

Introduction

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31a Daleham Gardens
Topological Survey
Tree Survey
Location Plan
48-52 Fitzjohns Avenue
31a Daleham Gardens
HM land Registry

Introduction

This feasibility study focuses on 31 Daleham Gardens and was commissioned in May 2020 by the London Borough of Camden (LBC). It is a follow up study to a ‘Version 1’ report which was carried out in March 2018 (also by Mary Duggan Architects) following a fire within the property. An expert assessment of the property at that time concluded that a refurbishment of the property is not viable due to the extent of the fire damage.

The feasibility at that time concluded with massing and unit capacity options to enable LBC to assess a possible future for the site both in terms of ownership and density. At the time there were a number of concerns raised regarding the accuracy of the detail received on which to base the study, but it was agreed that the study would progress regardless with acknowledgement that amendments could be made in the future.

The report concluded with options ranging in size from 13 units to 28 units of varying mass, height and ground coverage as well as unit numbers and typologies but the conclusion erred on the side of caution in relation to the denser schemes.

Other issues of concern related to the site topography, the site boundary and the quality of trees on the site, not to mention the conservation context and the scale of the building.

Within this commission, we have been provided with the following information which is contained within the appendix:

- 1) Topographic survey
- 2) Tree survey
- 3) Site boundary (much reduced in size that originally envisaged),

and, we have consulted with London Borough of Camden's development team obtaining high level commentary from the conservation, urban and planning teams within one single consultation which took place on Tuesday 26th May 2020.

Whilst concise, the report responds to a number of key issues raised within that meeting which are summarised as follows:

- 1) We have set a reasonable target for the building mass which acknowledges key features and characteristics of the Fitzjohns Netherall Conservation area, namely the street line and set backs from the road intended to preserve

space for front gardens and tree coverage giving the street a softer texture.

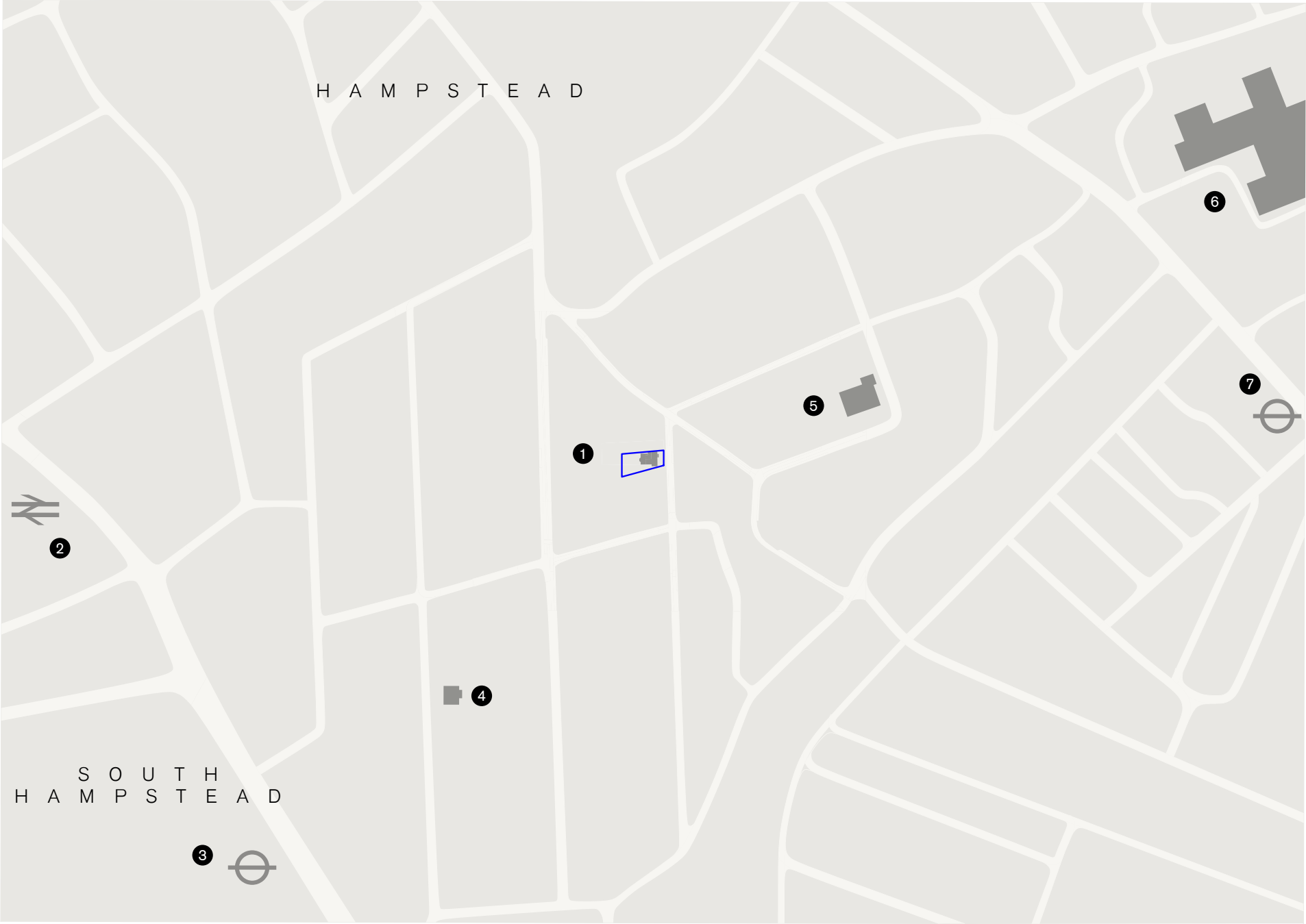
- 2) We acknowledge the articulated building as existing and buildings within the wider context containing porches and broken facades as well as pitched roof forms, and also the detailed masonry and balcony structures. This is considered within the massing and position of balconies and entrance porches.
- 3) The revised site boundary which is significantly smaller than originally envisaged is now accurate based on the survey received from LBC.
- 4) We account for the adjacent property 31a to the south and its extensive gardens and have considered the proximity to it and privacy.
- 5) We have considered the conditions of the existing property and in particular its existing footprint, the current position of windows and outlook.
- 6) We have considered the position and category of trees close to the property boundary and balanced that against the conservation area documents and prescribed architectural and urban priorities.
- 7) We understand that there is a planning policy requirement

to reprovide the social housing element (if feasible) and this area is accounted for in the summary and description of units as well as the entrances to them should there be a scenario where tenures are split across two parties.

- 8) We have targeted Camden's Local Plan requirements set out in 'Table : Dwelling Size Priorities' which sets out a preferred distribution for social rented, intermediate and market dwellings as well as unit size.
- 9) We have assessed all units based on the London Plan guidance for area and external area and have kept the area distribution for cores to reasonable areas.

All spatial parameters will of course be subject to further assessment if the project moves forward and should not be assumed to be compliant with regulations.

The massing and density proposed within these documents aims to deliver as many units as possible accounting for all of the above constraints.

