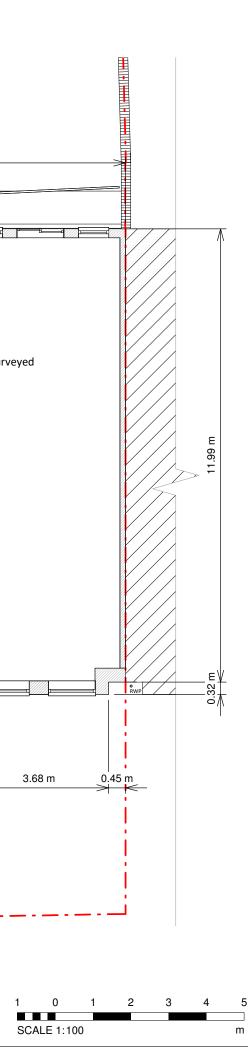


Basement Floor Plan





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NOTES



Revision			
Rev	Notes	Date	
v1	Planning Issue	14/10/2020	

KEY

Proposed Walls	Boundary line
Existing Walls	 Proposed beam
	Proposed drainage
Existing Removed	1.8m Head Height
Proposed Rooflight	1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

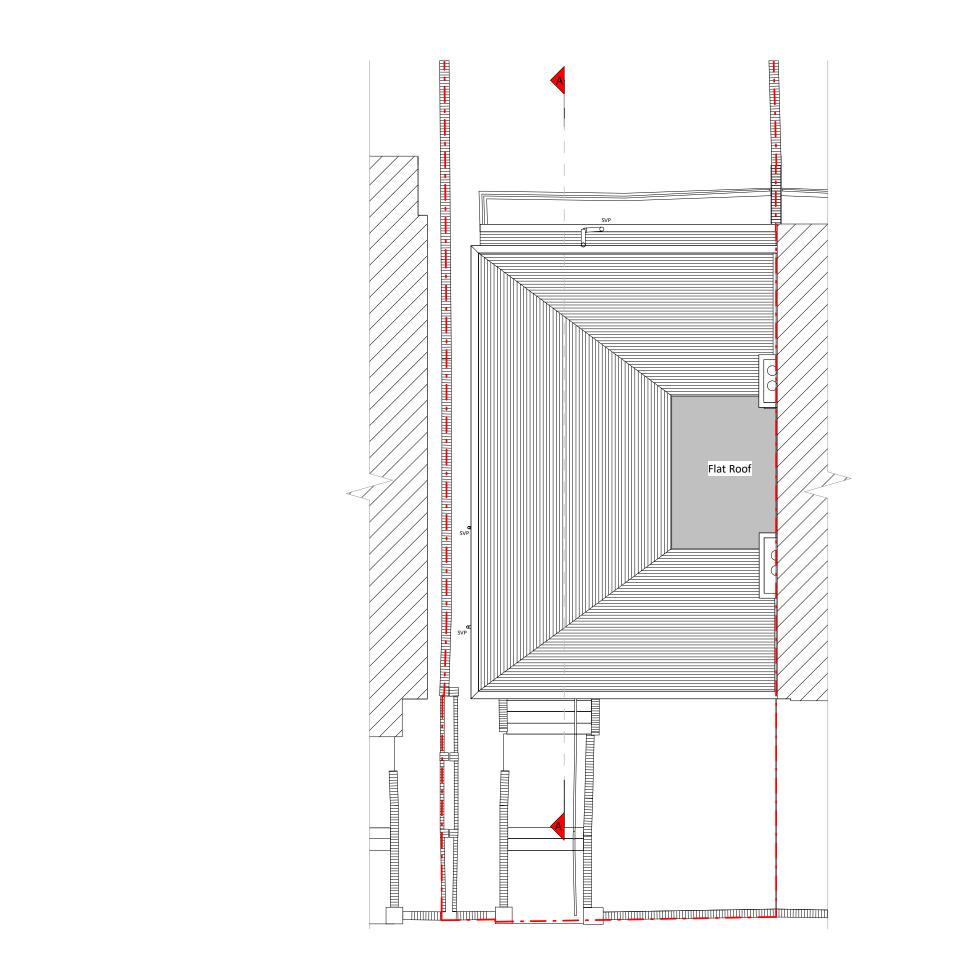
DRAWING TITLE

Existing Floor Plans

