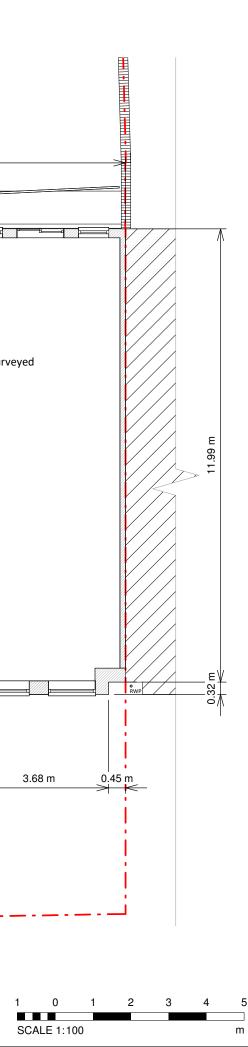


Basement Floor Plan





Copyright in the design and this drawing is the property of RESI.

Reproduction in whole or in part is forbidden without written sanction of RESI.

This drawing must be read in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any expense, loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which relates which has not been referred to them and their approval obtained.

Print out to actual scale.

Do not scale from this drawing, only figured dimensions are to be used. All dimensions to be cross-checked on-site prior to manufacture and construction.

Any discrepancies to be reported to RESI immediately.

NOTES



Revision			
Rev	Notes	Date	
v1	Planning Issue	14/10/2020	

KEY

Proposed Walls	Boundary line
Existing Walls	 Proposed beam
	Proposed drainage
Existing Removed	1.8m Head Height
Proposed Rooflight	1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

