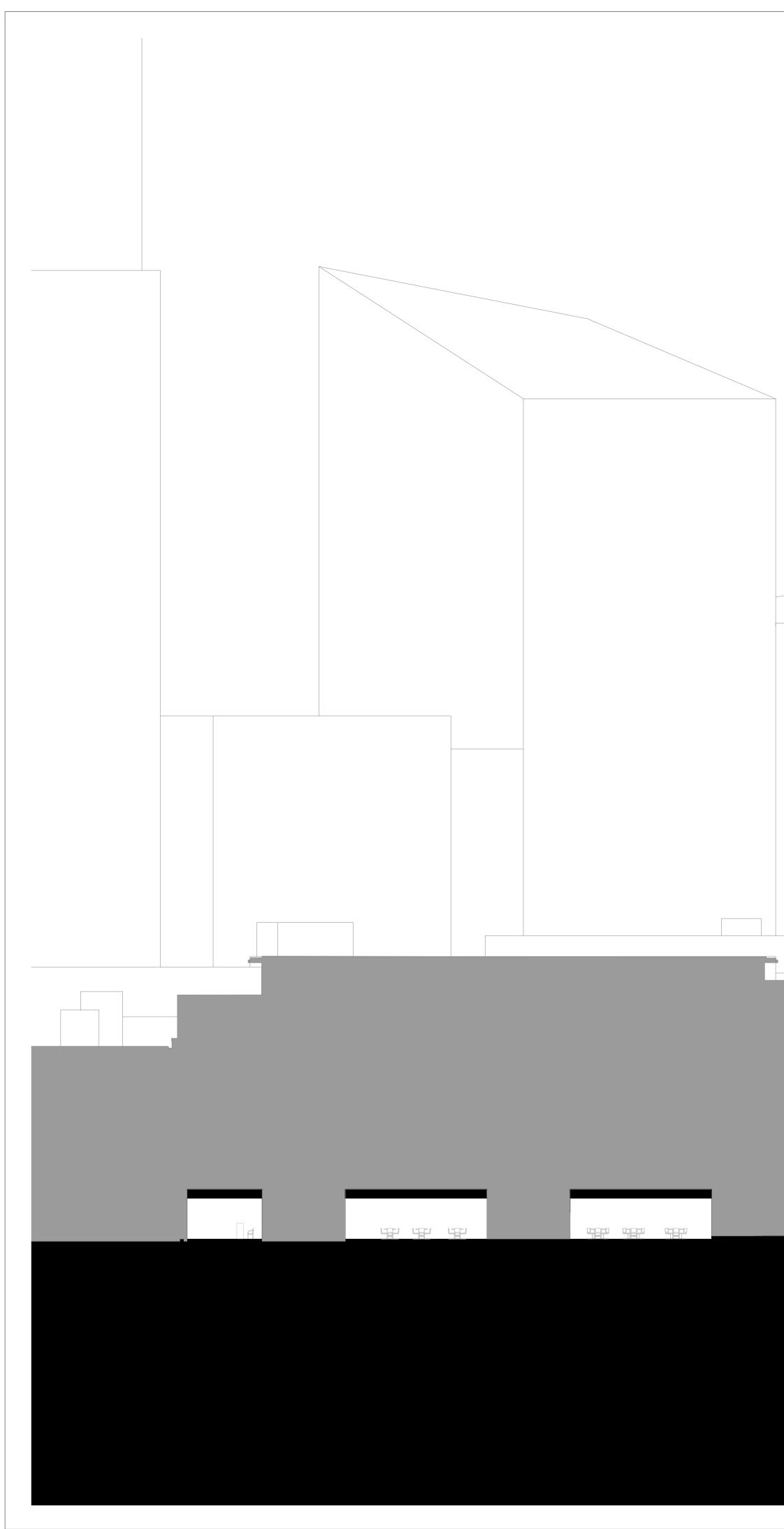
P01 30.10.20 Planning

revision date

SCALE BAR

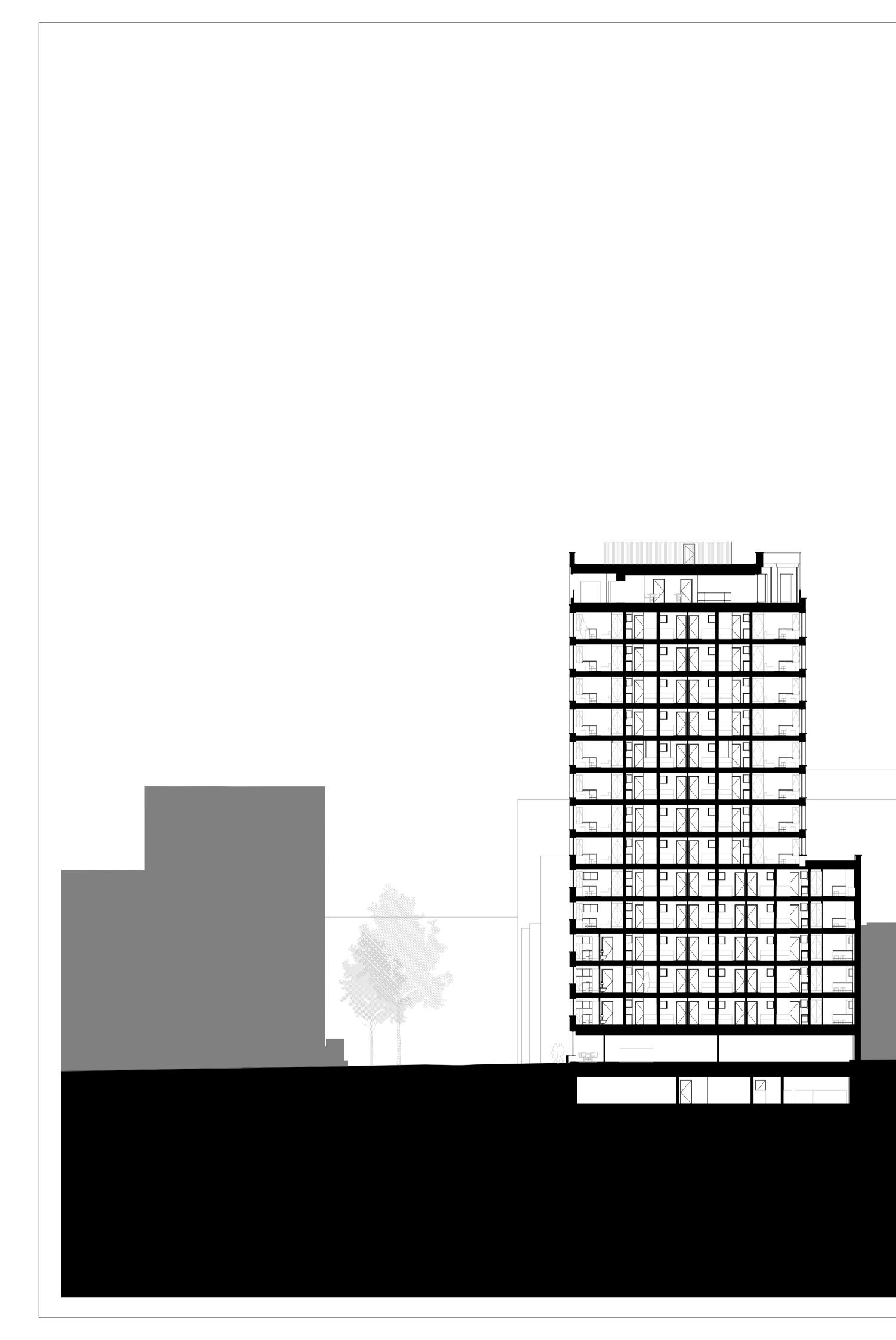
amendment

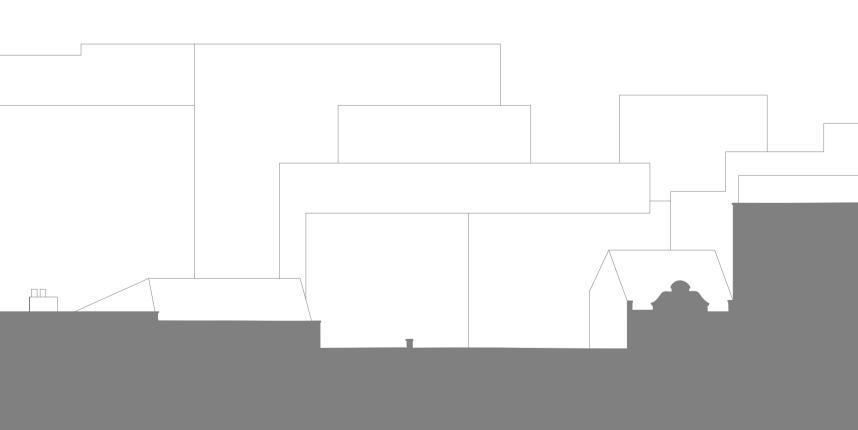