CLIENT

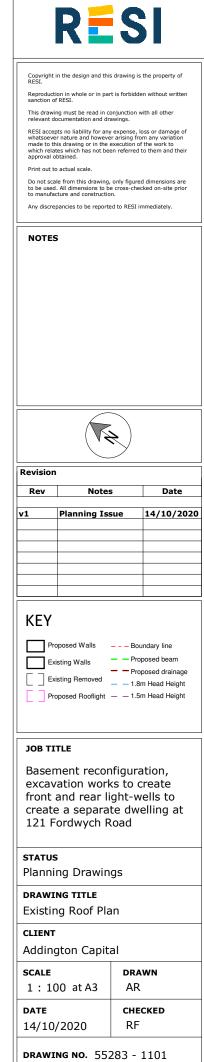
Addington Capital SCALE DRAWN

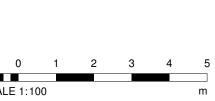
1 : 100 at A3	AR	
DATE	CHECKED	
14/10/2020	RF	



Roof Plan









SCALE 1:100



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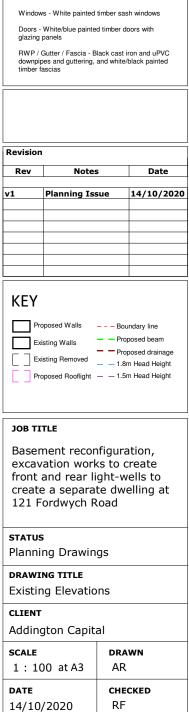
NOTES

Existing Materials:

 $\ensuremath{\mathsf{Brickwork}}\xspace/\ensuremath{\mathsf{Walls}}\xspace$ - Red brick, white render and white painted stone details