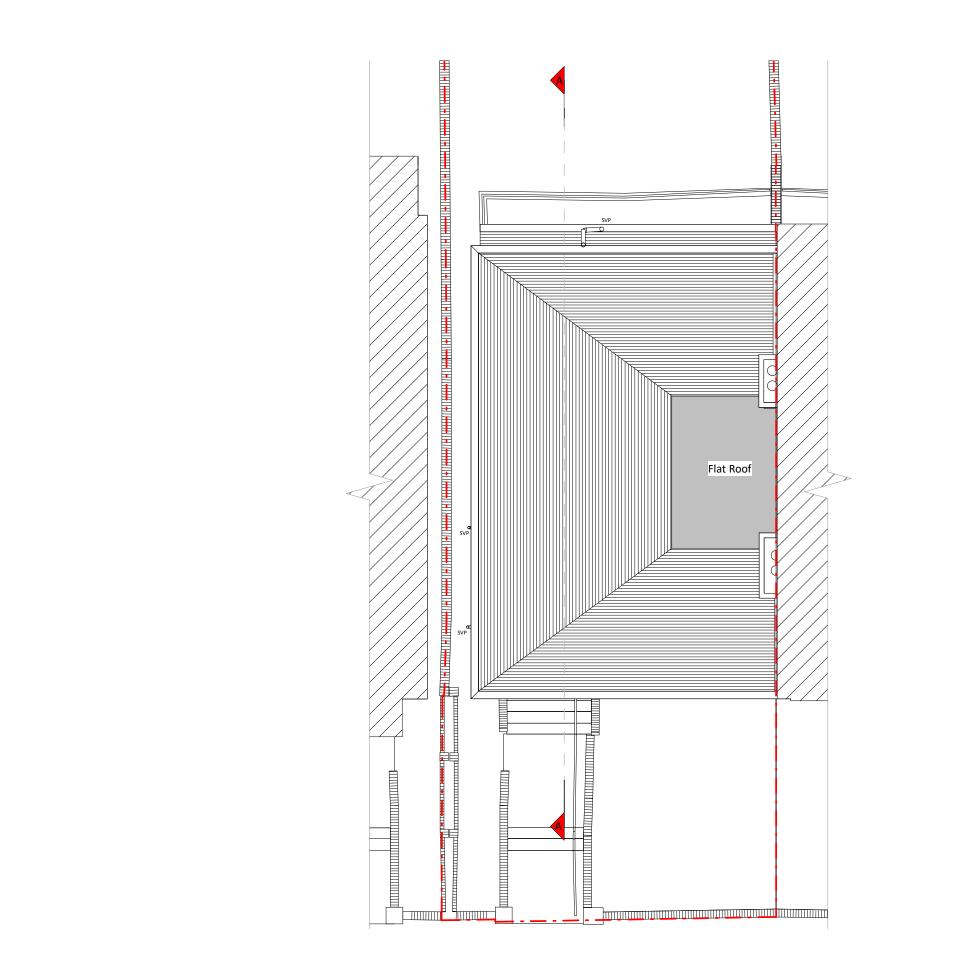
DRAWING TITLE

Existing Floor Plans

CLIENT

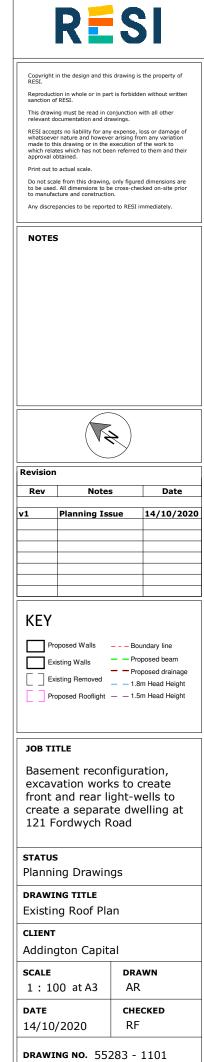
Addington Capital SCALE DRAWN

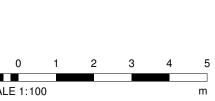
1 : 100 at A3	AR	
DATE	CHECKED	
14/10/2020	RF	



Roof Plan









SCALE 1:100



Copyright in the design and this drawing is the property of RESI.

Reproduction in whole or in part is forbidden without written sanction of RESI.

This drawing must be read in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any expense, loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which relates which has not been referred to them and their approval obtained.

Print out to actual scale.

Do not scale from this drawing, only figured dimensions are to be used. All dimensions to be cross-checked on-site prior to manufacture and construction.

Any discrepancies to be reported to RESI immediately.

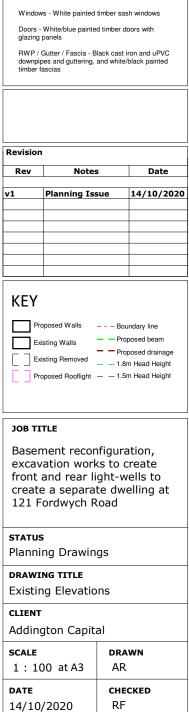
NOTES

Existing Materials:

 $\ensuremath{\mathsf{Brickwork}}\xspace/\ensuremath{\mathsf{Walls}}\xspace$ - Red brick, white render and white painted stone details

