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THE PROPOSAL

The proposal seeks permission to remove the redundant external staircase with an extension to the existing platform.

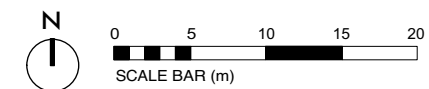
PROPOSED ALTERATIONS:

EXTERNAL

- i. Demolish the existing staircase and extend the existing platform.



1:1250 OS location plan @ A3



Site Area: 170sqm

THE SITE

The site comprises a two storey dwelling with an external staircase that serves a first floor door into the kitchen/dining room.

The images shown on the right are taken from Google Earth to show the development of the site and its surroundings from 1999-2018. As can be seen from these images there are no dramatic changes in the built area, just alterations to the existing buildings in the properties in Park End and South Hill Park.



1999



2002



2006



2018

LOCATION & AMENITIES

LOCATION

The property lies in the borough of Camden, in the South Hill Park Conservation Area and is a 2 minute walk away from Hampstead Heath Train Station.

The site has a PTAL rating of 3 and is on the border of Hampstead Heath Park.

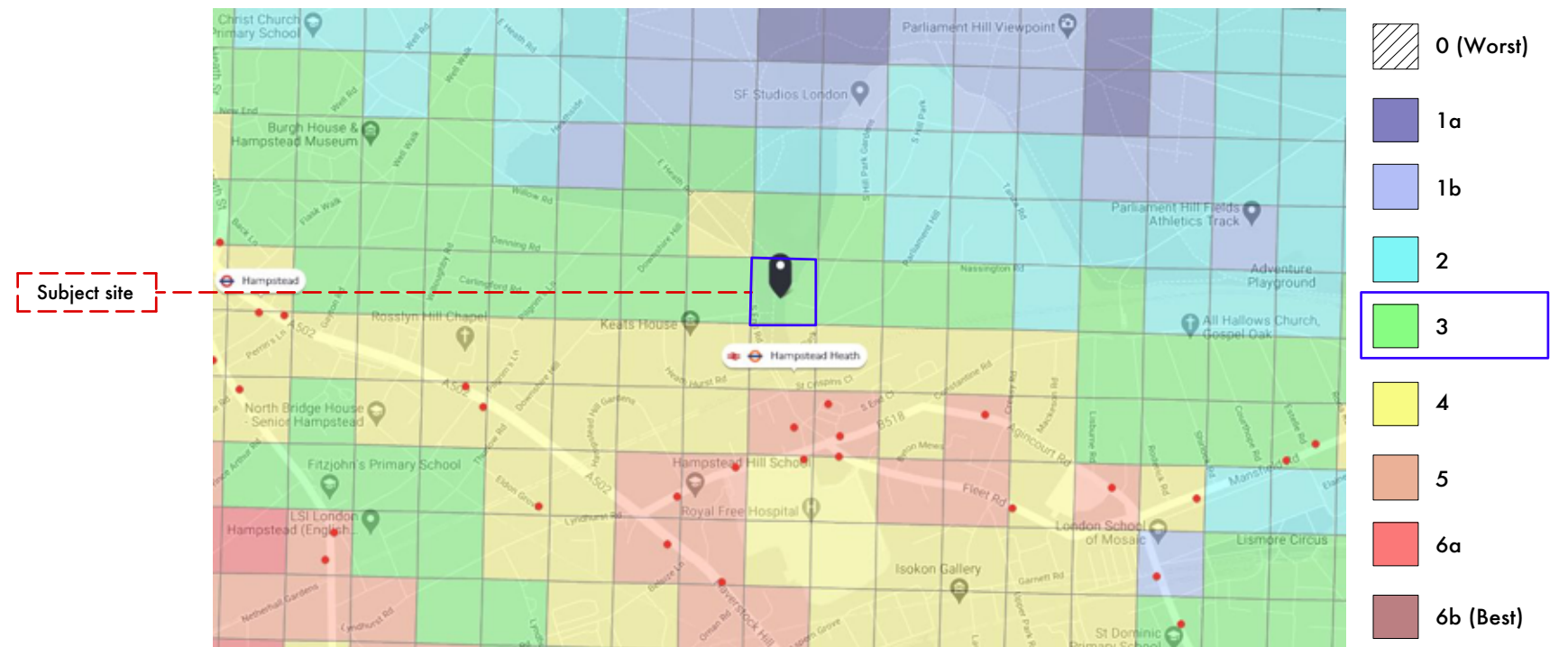
AMENITIES

Many amenities can be found near to the property including:

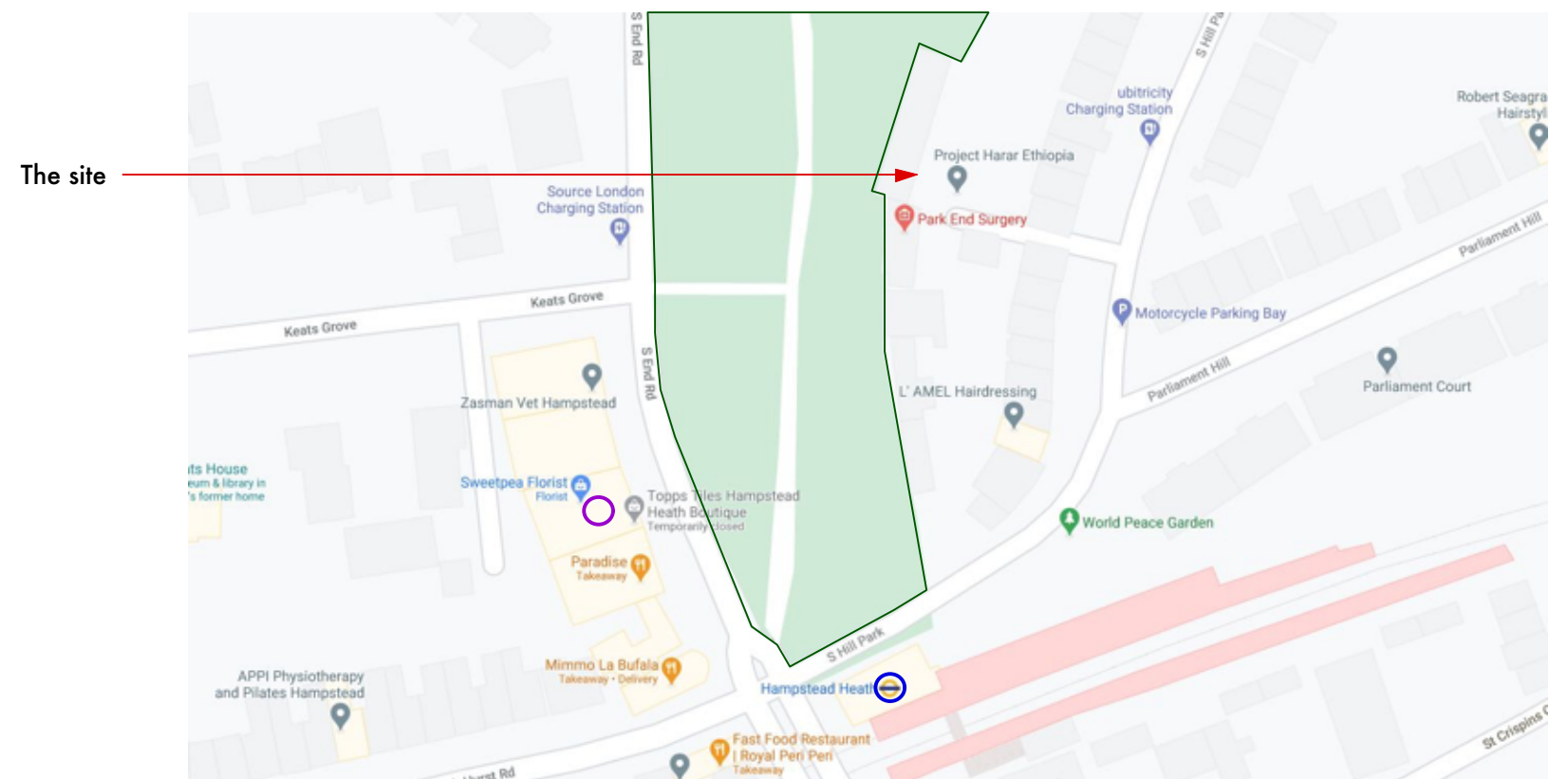
Restaurants
Veterinary Surgery
Supermarkets
Schools
Library
Gym
Cafes
Pubs
Bars
Doctor's Surgery
Churches