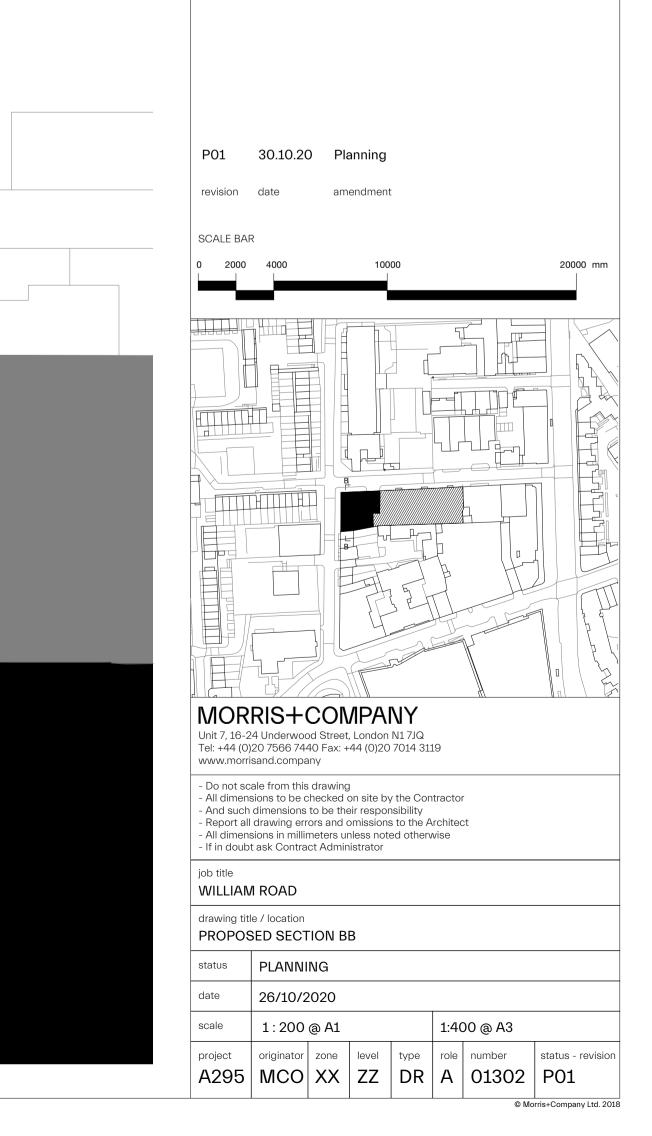


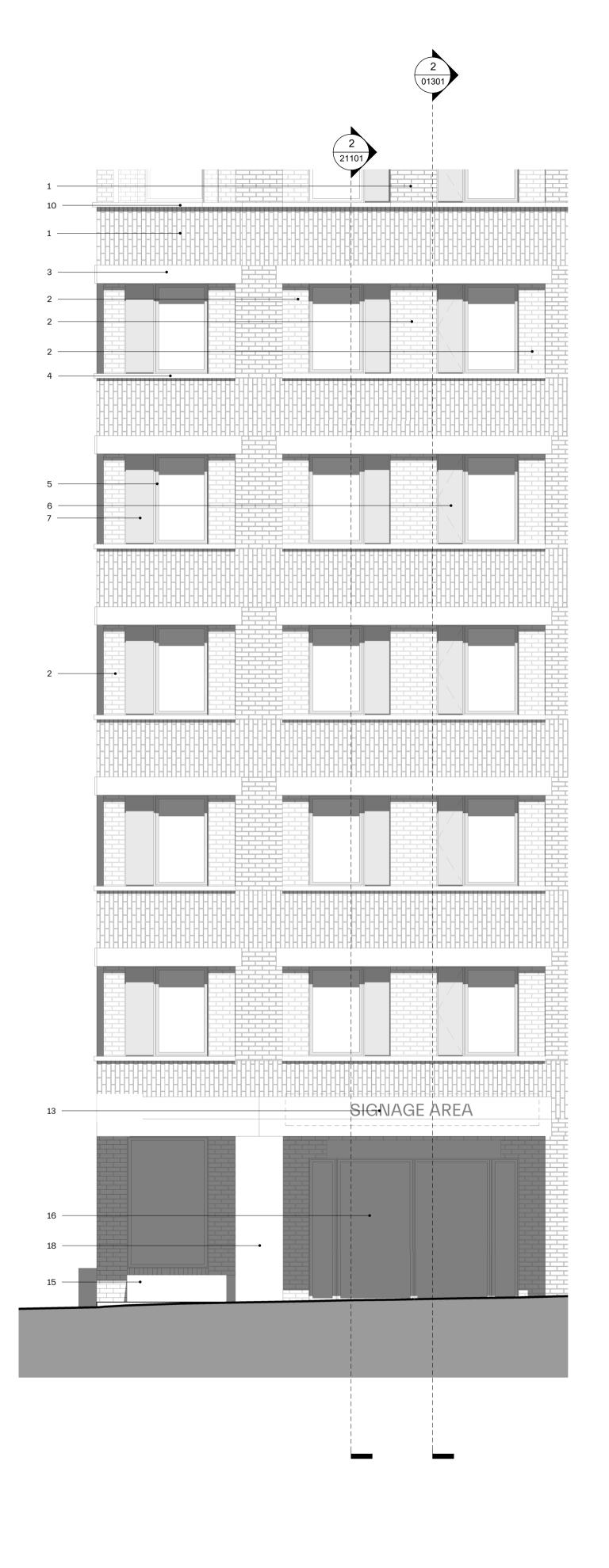
| | Ī | | [| |
|----------|----------|--|---|--|
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| T | | | | |
| | | | | |
| | | | | |
| | | | ſ | |
| | | | | |
| | ┚ ┣┛ | | | |
| | | | ſ | |
| | | | r | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