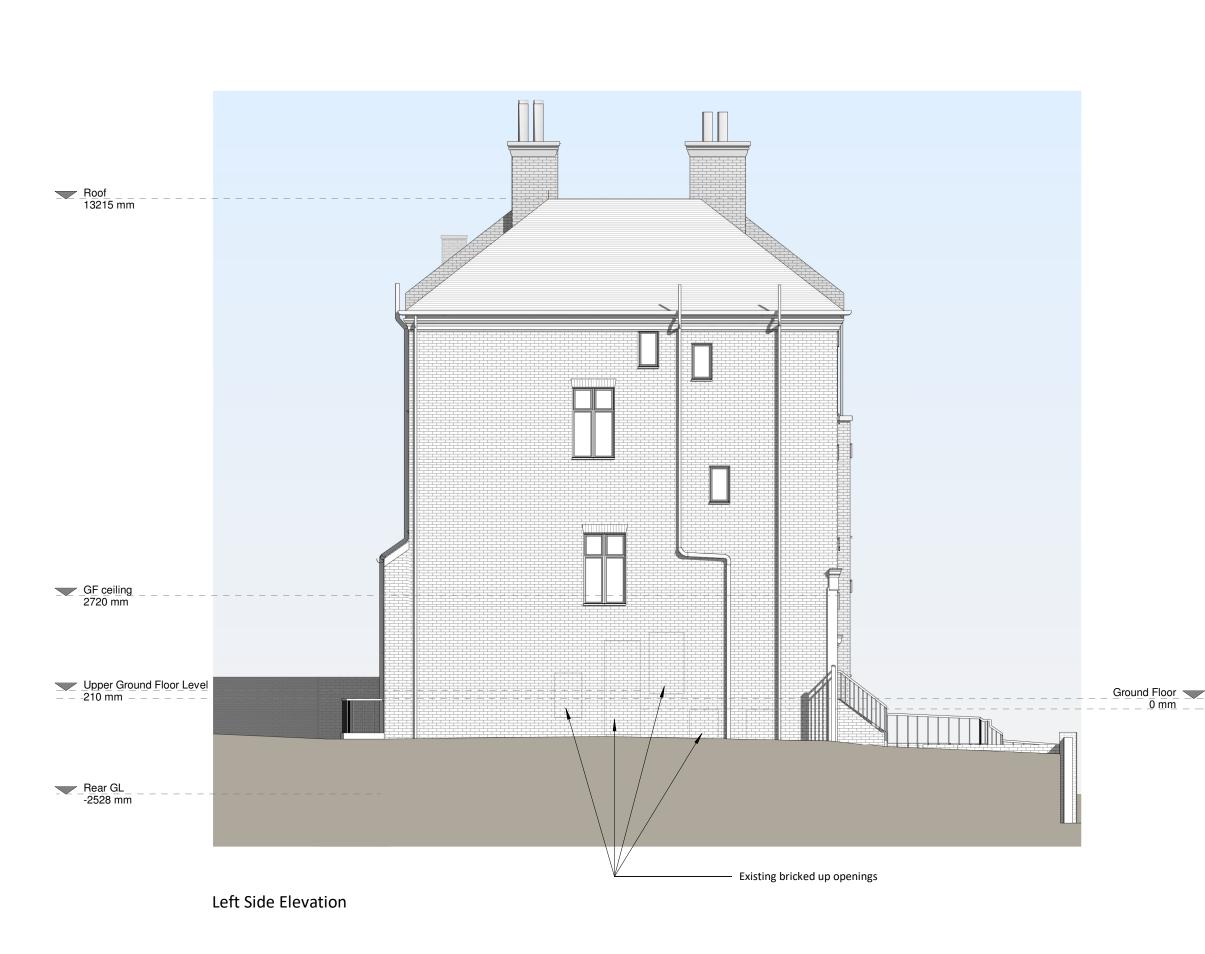
Pitched Roof - Slate

Flat Roof - Felt



drawing no. 55283 - 1200

m







Reproduction in whole or in part is forbidden without written sanction of RESI.

This drawing must be read in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any express, loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which relates which has not been referred to them and their approval obtained.

Print out to actual scale.

Do not scale from this drawing, only figured dimensions are to be used. All dimensions to be cross-checked on-site prior to manufacture and construction.

Any discrepancies to be reported to RESI immediately.

NOTES

Existing Materials:

Brickwork/Walls - Red brick, white render and white painted stone details

Pitched Roof - Slate

Flat Roof - Felt

Windows - White painted timber sash windows

Doors - White/blue painted timber doors with glazing panels

RWP / Gutter / Fascia - Black cast iron and uPVC downpipes and guttering, and white/black painted timber fascias

Revision

v1

Rev Notes

Planning Issue 14/10/2020

Date

KEY

Proposed Walls - - - Boundary line Proposed beam Existing Walls - - Proposed drainage Existing Removed _____1.8m Head Height Proposed Rooflight - - 1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

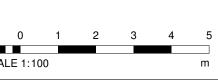
DRAWING TITLE

Existing Elevations

CLIENT

Addington Capital

Addington Capital			
DRAWN			
AR			
CHECKED			
RF			









Reproduction in whole or in part is forbidden without written sanction of RESI.

This drawing must be read in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any expense, loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which relates which has not been referred to them and their approval obtained.

Print out to actual scale.

Do not scale from this drawing, only figured dimensions are to be used. All dimensions to be cross-checked on-site prior to manufacture and construction.

Any discrepancies to be reported to RESI immediately.

NOTES

Existing Materials:

 $\ensuremath{\mathsf{Brickwork}}\xspace/\ensuremath{\mathsf{W}}\xspace$ and white painted stone details

Pitched Roof - Slate

Flat Roof - Felt

Windows - White painted timber sash windows

Doors - White/blue painted timber doors with glazing panels

RWP / Gutter / Fascia - Black cast iron and uPVC downpipes and guttering, and white/black painted timber fascias

Revision

Rev	Notes	Date

v1	Planning Issue	14/10/2020	

KEY

Proposed Walls --- Boundary line Existing Walls - - Proposed beam Existing Removed - 1.8m Head Height Proposed Rooflight - - 1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