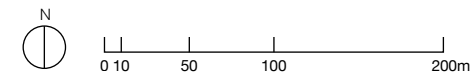


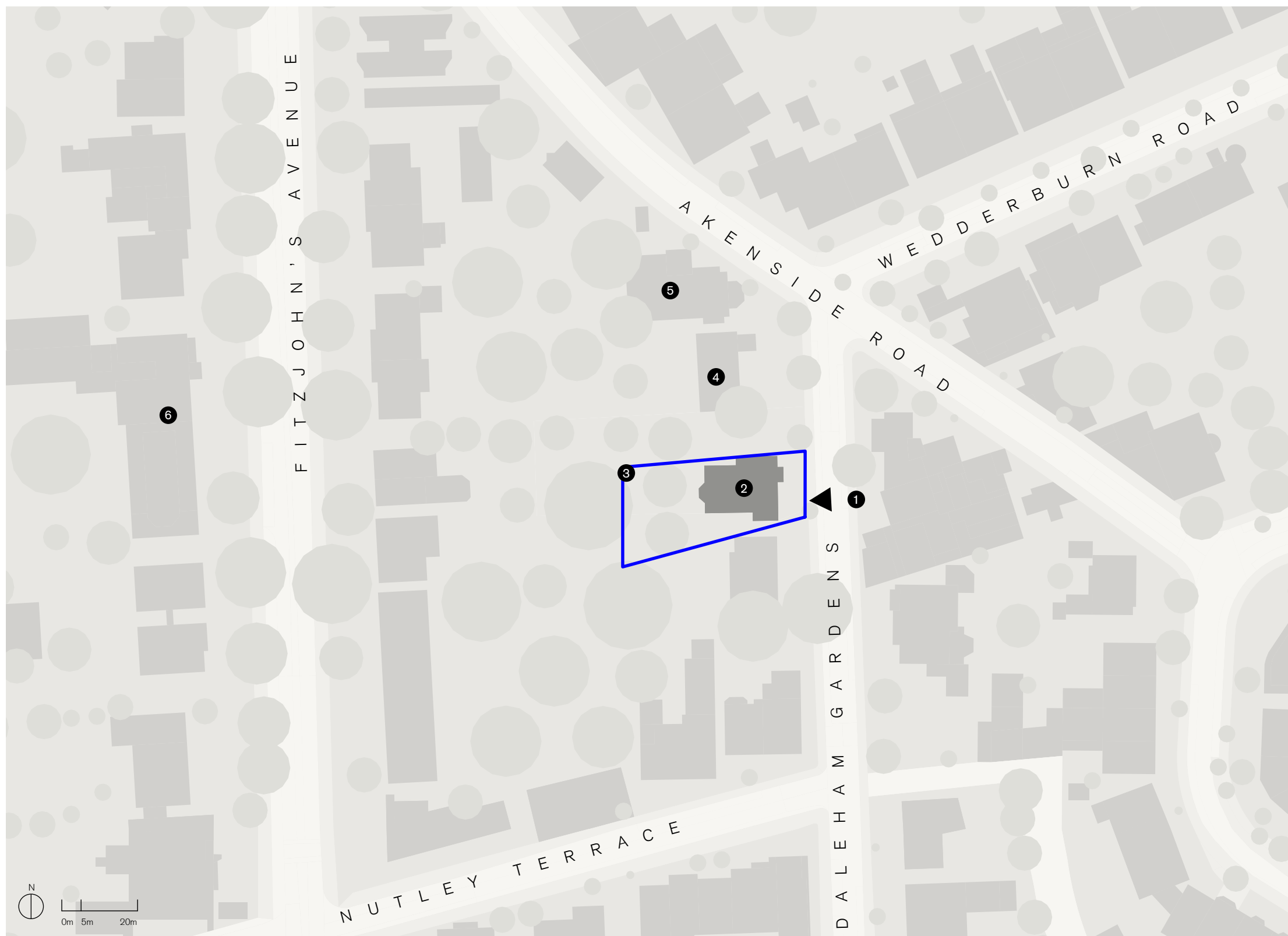
1.1 Site Location

The site occupies a position in Camden, located in the middle of Daleham Gardens and forms part of the Fitzjohns Netherhall conservation area.

The plan, left, shows the position of the site in the context of neighbouring main buildings and major transport infrastructure.

- Above left*
- 01. Project site*
 - 02. Finchley road & Frognal train station*
 - 03. Finchely road underground station*
 - 04. Freud museum*
 - 05. Marie Curie hospice*
 - 06. Royal Free Hospital School of Medicine*
 - 07. Belsize park underground station*





1.2 Local Site Layout

The plan on the left shows the plot boundary to which this feasibility study refers, presently occupied by a single three storey house accessed from Daleham Gardens and a large courtyard comprising of seven existing mature trees.

The plot is surrounded by a two storey residential building to the south and a one storey family centre to the north, in close proximity to the existing boundary wall.

The existing building has significant fire damage and therefore, this exercise will not explore its refurbishment as a viable option. However, the existing proximities, construction boundary lines and height parameters will be considered in the approach to the site.

It is to be noted that there are currently discrepancies between the 1970s existing building's plans and the current Ordnance Survey maps regarding the site boundary. This exercise has been carried out following the most up to date Ordnance Survey map, as per the client's advice.

The site topography is believed to have a slope of approximately 2.8 m according to the existing building survey information. This information will have to be confirmed in due course in order to complete an accurate range of options.

In addition to a topographical survey, a detailed tree survey will be needed in the future to assess the tree retention strategy.