LEGEND

-  Train Station
-  Strip of shops
-  Green Spaces



PTAL extract taken from
<https://tfl.gov.uk/info-for/urban-planning-and-construction/planning-with-webcat/webcat?Input=nw3+2se&PlaceHolderText=eg.+NW1+6XE+or+530273%2C+179613&type=Ptal&zoomLevel=15>



PLANNING HISTORY

Below is part of the planning history for the proposed site at 5-6 Park End, London, NW3 2SE.

Year	Application Reference	Decision	Description
2013	2013/5236/P	Granted subject to a section 106 legal agreement	Change of use at ground and first floors from offices (class B1) to dwelling house (class C3)
2013	2013/3600/P	Refuse Prior Approval	Change of use from office (class B1) to a single dwelling house (class C3)
2002	PWX0203102	Refuse planning permission but Appeal allowed	The replacement of an approved single storey ground floor extension in business use with a smaller extension, the continued use of business floor space as a bedroom, en-suite bathroom and dressing area in residential use, and the use of the house as a live/work unit where the 'work' element is to be confined in the space of a study/guest room as shown on the drawings.
2002	PWX0202285	Refuse planning permission and Appeal dismissed	The insertion of three windows on the west elevation of the building, which forms the boundary with Hampstead Heath.
2001	PWX0102193	Refuse planning permission and Appeal dismissed	Part retention and part approval of new proposals to enlarge an approved dwelling house against business use floor space, as approved under planning permission PW9902702R1 granted on 07/12/99 and, subsequently amended under planning permission PW0002091R2 granted on 15/08/2000.
2001	PWX0103822	Refused and Appeal allowed	Removal of additional condition 6 of planning permission PWX0102091/R2 granted on 15/08/00, requesting that the whole of the approved development to be carried out and made available for occupation before any part of the building is brought into use.
2001	PWX0002967	Grant approval of details (conditions)	Approval of details of design of the roofs of the new single storey extensions, new roof lights, windows and pergola pursuant to condition 07 of the planning permission Ref No. PWX0002091R2 granted on 15/08/2000.
2000	PWX0002091	Grant Full Planning Permission	Minor alterations to planning permission granted on 7th December 1999, (Ref: PW9902701/R1) to provide one 3 bedroom house with own patio gardens, two office units including a single storey extension and parking spaces for 2 cars.
1999	PW9902701	Grant Full Planning Permission (conds)	Change of use of part of the ground floor and first floor from class B1 (light industrial) to a 3 bedroom house and associated works of alteration, including the redevelopment of the existing single storey outbuilding to provide a new single storey extension and patio garden for the new house and a new single storey extension and external staircase for the office unit, plus the installation of windows to the front first floor elevation and provision of two car parking spaces.

EXISTING STAIRCASE

The front of the dwelling can be seen in images 1 to 3 which show the existing external staircase. Image 4 shows how the existing staircase is used. Instead of it's main purpose as a staircase the client use the landing as a balcony, as it is large enough to fit a table and chairs. The use of external staircase has been changed and now provides a tranquil place to sit. The staircase is redundant and, as can be seen in image 2, cuts across a bedroom window which restricts opening and ventilation.



1.



2.



3.



4.

PROPOSED WORKS

The proposal, as shown on the existing and proposed elevations opposite, is to replace the redundant staircase with an extension of the existing platform. It is proposed to retain the language of the existing structure with a painted metal finish.