DRAWING TITLE

Existing Elevations

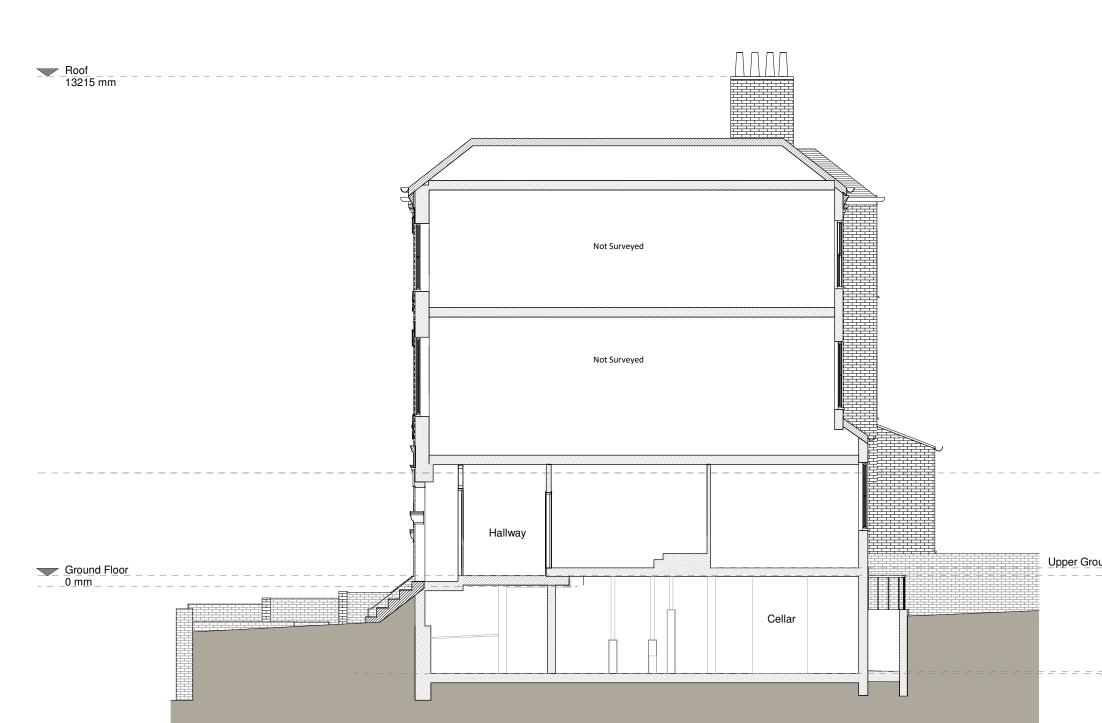
CLIENT

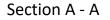
5

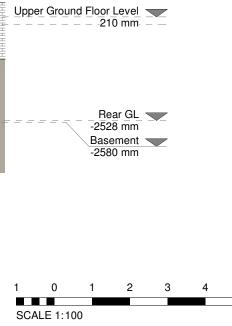
m

Addington Capital

J. J		
SCALE 1 : 100 at A3	drawn AR	
DATE 14/10/2020	снескер RF	









Reproduction in whole or in part is forbidden without written sanction of RESI.

This drawing must be read in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any expense, loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which relates which has not been referred to them and their approval obtained.

Print out to actual scale.

Do not scale from this drawing, only figured dimensions are to be used. All dimensions to be cross-checked on-site prior to manufacture and construction.

Any discrepancies to be reported to RESI immediately.