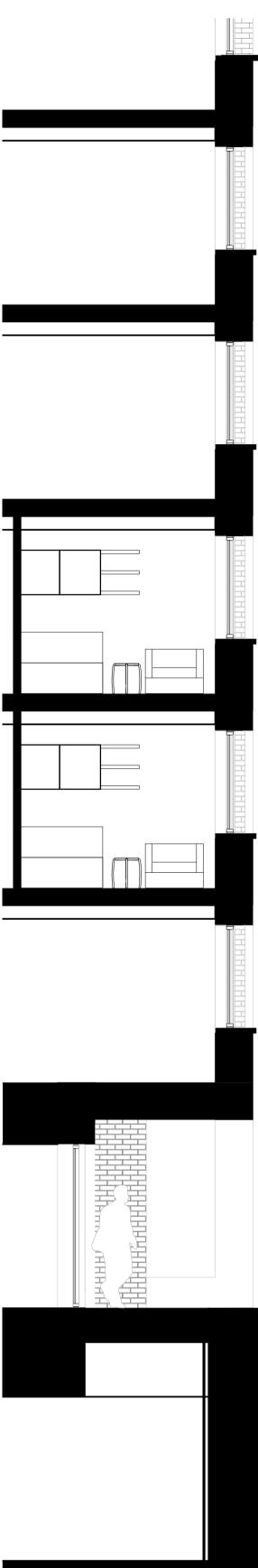
| NOTES: | | | | | | | |
|--|--|-------------------------------------|---------------------------------------|----------------------|--|---|--------------------------|
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| 501 | 00100 | | | | | | |
| P01
revision | 30.10.20 | | anning
endment | | | | |
| SCALE BAF | | | | | | | |
| 0 2000 | 4000 | | 100 | 00 | | | 20000 mm |
| | | | | | | | |
| | | | | | Ţ | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | P.~ | ////////////////////////////////////// | | |
| | | | | | PA | | |
| | | | | S EF | Ţ | | |
| | | | 7 | | 4 | A CONTRACT OF THE OWNER OWNER OF THE OWNER OWNER OWNE | |
| | | | | | | # | |
| Tel: +44 (0) | 4 Underwoo
20 7566 744 | od Street,
40 Fax: + | London | N1 7JQ | 19 | | |
| www.morri
- Do not sc | sand.compa
ale from this
sions to be c | any
drawing | | | | | |
| - And such
- Report all
- All dimens | dimensions
drawing err
sions in millir | to be the
ors and c
neters ur | eir respor
omissions
oless note | sibility
to the A | rchited | | |
| - If in doubt
job title | t ask Contra | ct Admin | istrator | | | | |
| WILLIAN | e / location | | | | | | |
| | SED SECT | | Ą | | | | |
| date | 26/10/2 | | | | | | |
| scale | 1:200 | | | t | | 00 @ A3 | atatus |
| project
A295 | originator | zone
XX | level
ZZ | type
DR | role
A | number
01301 | status - revision
P01 |