Above left

01. Site access

02. Existing house

03. Site boundary

04. Monroe family centre

05. Gloucester house nursery

06. St Mary's school



01



02



03



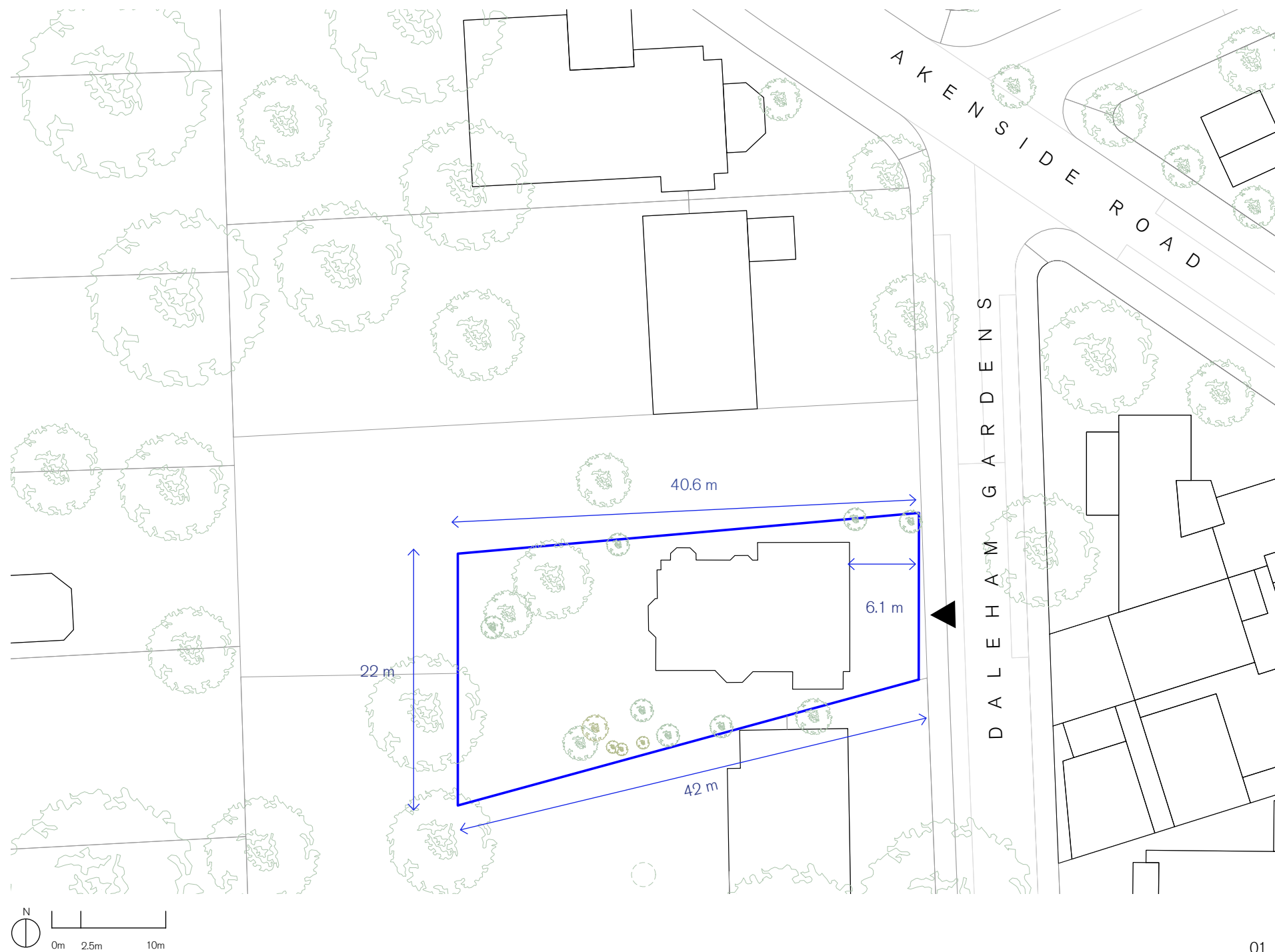
04

1.3 Site Condition

As described in the previous point the existing building has significant fire damage and it is unsafe to visit the site at the moment.

Further survey will be needed in order to address the boundary line issue described on point 1.2, as well as an arboricultural and topographical survey.

*Above left
01. View from Daleham Gardens
02. View of the existing building
03. View of the existing building
04. Boundary of between existing building and adjoining property*



1.4 Plot Definition

The site measures approximately 22 metres to the west and 14.5 metres on the east boundary. The site has an approximate length of 42 metres (at its longest point).

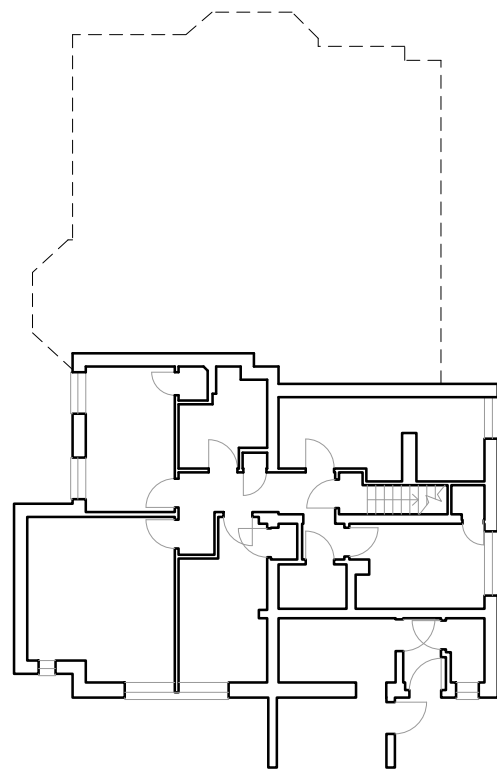
The total site area amounts to approximately 742 square metres, of which roughly 190 square metres is currently occupied by the existing building.

Access to the rear garden is pedestrian only.

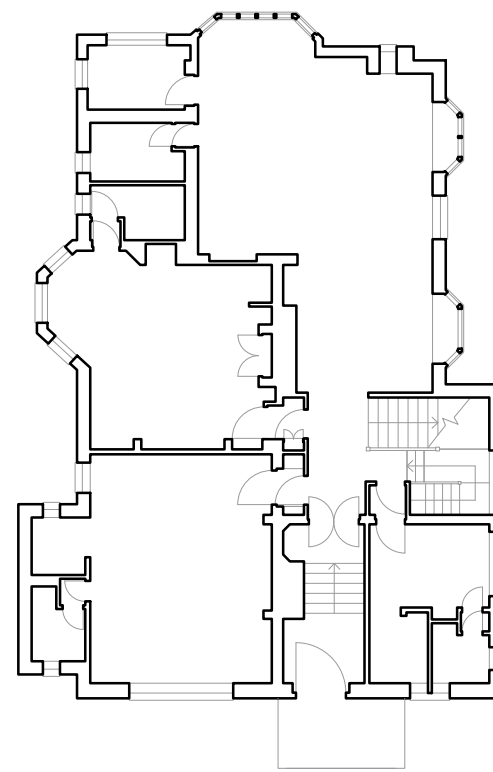
There are 6 existing mature trees within the site boundary, ranging from canopy widths of approximately 3 m up to 11m, based upon the site survey acquired from Camden Council.

The plot boundary is shown in blue on the plan, left.

Above left
01. Plot dimensions



01



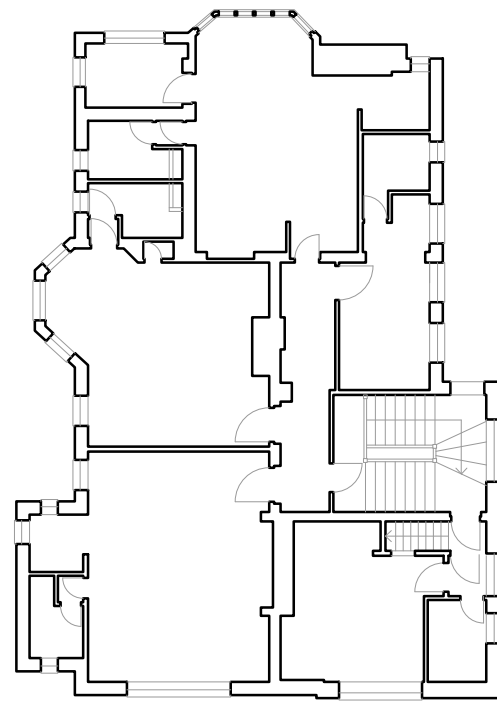
02

1.5 Existing plans

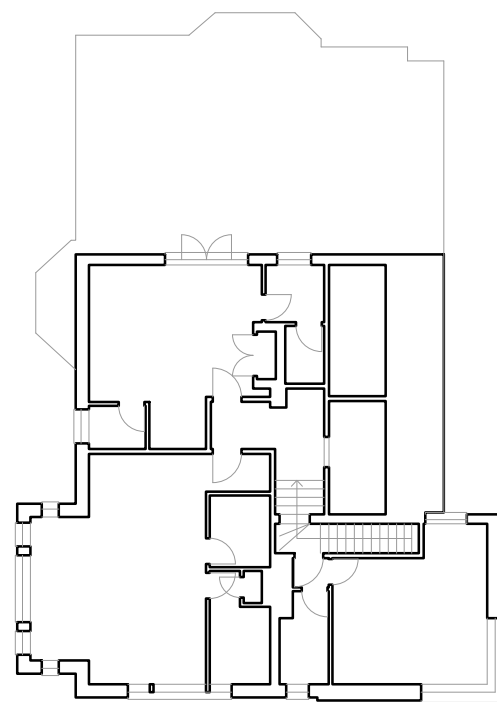
As previously mentioned in this report, the existing building has significant fire damage and therefore, this exercise will not explore its refurbishment as a viable option.

However the height parameters will be considered in the approach to the site, subject to further survey information.