NOTES

Revision

Rev	Notes	Date
v1	Planning Issue	14/10/2020

KEY

 Proposed Walls
 - - - Boundary line

 Existing Walls
 - - Proposed beam

 Existing Removed
 - - Proposed drainage

 Proposed Rooflight
 - - 1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

status Planning Drawings

DRAWING TITLE

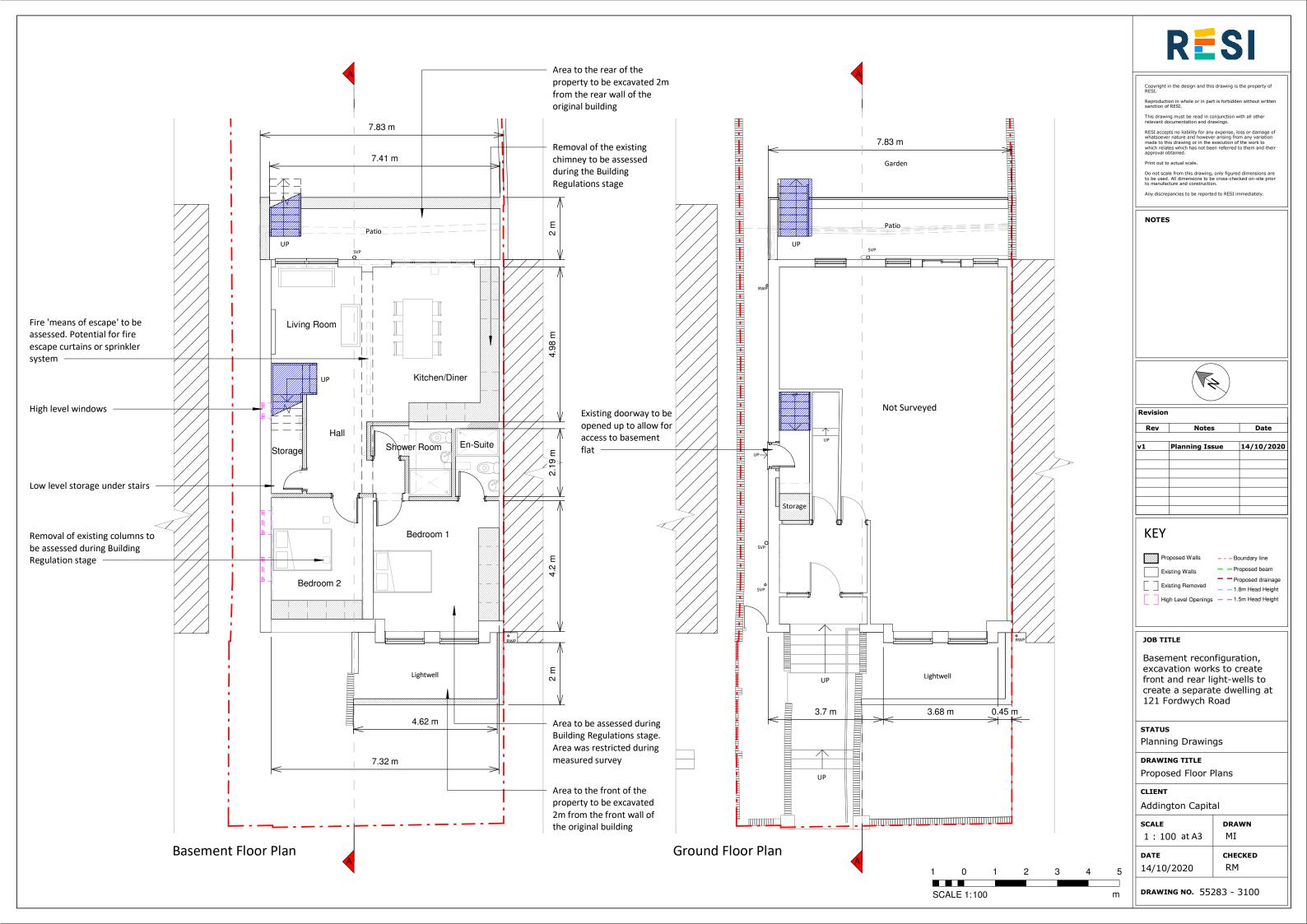
Existing Section

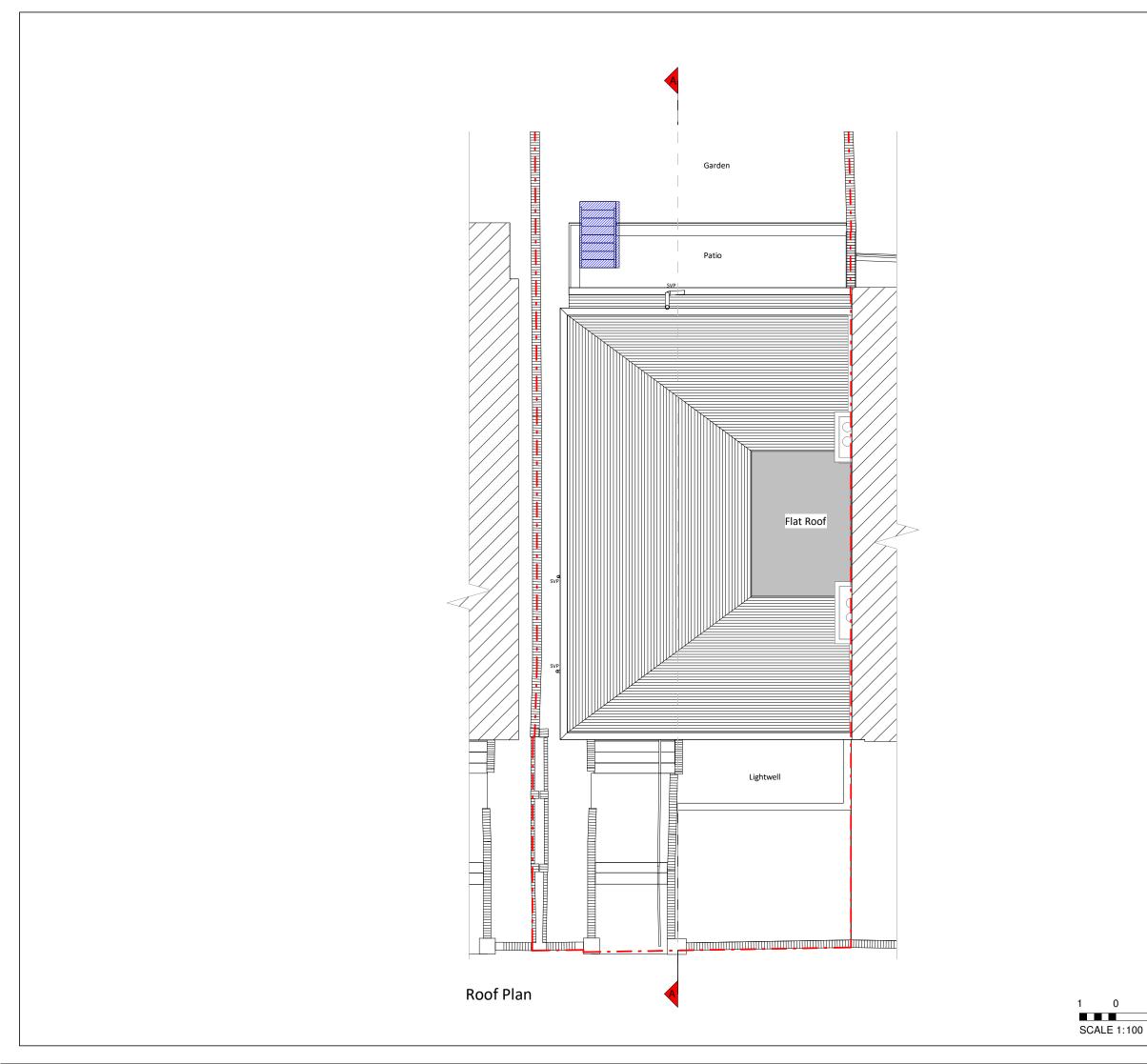
CLIENT

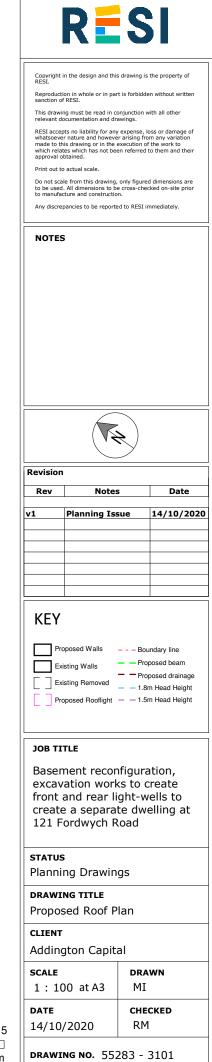
5

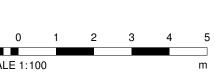
m

Addington CapitalscaleDRAWN1 : 100 at A3ARDATECHECKED14/10/2020RF











SCALE 1:100



Copyright in the design and this drawing is the property of RESI.

Reproduction in whole or in part is forbidden without written sanction of RESI.

This drawing must be read in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any expense, loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which relates which has not been referred to them and their approval obtained.

Print out to actual scale.

Do not scale from this drawing, only figured dimensions are to be used. All dimensions to be cross-checked on-site prior to manufacture and construction.

Any discrepancies to be reported to RESI immediately.

NOTES

Proposed:

Brickwork/Walls - Red brick to match existing

Windows - White painted timber sash windows to match existing

Doors - Timber doors to match existing and aluminium framed bifold doors

RWP / Gutter / Fascia - Black uPVC to match existing

Revision Rev Notes Date Planning Issue 14/10/2020 v1 KEY Proposed Walls - - - Boundary line Proposed beam Existing Walls

- - Proposed drainage Existing Removed - - 1.8m Head Height
 - Proposed Rooflight - 1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