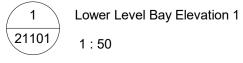


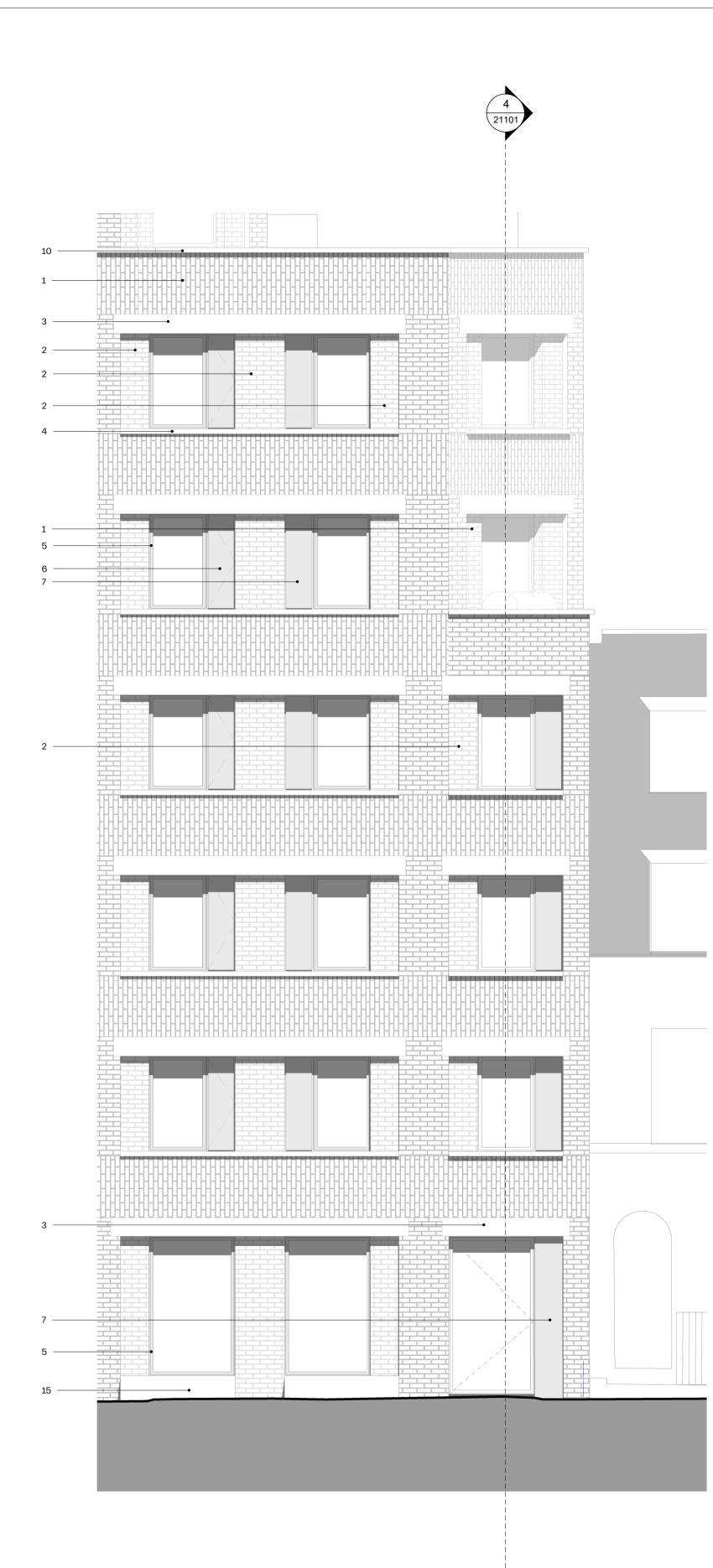


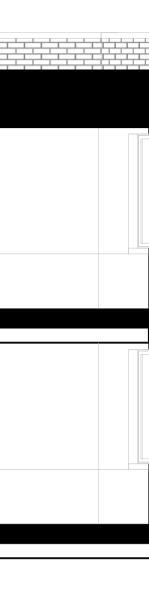


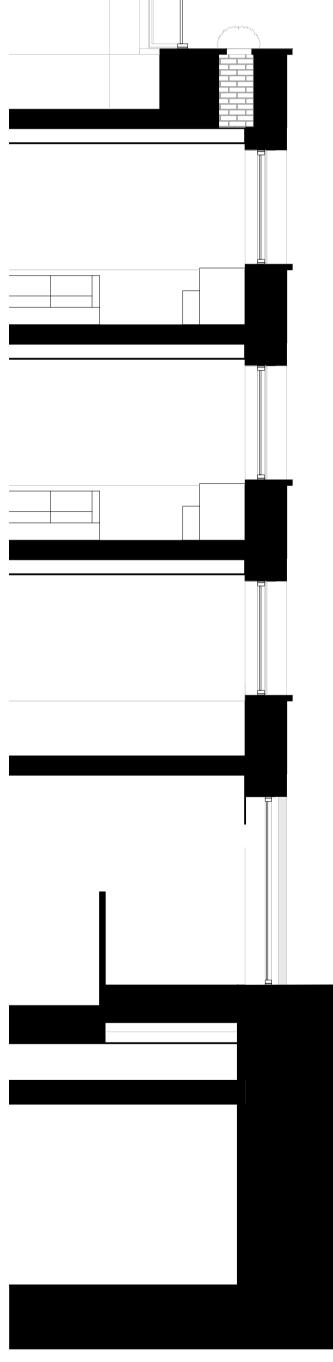


















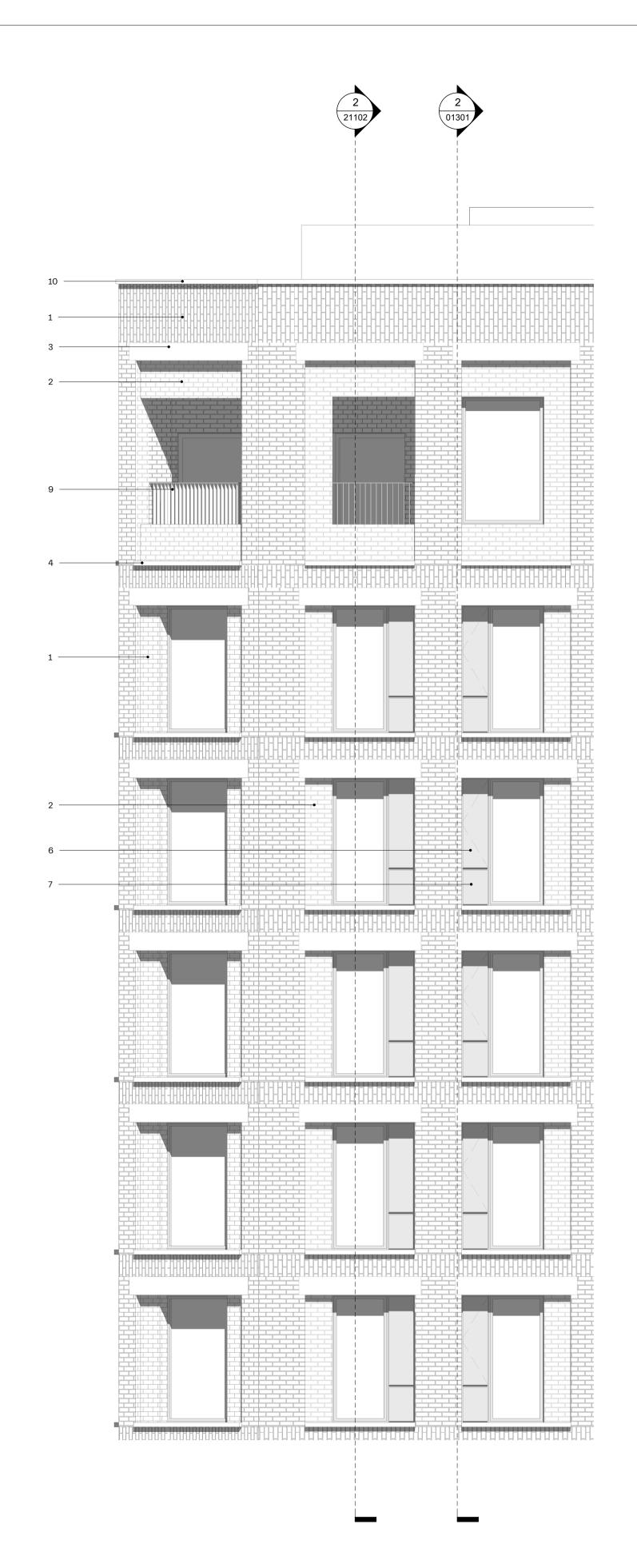
<u>KEY</u>

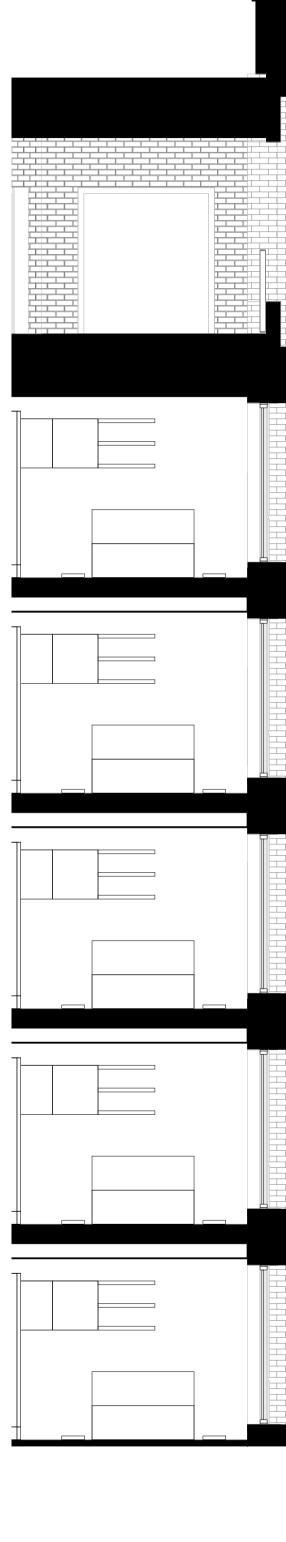
Refer to Design and Access Statement for relevant material palettes, colours and textures.

- Dark Plum coloured brickwork. Stretcher bond 1. (brick-type 01)
- 2. Light Grey/Cream coloured brickwork. Stretcher bond (brick-type 02)
- 3 Light-Grey coloured Precast Reconstituted Stone lintel. Matte finish Light-Grey coloured Precast Reconstituted Stone Window sill. Matte 4.
- Finish. Light Grey/Cream coloured Aluminium window frame. Matte Finish 5.
- coloured to match brick type 02 Light Grey/Cream coloured Aluminium openable panel for ventilation. 6.
- Matte Finish coloured to match brick type 02 Light Grey/Cream coloured Aluminium spandrel panel. Matte Finish 7.