Above left
01. Basement plan
02. Ground floor plan

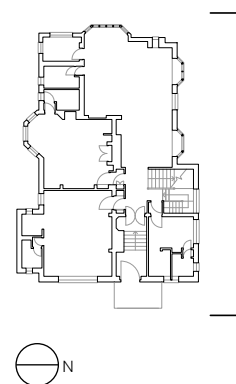


01

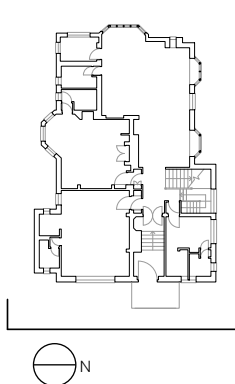
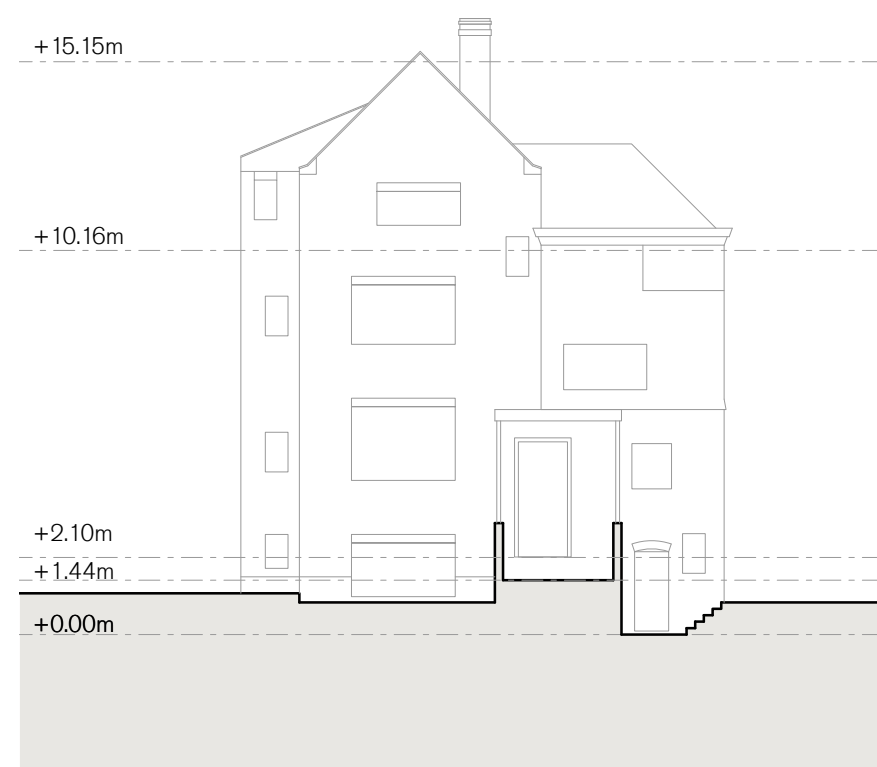


02

Above left
 01. First floor plan
 02. Second floor plan



01



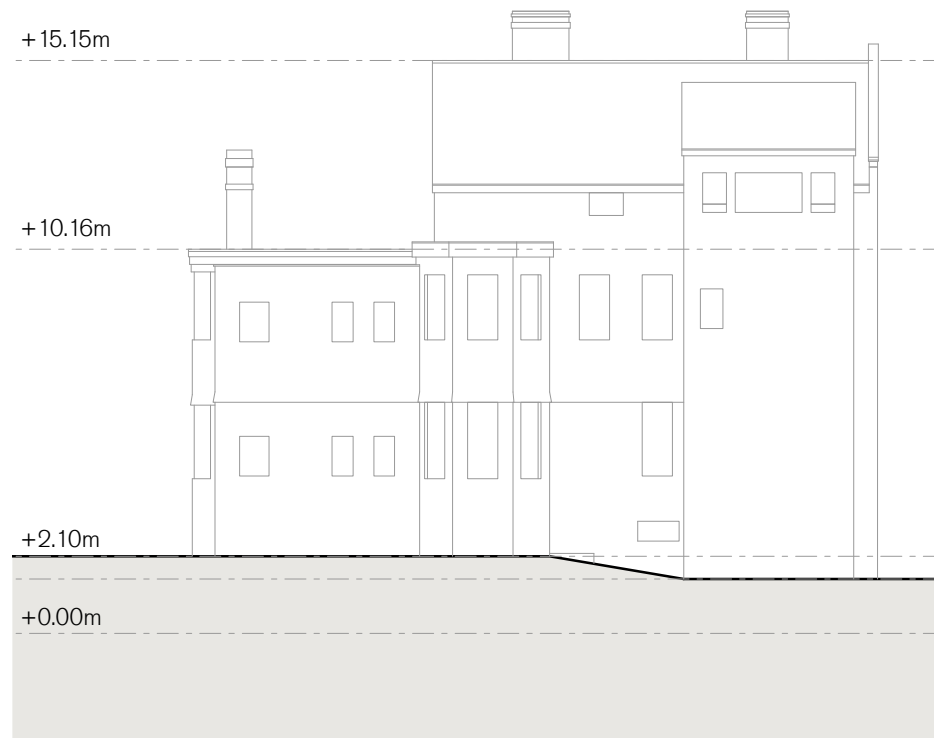
02

1.6 Existing elevations

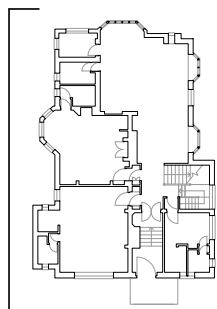
The existing survey information shows a difference in height of approximately 2.1 m from Daleham Garden's entrance to the back of the site. This height data has been accounted for in the feasibility study this report refers to.

Overall building heights have been estimated based on a visual survey.

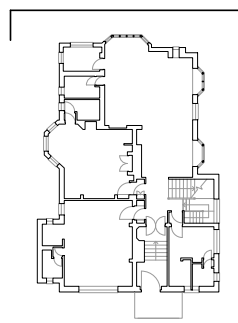
Above left
01. North elevation
02. East elevation



01



02



Above left
01. South elevation
02. West elevation

1.7 Existing area schedule
 The adjacent schedule sets out the existing accommodation, as well as the cumulative areas.

<i>Floor</i>	<i>Flat No</i>		<i>NIA m²</i>	<i>GIA m² per floor</i>	<i>GEA m² per floor</i>
Basement	Flat 1/2	Tenancy	90.22	90	104
Ground Floor	Flat 3	Void	14.39	173	195
	Flat 4	Leasehold	36.28		
	Flat 5	Leasehold	33.59		
	Flat 6	Leasehold	29.56		
	Flat 7	Leasehold	25.97		
First Floor	Flat 8	Leasehold	35.65	173	195
	Flat 9	Leasehold	30.84		
	Flat 10	Tenancy	37.70		
	Flat 11	Void	14.28		
	Flat 12	Void	19.54		
Second Floor	Flat 13	Leasehold	35.28	104	123
	Flat 14	Leasehold	25.60		
	Flat 15	Tenancy	19.60		
TOTAL			448.50	540	617

2.2 Dwelling Size Priorities

	1-bedroom (or studio)	2-bedroom	3-bedroom	4-bedroom (or more)
Social-affordable rented	lower	high	high	medium
Intermediate affordable	high	medium	lower	lower
Market	lower	high	high	lower

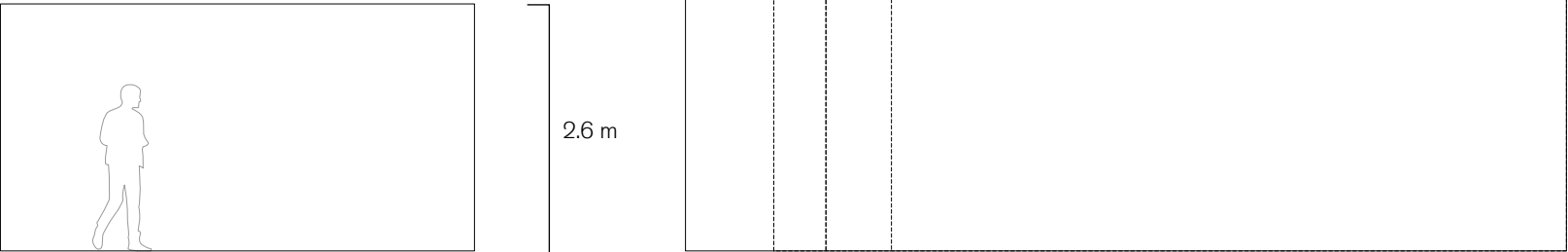
2.1 Space Provisions and Benchmarks

All assumptions and provisions in respect of space and services are based on guidance defined by the Technical housing standards – nationally described space standard

The unit typologies developed for the purpose of testing options for the occupation of the site conform, insofar as they are able to be analysed at feasibility level, to the standards set out in the document.