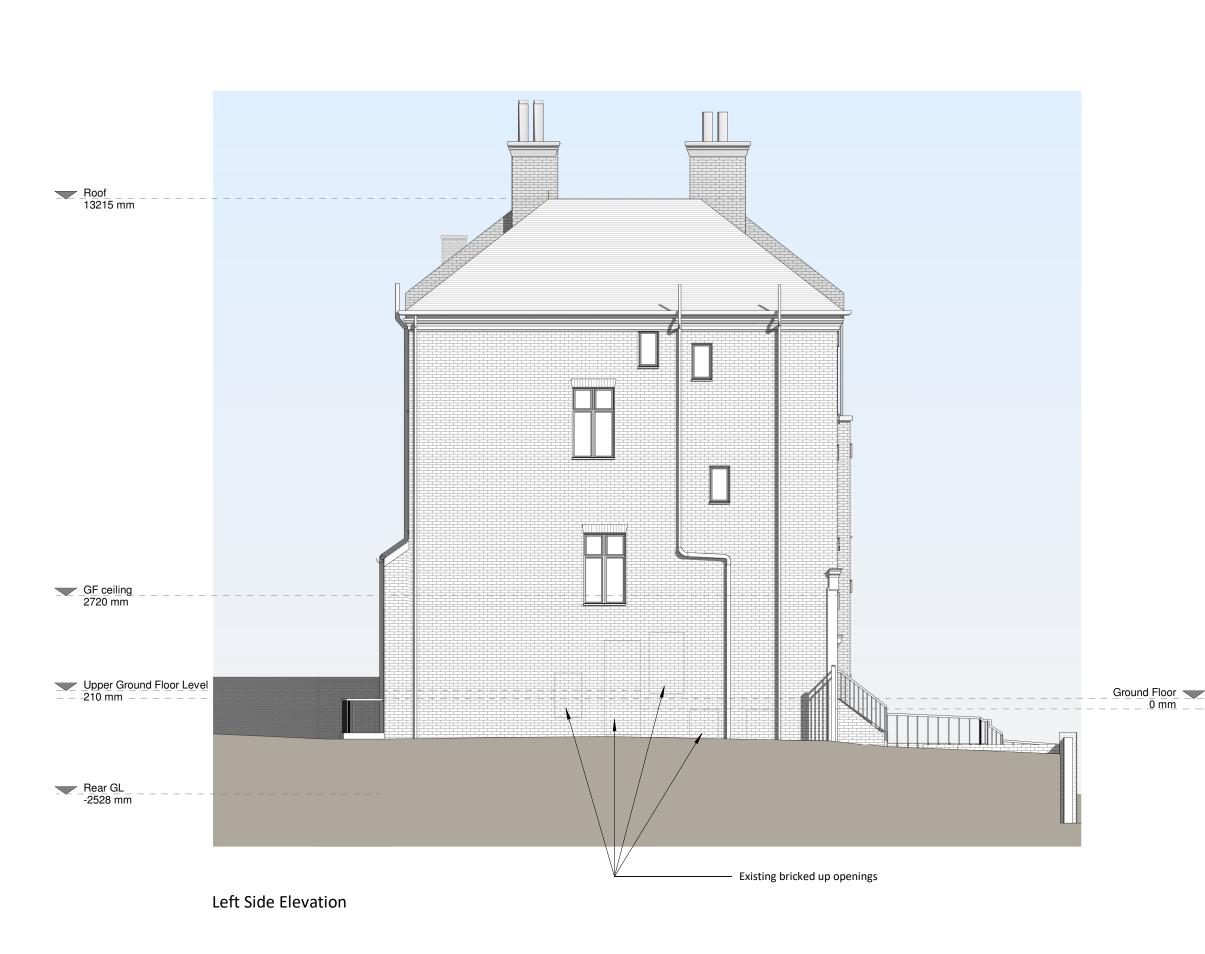
Pitched Roof - Slate

Flat Roof - Felt



drawing no. 55283 - 1200

m







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NOTES

Existing Materials:

Brickwork/Walls - Red brick, white render and white painted stone details

Pitched Roof - Slate

Flat Roof - Felt

Windows - White painted timber sash windows

Doors - White/blue painted timber doors with glazing panels

RWP / Gutter / Fascia - Black cast iron and uPVC downpipes and guttering, and white/black painted timber fascias

Revision

v1

Rev Notes

Planning Issue 14/10/2020

Date

KEY

Proposed Walls - - - Boundary line Proposed beam Existing Walls - - Proposed drainage Existing Removed _____1.8m Head Height Proposed Rooflight - - 1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

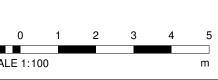
DRAWING TITLE

Existing Elevations

CLIENT

Addington Capital

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NOTES

Existing Materials:

 $\ensuremath{\mathsf{Brickwork}}\xspace/\ensuremath{\mathsf{W}}\xspace$ and white painted stone details

Pitched Roof - Slate

Flat Roof - Felt

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Revision

Rev	Notes	Date

v1	Planning Issue	14/10/2020	

KEY

Proposed Walls --- Boundary line Existing Walls - - Proposed beam Existing Removed - 1.8m Head Height Proposed Rooflight - - 1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

DRAWING TITLE

Existing Elevations

CLIENT

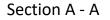
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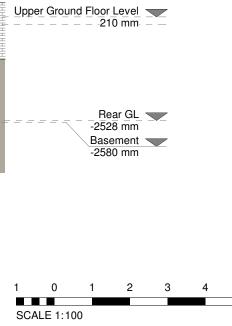
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NOTES