The modification of the staircase and platform would have the following benefits:

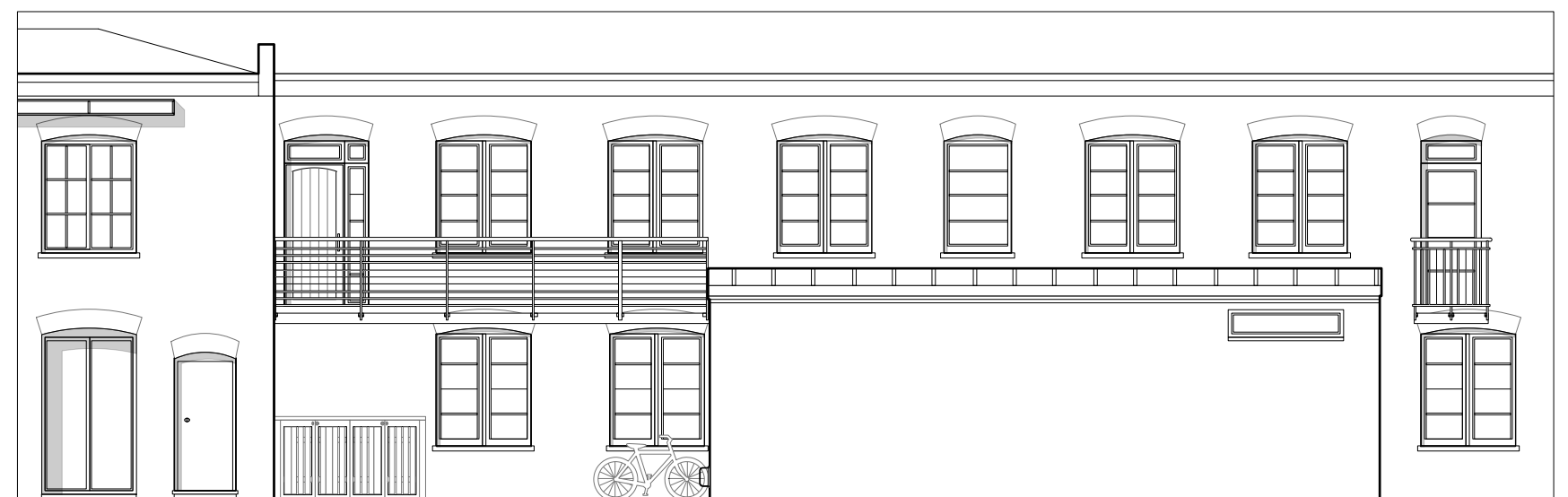
- + an increase to the effective amenity space
- + tidying up of the area below the extended platform to allow secure bicycle storage and a combined timber meter and refuse housing.
- + allows bedroom windows to open fully which increases ventilation
- + no additional elevational changes required as access would remain from the existing door at first floor
- + no impact on the amenity of neighbouring properties due to the secluded nature of Park End, coupled with the fact the facility already exists



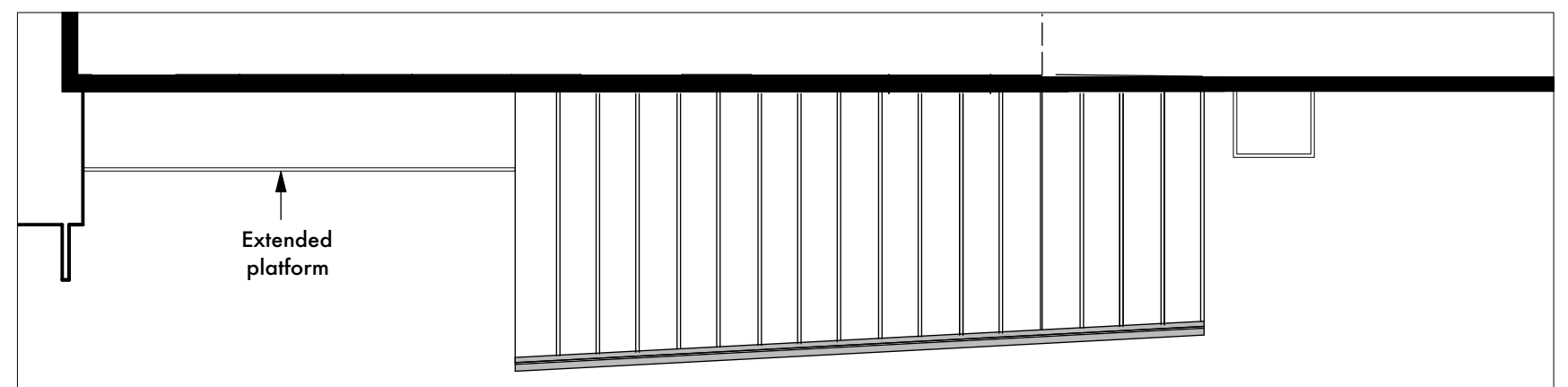
CURRENT USE OF EXTERNAL STAIRCASE



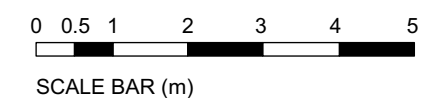
EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION



PARTIAL PROPOSED ROOF PLAN

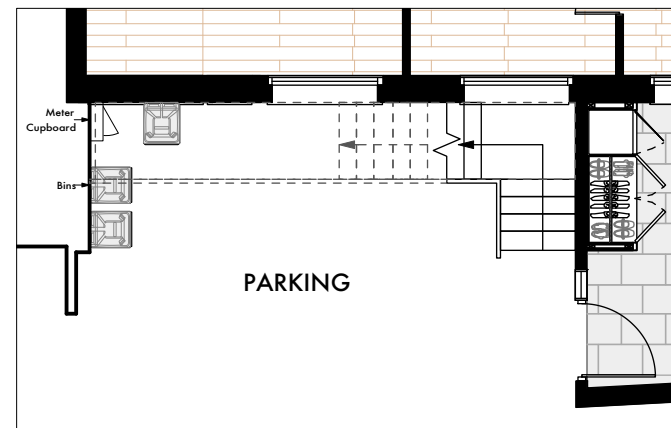


EXTERNAL IMPROVEMENTS

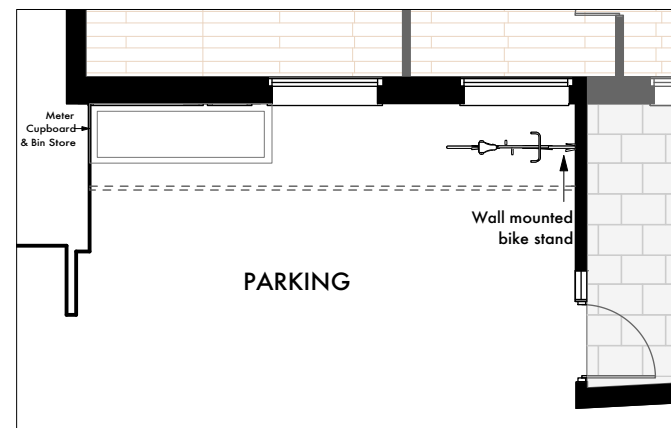
The images to the right show how this proposal will improve the presentation of the dwelling. Currently, the meter cupboard and bins are placed underneath the external staircase which creates a cluttered space. In the proposal a neat timber slatted store has been designed to hold the bins and meter cupboard. This tidies the underneath of the platform and improves the presentation of 5-6 Park End to the neighbouring properties and the secluded street.

A fixed wall mounted bike stand is also proposed to be located underneath the platform to provide a safe and secure area for bikes to be stored. Please see an example of the wall mounted bike stand opposite.

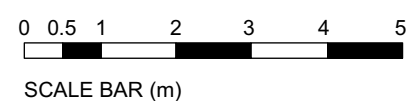
This proposed area will be discrete and the refuse housing will be constructed of slatted timber to allow good ventilation and appear contextually sympathetic. The base will be a solid slab and a tap will be included to allow sluicing out. See the images to the right to see an example of the proposed refuse housing.