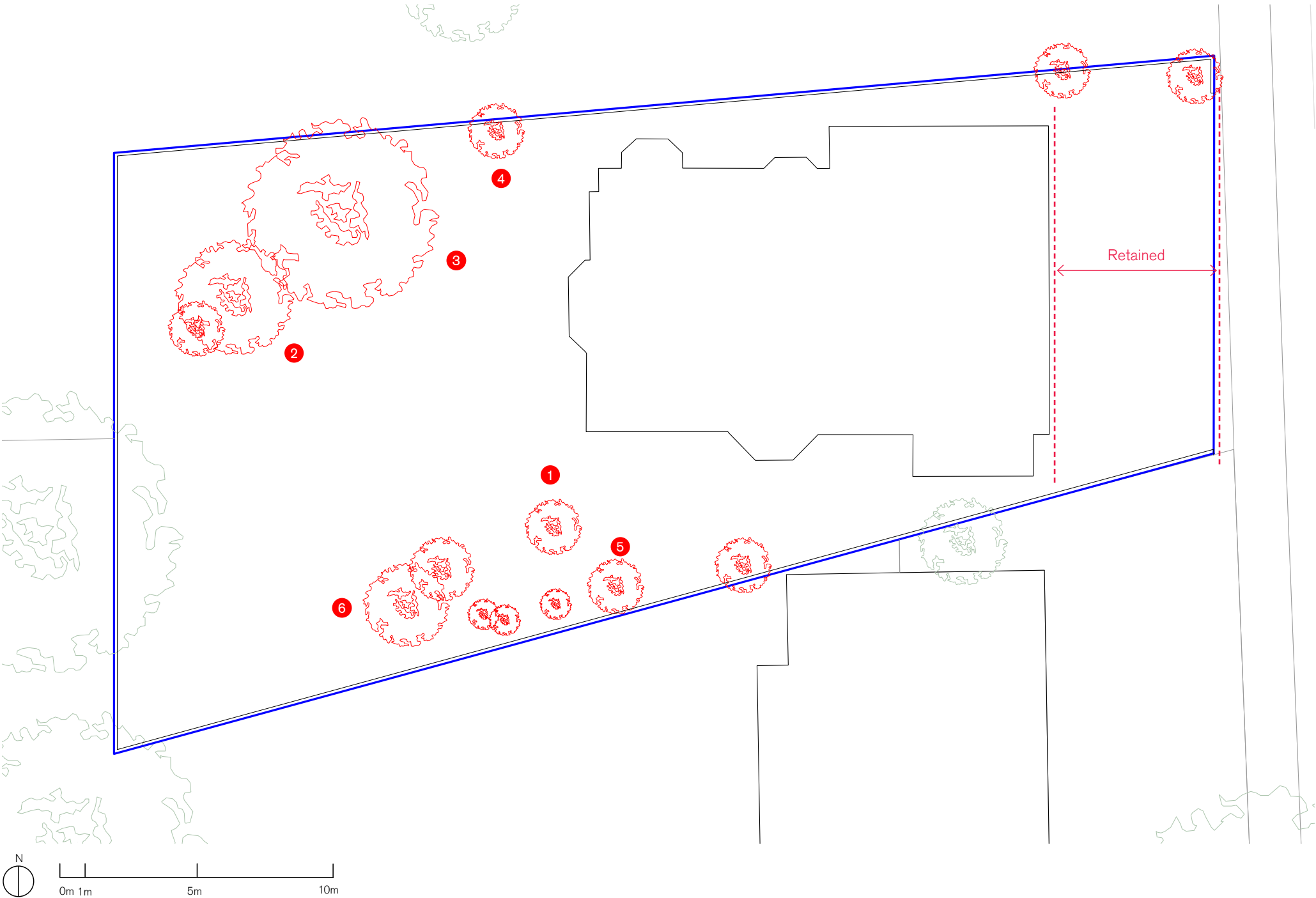
2.2 Dwelling Size Priorities

Camden's Local plans sets out priority unit sizes for different tenures set out in Table 2 adjacent.



2.1 Space Provision

Diagrams, left
2.1 Minimum space provisions for one, two and three bedroom dwellings as defined by the Technical housing standards – nationally described space standard.
2.2 Dwelling Size Priorities



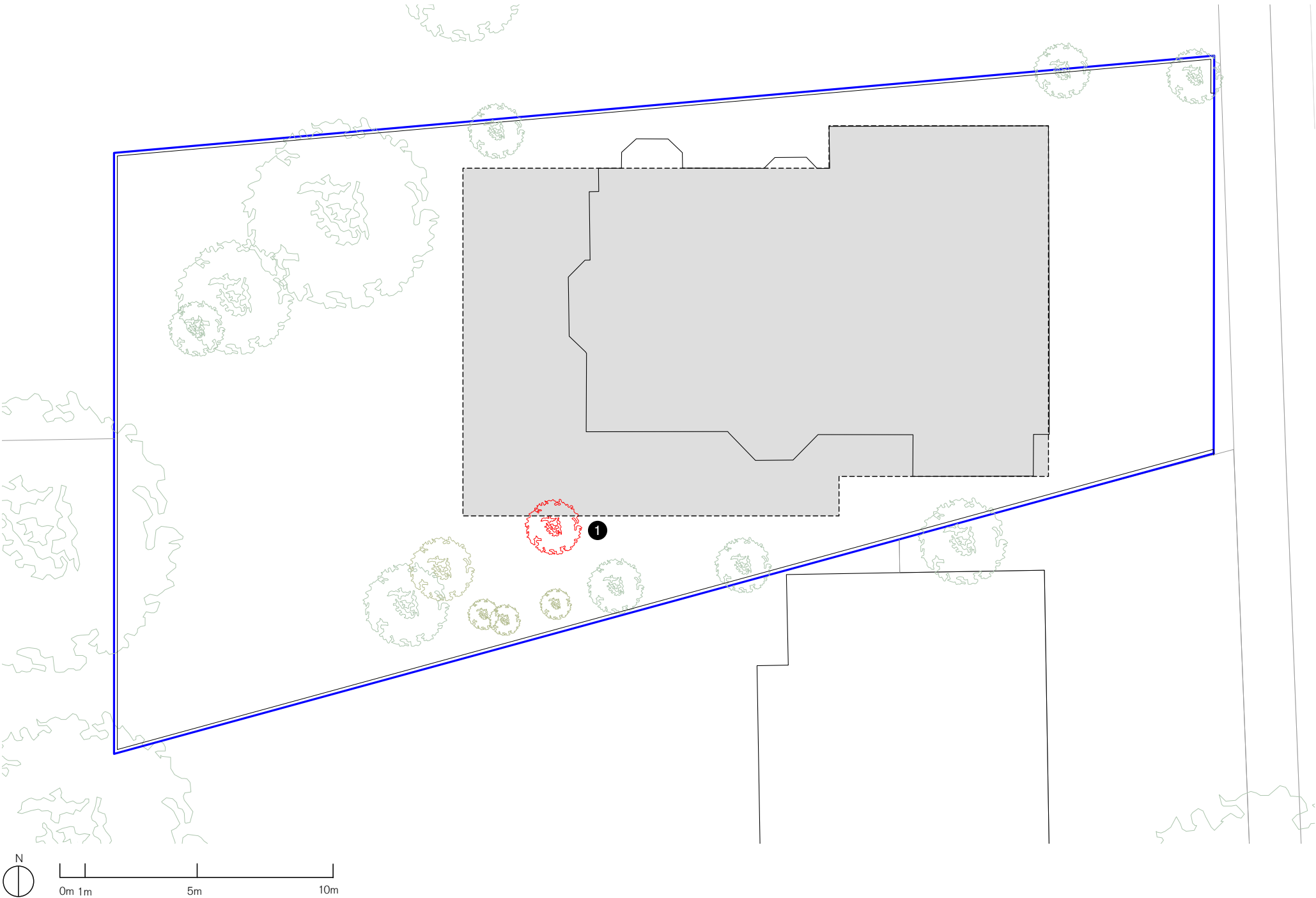
3.1 Site Constraints and Considerations

The following number of key issues have been considered in order to assess the viability of the residential development in this site:

- The presence of 6no. mature trees within the site, ranging from a canopy width of approximately 3m up to 11m as established from the tree survey (see appendix). The plan option within this feasibility aims to retain those listed based on their status. The full Topological Survey drawing is contained within the Appendix.
- The site topography is believed to have a level change of approximately 2.1m according to the existing building's survey information which should provide sufficient sectional difference to allow for submerged units at the rear of the property. subject to reviewing the impact on the tree root growth. The full Tree Survey drawing is contained within the Appendix.
- The southern building 31a connects to a larger development which spans across to Fitzjohn Avenue to the west and contains connected shared gardens. The outlook onto the garden is a consideration and it is important that the neighbouring condition remain broadly unchanged or comparable. Drawings are contained within the Appendix.
- Off set from the street. Owing to the absence of a building line at Daleham Gardens directly opposite to inform an alternative view, the offset from the street is retained and aligned with 31a and as existing.

Drawing, left
Area containing mature trees
Name/Condition
1. *Ilex aquifolium* /FAIR
2. *Sambucus nigra* /FAIR
3. *Magnolia unidentified species* /FAIR
4. *Acer pseudoplatanus* /FAIR
5. *Prunus unidentified species* /POOR
6. *Salix caprea* /FAIR

01



4.1 Approach

A single option has been generated which considers the mass very carefully alongside all of the parameters outlined within the introduction.

The plan at ground level allows for two points of access, one from the north side to access 're provided' units at ground level in accordance with planning policy, and the other from the east accessing the remainder of the units via a main core. The core serves generally three units per typical floor and maintains broadly the extents of the existing building's footprint to the north and east, and is marginally increased to the west and south. (See diagram on Pg 11)

In principle, the scheme assumes a majority tree retention strategy with only one tree removed sitting in close proximity to the proposed building line.

A 2.0 meter high level difference between the access to the site from Daleham Gardens and the back garden allows for the provision of additional units at ground. An external bike store and refuse store are provided at ground floor level to maintain a short access route in close proximity to the road and to free up valuable internal space within the footprint.

Total mix:

- 4x 1b2p units
- 1x 2b3p units
- 4x 2b4p units
- 1x 3b4p units
- 4x 3b5p units

14 units in total (see full schedule on page 17)

5/6 retained trees
1/6 poor condition and may be removed.

Drawing, left
Existing and proposed building footprints
Tree alterations Name/Condition
1. Ilex aquifolium / FAIR / Removed



4.2 Plans

The following drawings set out the strategy for the unit distribution, the reprovided units and the locations of refuse/bikes.

As a pavilion building, windows are assumed to be possible on all sides acknowledging the proximity to adjacent gardens and also the existing position of windows. Living areas are orientated east and west in all cases.

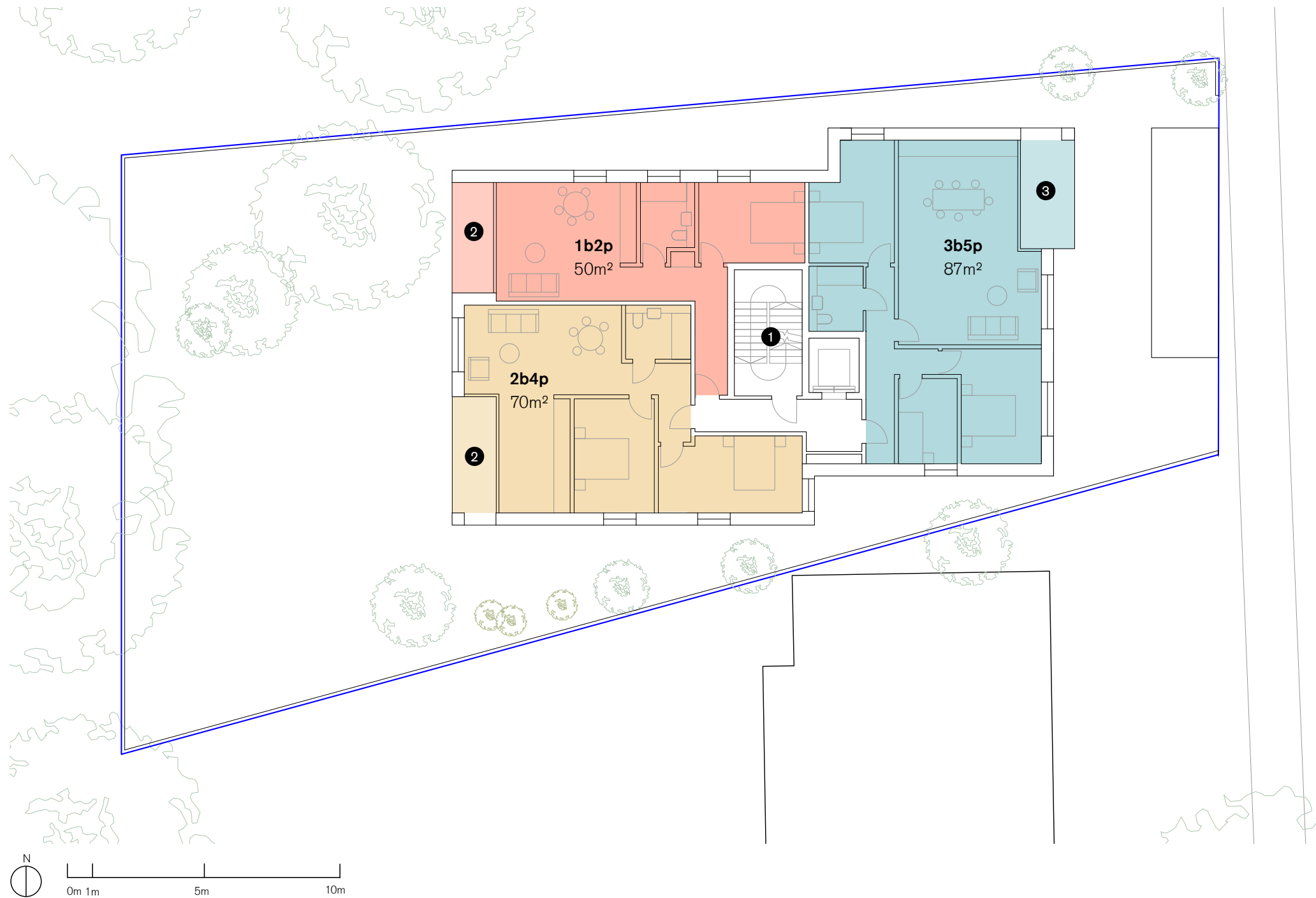
A shared garden is envisaged which could potentially also operate a tenure split.