Revision

Rev	Notes	Date
v1	Planning Issue	14/10/2020

KEY

 Proposed Walls
 - - - Boundary line

 Existing Walls
 - - Proposed beam

 Existing Removed
 - - Proposed drainage

 Proposed Rooflight
 - - 1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

status Planning Drawings

DRAWING TITLE

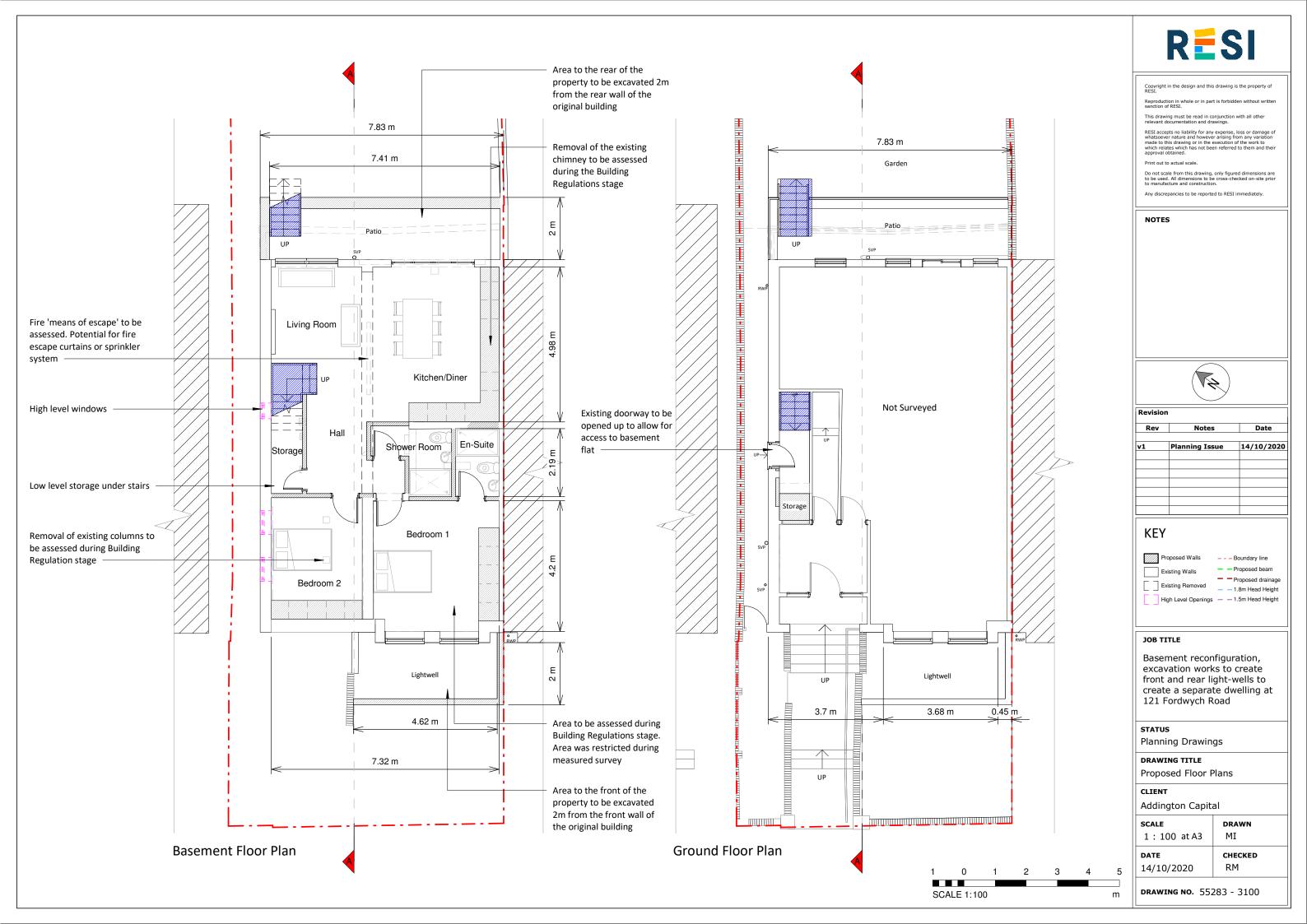
Existing Section

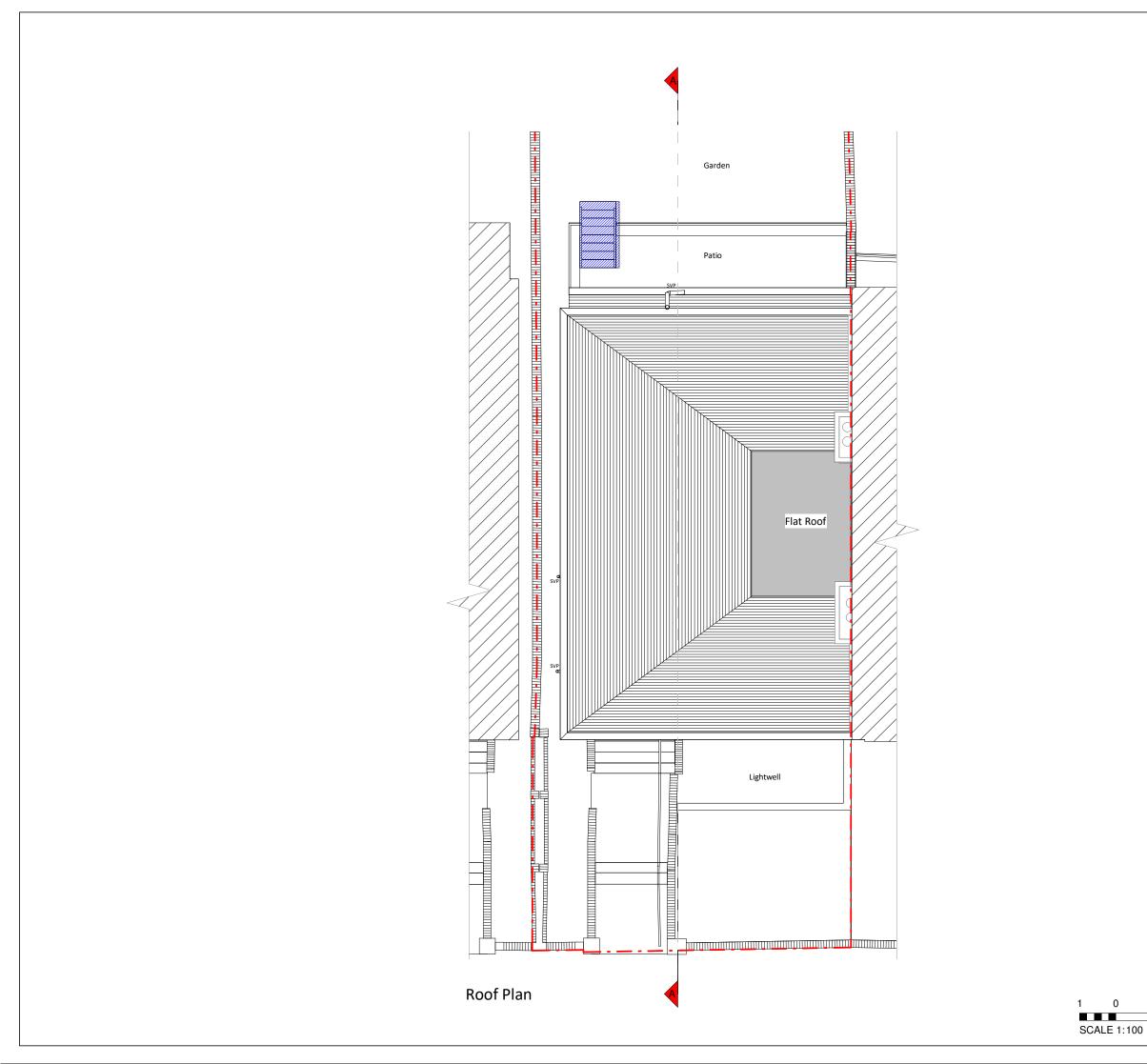
CLIENT

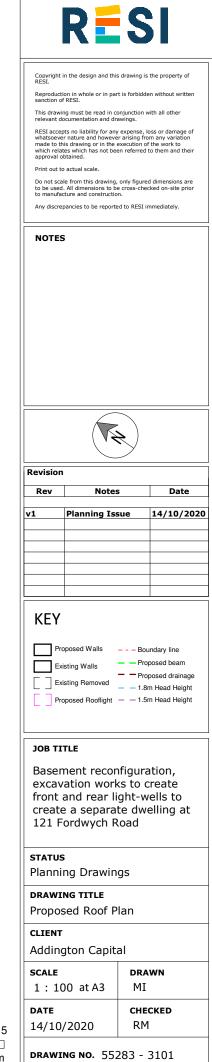
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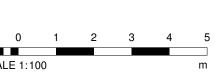
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SCALE 1:100



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NOTES

Proposed:

Brickwork/Walls - Red brick to match existing

Windows - White painted timber sash windows to match existing

Doors - Timber doors to match existing and aluminium framed bifold doors

RWP / Gutter / Fascia - Black uPVC to match existing

Revision Rev Notes Date Planning Issue 14/10/2020 v1 KEY Proposed Walls - - - Boundary line Proposed beam Existing Walls

- - Proposed drainage Existing Removed - - 1.8m Head Height
 - Proposed Rooflight - 1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