DRAWING TITLE

Proposed Elevations

CLIENT

Addington Capital		
SCALE	DRAWN	
1:100 at A3	MI	

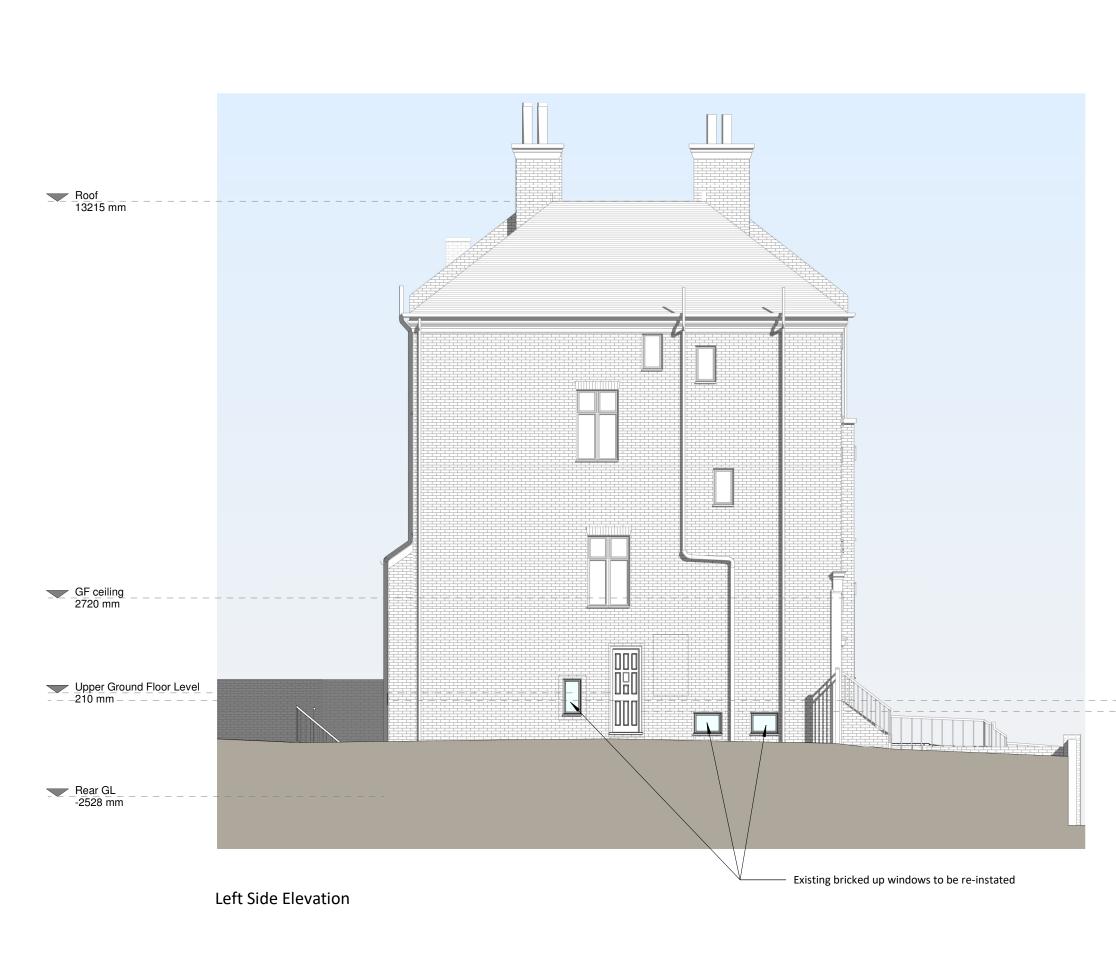
DATE 14/10/2020

MI CHECKED RM

drawing no. 55283 - 3200

m

5





Ground Floor

0 mm ____



Copyright in the design and this drawing is the property of RESI.

Reproduction in whole or in part is forbidden without written sanction of RESI.

This drawing must be read in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any express, loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which relates which has not been referred to them and their approval obtained.

Print out to actual scale.

Do not scale from this drawing, only figured dimensions are to be used. All dimensions to be cross-checked on-site prior to manufacture and construction.

Any discrepancies to be reported to RESI immediately.

NOTES

Proposed:

Brickwork/Walls - Red brick to match existing

Windows - White painted timber sash windows to match existing

Doors - Timber doors to match existing and aluminium framed bifold doors

RWP / Gutter / Fascia - Black uPVC to match existing

Revision				
Rev	Notes	Date		
v1	Planning Issue	14/10/2020		
•	Flamming 1350e	14/10/2020		
KEY	,			
	roposed Walls	loundary line		

Existing Walls

- - - Boundary line

 Proposed beam - - Proposed drainage

Proposed Rooflight - - 1.5m Head Height

- Existing Removed - 1.8m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

DRAWING TITLE

Proposed Elevations

CLIENT

5

m

Addington Capital

SCALE 1 : 100 at A3	drawn MI
DATE 14/10/2020	снескер RM



Right Side Elevation





Copyright in the design and this drawing is the property of RESI.

Reproduction in whole or in part is forbidden without written sanction of RESI.

This drawing must be read in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any expense, loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which relates which has not been referred to them and their approval obtained.

Print out to actual scale.

Do not scale from this drawing, only figured dimensions are to be used. All dimensions to be cross-checked on-site prior to manufacture and construction.

Any discrepancies to be reported to RESI immediately.