Ground Floor plan (Entrance level)

- 01. Bike store
- 02. Bin store
- 03. Entrance lobby
- 04. Private Garden space
- 05. Communal Garden

Key

- 1b/2p
- 2b/3p
- 2b/4p
- 3b/4p
- 3b/5p



Above left
 Typical Floor Plan (1, 2 & 3)
 01. Core
 02. Loggia
 03. Half projecting bay window/balcony

Key

1b/2p



2b/3p



2b/4p

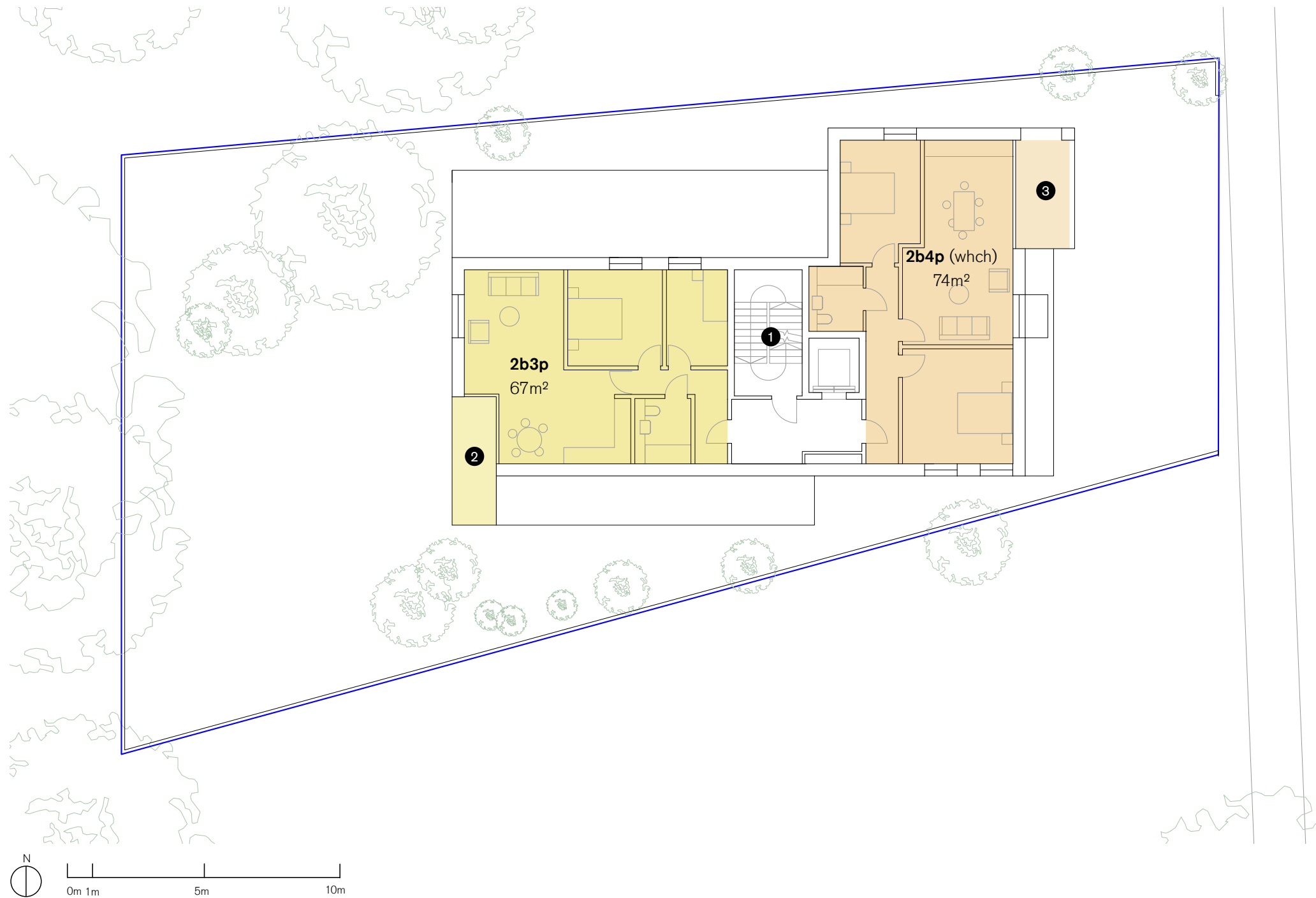


3b/4p



3b/5p

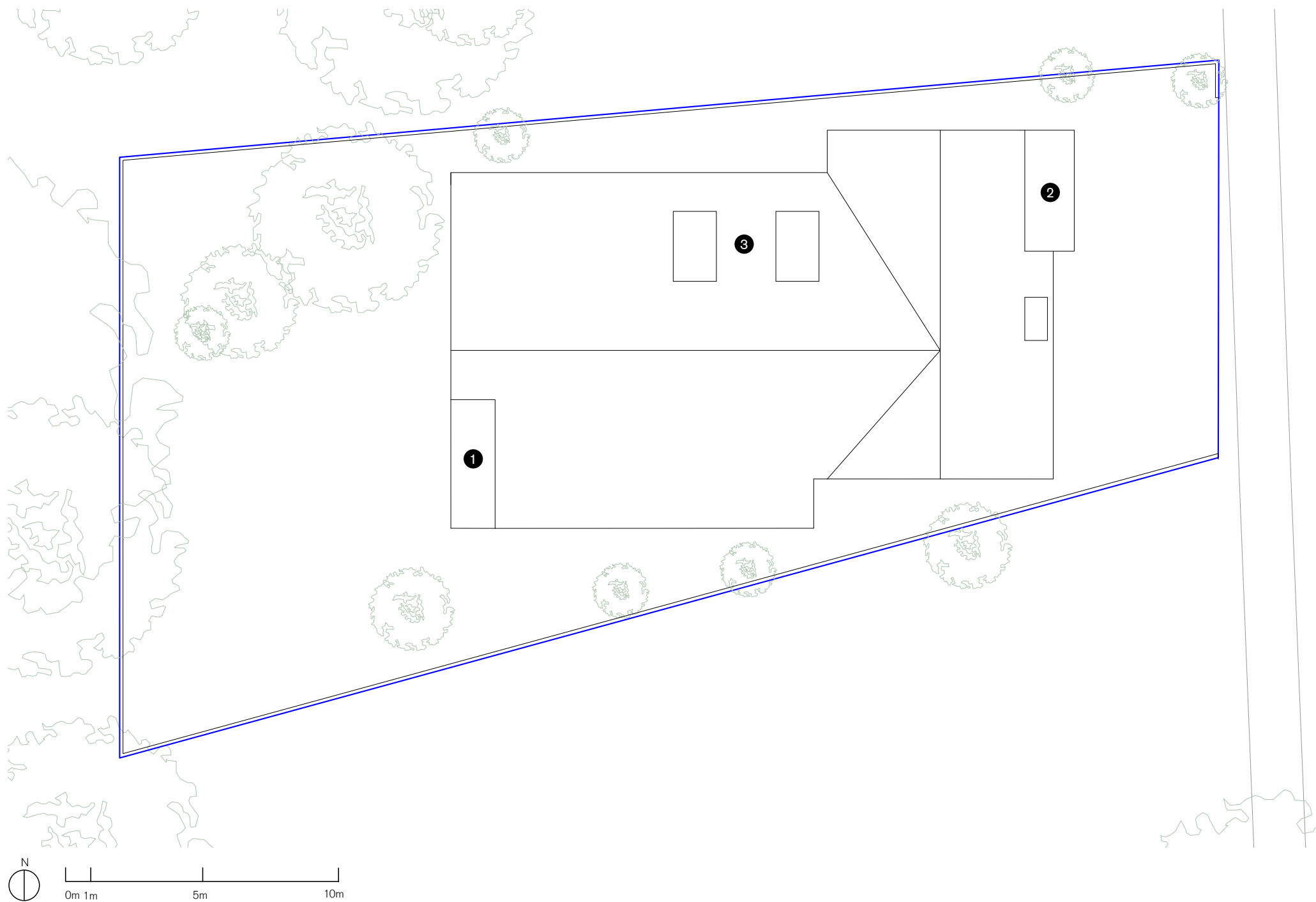




Above left
 Level 4 (roof)
 01. Core
 02. Loggia
 03. Half projecting bay window/balcony