- coloured to match brick type 02 Light Grey/Cream coloured Louvered ventilated doors. Matte Finish
- 8 coloured to match brick type 02
- 9. Light Grey/Cream coloured Metal balustrade to loggia and terrace. Matte Finish coloured to match brick type 02
- 10. Light Grey/Cream coloured Precast Reconstituted Stone coping. Matte finish
- 11. Dark Grey/Charcoal black Metal panels. Matte Finish coloured to match existing stair core cladding in plot B.
- 12. Light Grey/Cream coloured brickwork. Vertical soldier bond (brick-type 02)
- 13. Signage area. Embossed within Light-Grey coloured Precast
- Reconstituted Stone lintel. 14. UKPN louvered door. Grey coloured metalwork door. Matte Finish
- coloured to match brick type 02 Light-Grey coloured Precast Reconstituted Stone planter and bench Light-Grey coloured Aluminium frame glazed entrance doors. Matte Finish 15.
- 16. coloured to match brick type 02 Light-Grey coloured Perforated Aluminium screen fixed to louverto roof 17.
- plant enclosure. Matte Finish coloured to match brick type 02 18. Light-Grey coloured Precast Reconstituted Stone cladding

Ν P01 30.10.20 Planning revision date amendment SCALE BAR 500 5000 mm 1000 F MORRIS+COMPANY Unit 7, 16-24 Underwood Street, London N1 7JQ Tel: +44 (0)20 7566 7440 Fax: +44 (0)20 7014 3119 www.morrisand.company - Do not scale from this drawing - All dimensions to be checked on site by the Contractor - And such dimensions to be their responsibility - Report all drawing errors and omissions to the Architect - All dimensions in millimeters unless noted otherwise - If in doubt ask Contract Administrator job title WILLIAM ROAD drawing title / location LOWER LEVELS BAY ELEVATIONS AND SECTIONS status PLANNING date 26/10/2020 1:100 @ A3 scale 1:50 @ A1 project originator zone level type role number status - revision A295 MCO BA ZZ DR A 21101 P01 © Morris+Company Ltd. 2018