NOTES

Proposed:

Brickwork/Walls - Red brick to match existing

Windows - White painted timber sash windows to match existing

Doors - Timber doors to match existing and aluminium framed bifold doors

RWP / Gutter / Fascia - Black uPVC to match existina

Revision				
Rev	Notes	Date		
v1	Planning Issue	14/10/2020		
KEY	,			
I NE I				

Existing Walls

- Proposed Walls - Boundary line
 - Proposed beam
 - - Proposed drainage

- Existing Removed - 1.8m Head Height
 - Proposed Rooflight - 1.5m Head Height

JOB TITLE

Basement reconfiguration, excavation works to create front and rear light-wells to create a separate dwelling at 121 Fordwych Road

STATUS Planning Drawings

DRAWING TITLE

Proposed Elevations

CLIENT

Addington Capital				
SCALE	DRAWN			
1:100 at A3	MI			

DATE 14/10/2020

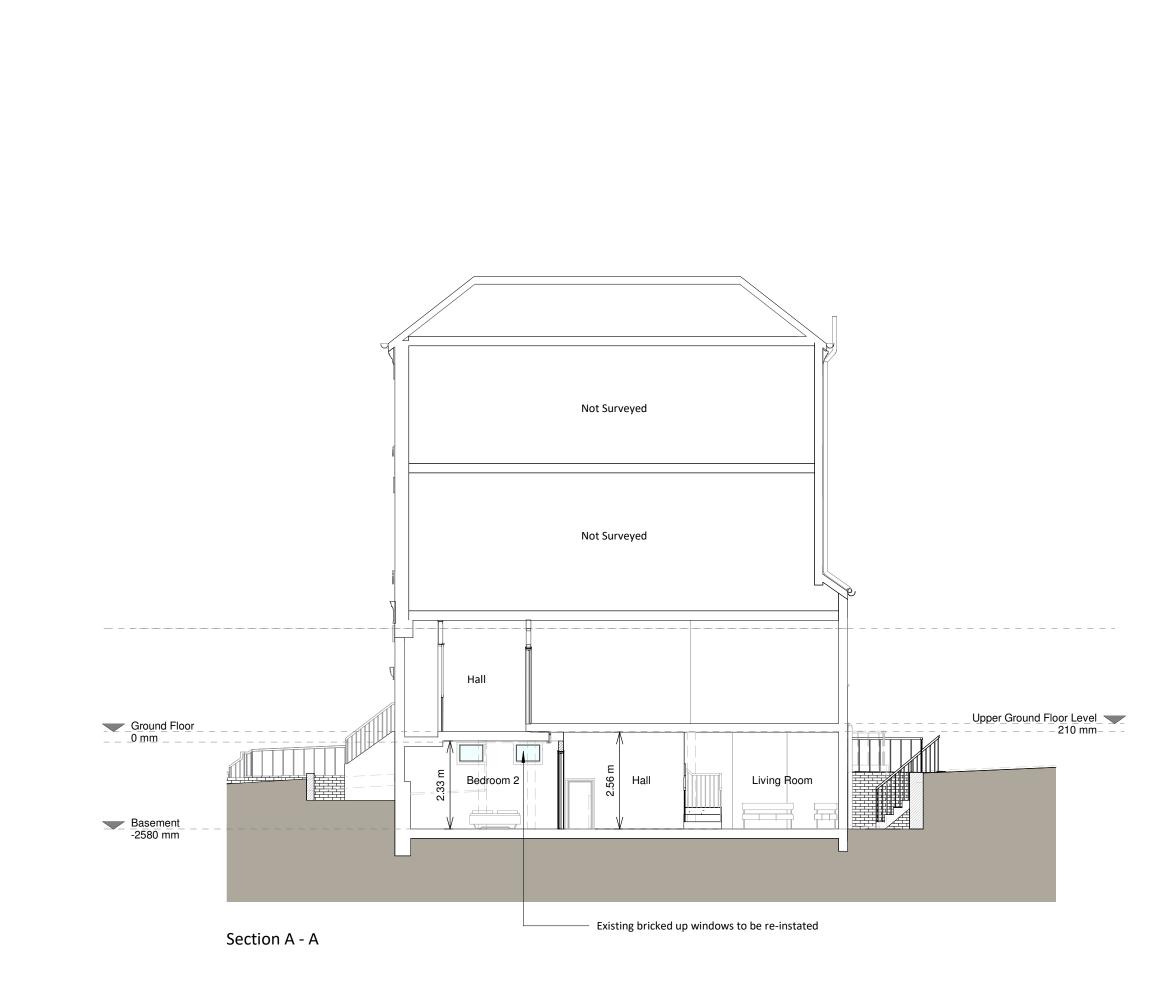
5

m

CHECKED RM

drawing no. 55283 - 3202

Upper Ground Floor Level _ _ _ _ _ _ _ _210 mm _ _ _







Reproduction in whole or in part is forbidden without written sanction of RESI.

This drawing must be read in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any expense, loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which relates which has not been referred to them and their approval obtained.

Print out to actual scale.

Do not scale from this drawing, only figured dimensions are to be used. All dimensions to be cross-checked on-site prior to manufacture and construction.

Any discrepancies to be reported to RESI immediately.

NOTES