DRAWING TITLE

Proposed Elevations

CLIENT

Addington Capital		
SCALE	DRAWN	
1:100 at A3	MI	

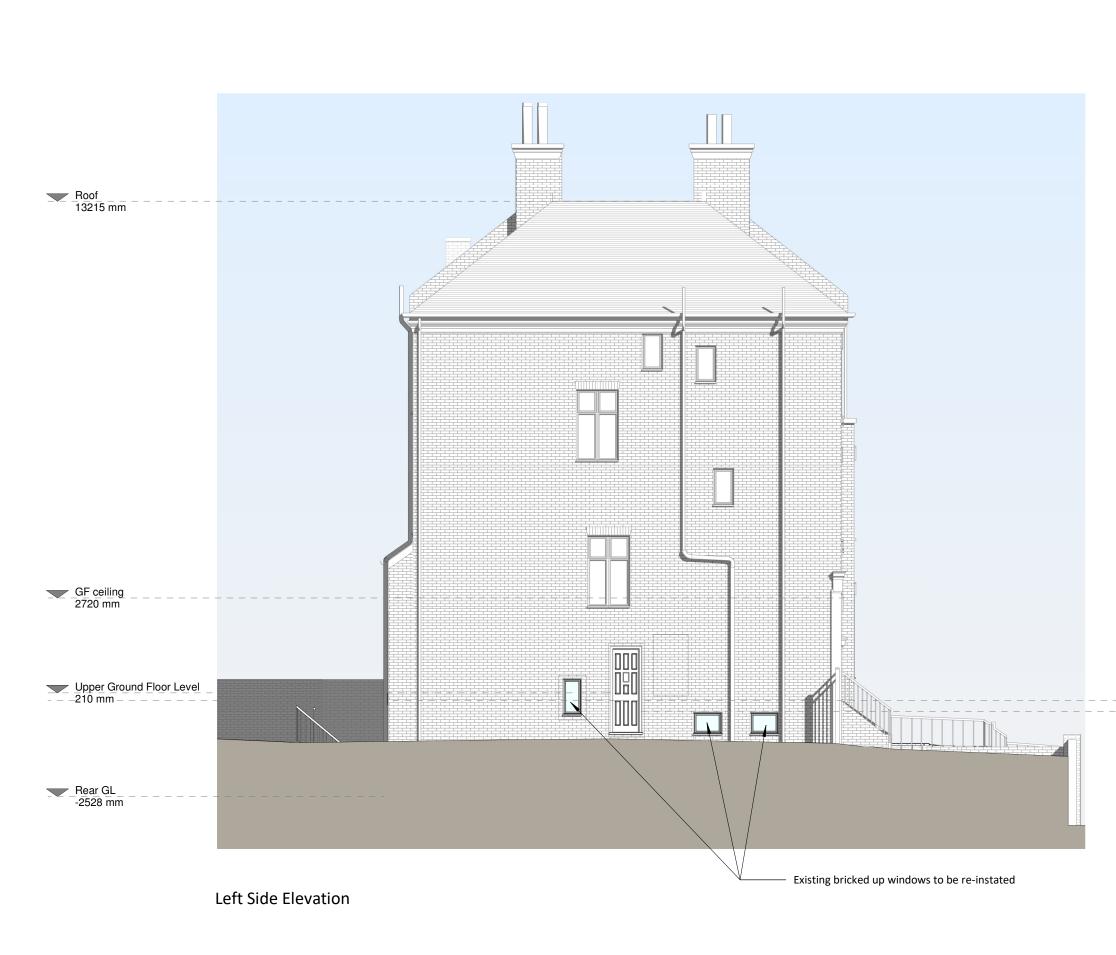
DATE 14/10/2020

MI CHECKED RM

drawing no. 55283 - 3200

m

5





Ground Floor

0 mm ____



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Revision				
Rev	Notes	Date		
v1	Planning Issue	14/10/2020		
•	Flamming 1350e	14/10/2020		
KEY	,			
	roposed Walls	loundary line		

Existing Walls

- - - Boundary line

 Proposed beam - - Proposed drainage

Proposed Rooflight - - 1.5m Head Height

- Existing Removed - 1.8m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

DRAWING TITLE

Proposed Elevations

CLIENT

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Addington Capital

SCALE 1 : 100 at A3	drawn MI
DATE 14/10/2020	снескер RM



Right Side Elevation





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Revision				
Rev	Notes	Date		
v1	Planning Issue	14/10/2020		
KEY	,			
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Existing Walls