Lower Level Bay Section 2

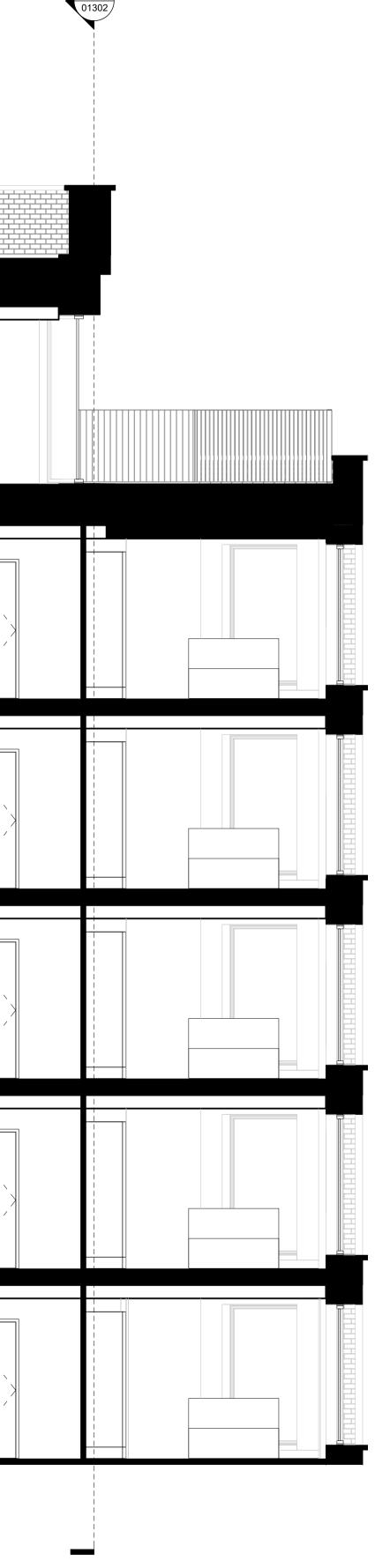








| ╹┽╹┽╹┽╹┽╹┽╹┽╹┽╹┽╹┽╹┽╹┽╹┽╹ ┿╹ | |
|-------------------------------------|--|
| | |
| | |
| <u>┓┥┓┥┓┥┓┥┓┥</u> ┓┥┓┥┓┥┓┥┓┥ | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |







<u>KEY</u>

Refer to Design and Access Statement for relevant material palettes, colours and textures.

- Dark Plum coloured brickwork. Stretcher bond 1. (brick-type 01)
- 2. Light Grey/Cream coloured brickwork. Stretcher bond (brick-type 02)
- 3 Light-Grey coloured Precast Reconstituted Stone lintel. Matte finish Light-Grey coloured Precast Reconstituted Stone Window sill. Matte 4.
- Finish. Light Grey/Cream coloured Aluminium window frame. Matte Finish 5.
- coloured to match brick type 02
- Light Grey/Cream coloured Aluminium openable panel for ventilation. Matte Finish coloured to match brick type 02 6.
- 7. Light Grey/Cream coloured Aluminium spandrel panel. Matte Finish coloured to match brick type 02
- Light Grey/Cream coloured Louvered ventilated doors. Matte Finish 8. coloured to match brick type 02
- 9. Light Grey/Cream coloured Metal balustrade to loggia and terrace. Matte Finish coloured to match brick type 02
- 10. Light Grey/Cream coloured Precast Reconstituted Stone coping. Matte finish
- Dark Grey/Charcoal black Metal panels. Matte Finish coloured to match 11. existing stair core cladding in plot B.
- 12. Light Grey/Cream coloured brickwork. Vertical soldier bond (brick-type 02)
- 13. Signage area. Embossed within Light-Grey coloured Precast Reconstituted Stone lintel.
- 14. UKPN louvered door. Grey coloured metalwork door. Matte Finish
- coloured to match brick type 02 Light-Grey coloured Precast Reconstituted Stone planter and bench 15.
- Light-Grey coloured Aluminium frame glazed entrance doors. Matte Finish 16. coloured to match brick type 02 17. Light-Grey coloured Perforated Aluminium screen fixed to louverto roof
- plant enclosure. Matte Finish coloured to match brick type 02
- 18. Light-Grey coloured Precast Reconstituted Stone cladding