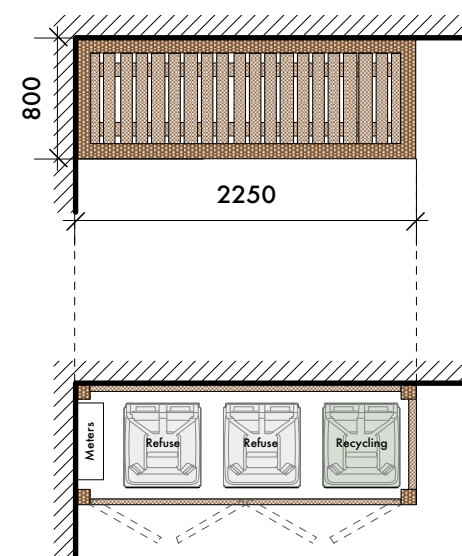
Existing Ground Floor Plan 1:100



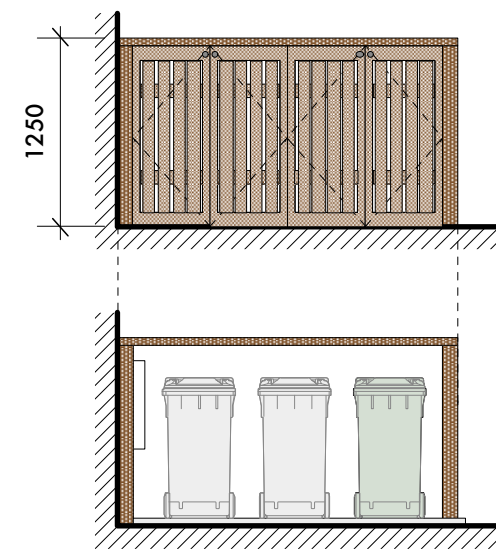
Proposed Ground Floor Plan 1:100



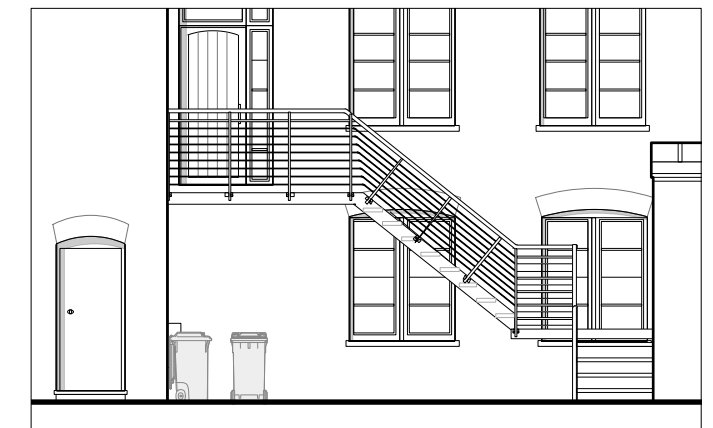
Bin and Meter Cupboard Store 1:50



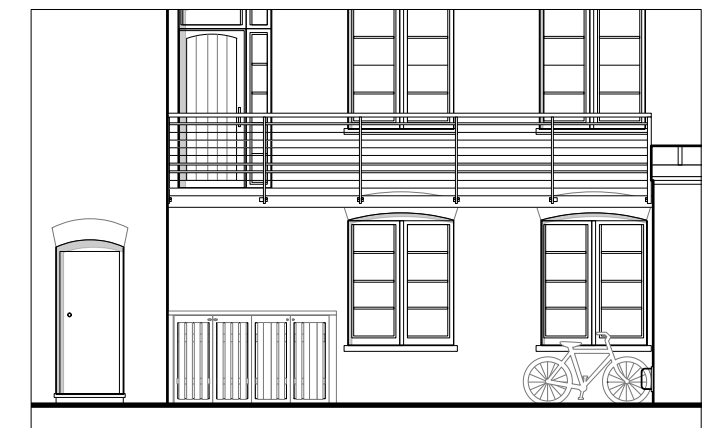
Plan



Front Elevation



Existing Front Elevation 1:100



Proposed Front Elevation 1:100

Fixed butterfly wall mounted bike stand



SUMMARY

This proposal has been sensitively considered to improve the amenity space of 5-6 Park End. The landing of the existing external staircase is being used as a balcony and this proposal removes a redundant staircase whilst providing numerous benefits outlined in this document.

In summary this planning application seeks approval on this well considered proposal which we believe should be supported due to the following reasons:

- + The proposal has been designed to match the existing style and height of the external platform
- + The proposal is not considered to pose any significant impact to the neighbouring buildings
- + The proposal enhances the client's way of living and extends the kitchen/living space due to this dwelling not having any external amenity space