- Proposed Walls - Boundary line
 - Proposed beam
 - - Proposed drainage

- Existing Removed - 1.8m Head Height
 - Proposed Rooflight - 1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

DRAWING TITLE

Proposed Elevations

CLIENT

Addington Capital				
SCALE	DRAWN			
1:100 at A3	MI			

DATE 14/10/2020

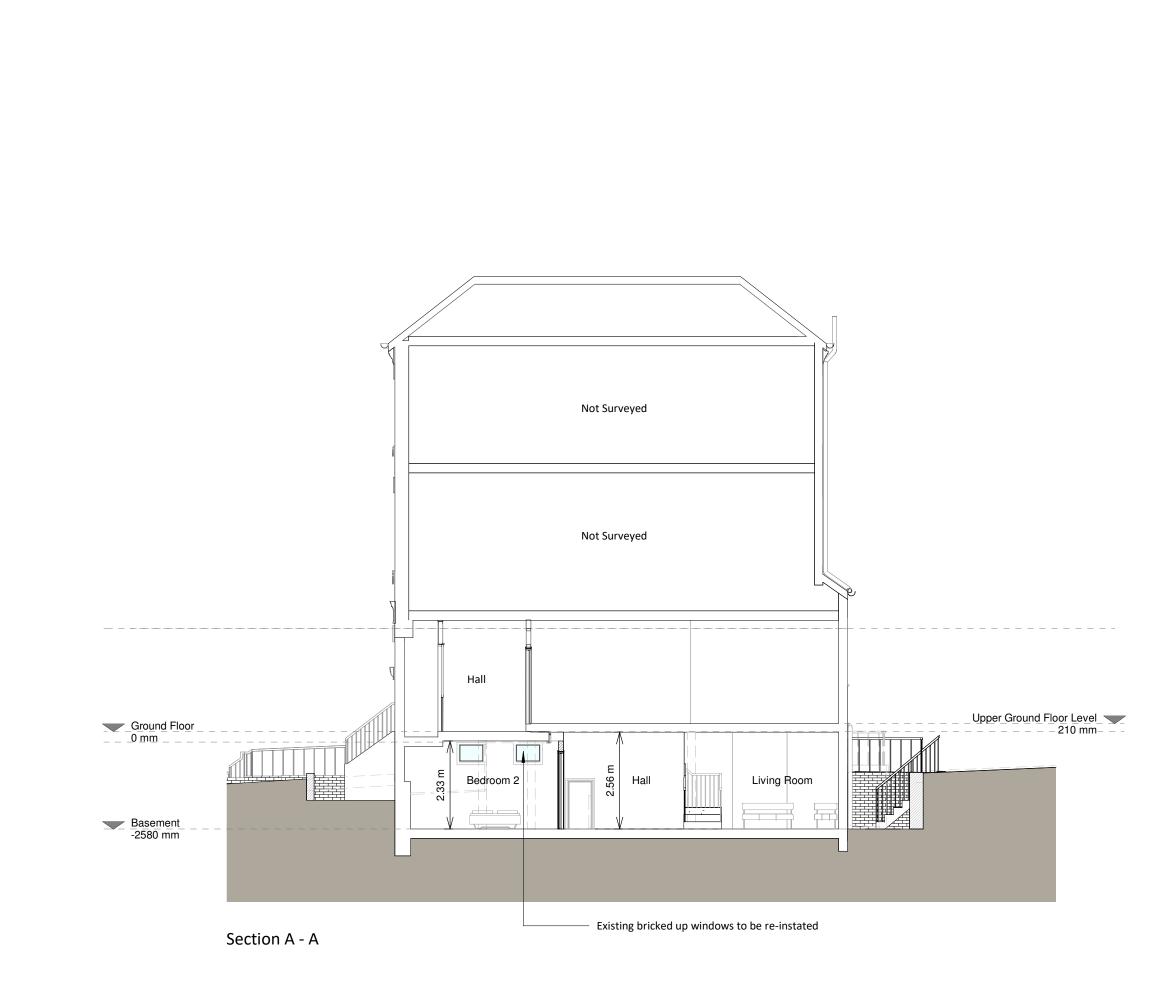
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CHECKED RM

drawing no. 55283 - 3202

Upper Ground Floor Level _ _ _ _ _ _ _ _210 mm _ _ _







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