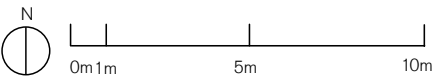
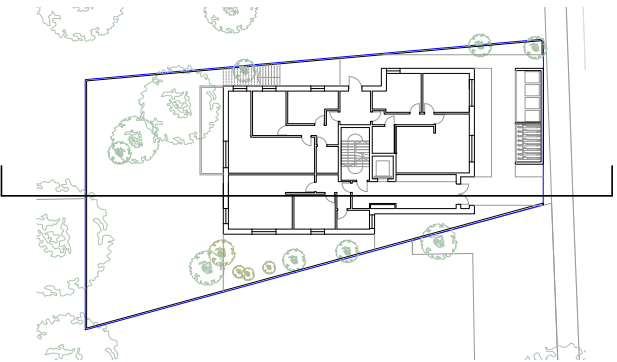
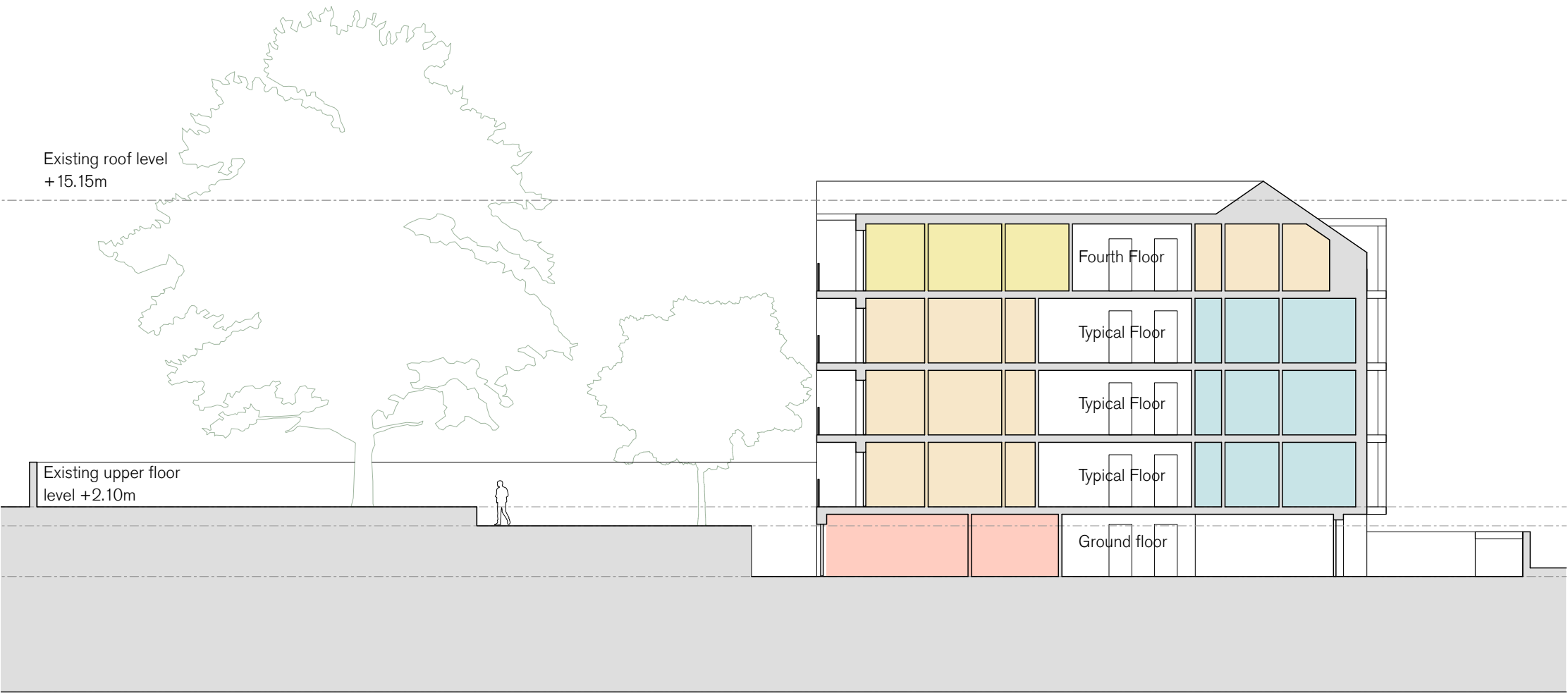
Key

1b/2p	
2b/3p	
2b/4p	
3b/4p	
3b/5p	



Above left
Roof Plan
 1. Loggia
 2. Bay window/balcony
 3. Dormer windows

4.3 Typical Section



Above left
01. Section diagram

Key

1b/2p	
2b/3p	
2b/4p	
3b/4p	
3b/5p	

5.1 Accommodation schedule and tenure mix
The adjacent schedule sets out the accommodation and tenure mix as well as the cumulative areas.

31 Daleham Gardens

Floor	Unit No/Label	No. 1B2P	No. 2B3P	No. 2B4P	No. 3B4P	No. 3B5P	NIA m ²	GlA m ² per floor	GEA m ² per floor	No	No per floor	No. Market	No.I.A	No.S.A.R	Camden Dwelling Size Priorities
Ground Floor	1					1	86	251	281	1	3			1	High
	2			1			70			1				1	High
	3	1					50			1				1	Lower
First Floor	4					1	87	240	266	1	3	1			High
	5			1			70			1		1			High
	6	1					50			1			1		High
Second Floor	7					1	87	240	266	1	3	1			High
	8			1			70			1		1			High
	9	1					50			1		1			Lower
Third Floor	10					1	87	240	266	1	3	1			High
	11			1			70			1		1			High
	12	1					50			1		1			Lower
Fourth Floor	13 (wch)			1			74	172	198	1	2	1			High
	14		1				67			1		1			High
TOTAL		4	1	5	0	4	968	1143	1277	14	14	10	1	3	



6.1 Massing - Street view

The adjacent massing model describes the height and mass relative to the road and the retained alignment with 31a Daleham Gardens to the south.

Balcony and loggias are indicated to indicate a level of articulation.

The suggested roof pitched form is intended to follow a roof typology prevalent within the Fitzjohns Netherall Conservation Area.

- Above left*
01. Entrance
02. Semi projecting balconies / bay window
03. Bin and bike store
04. Garden at +2.10m



6.2 Massing - Rear Garden view

The adjacent massing model describes the height and mass relative to the garden boundaries and plots to the east of plot. Balcony and loggias are indicated to indicate a level of articulation and the aspect offered in proximity to adjacent buildings.

Above left
01. Set in balconies
02. Communal garden +2.10m

6.1 Executive Summary

The content of this feasibility study is a record of the process through which Mary Duggan Architects has appraised and developed an option for a residential development located at 31 Daleham Gardens for client, London Borough of Camden and marks an extension to a report (Version 1) issued in March 2018 interrogating the same site, although with less detailed information as stated in the introduction.

The appraisal has been informed by internal high level advice from London Borough of Camden which has enabled greater clarity in settling out such matters as acceptable height and density as well as understanding the wider context and conservation matters particularly in relation to the trees.

The advice would need to be extended should this study lead to a further evaluation by Mary Duggan Architects or any other party, and is by no means conclusive.

Setting a reasonable building mass and footprint slightly longer than the existing building with a maximum height driven by the (estimated) existing building pitch line has enabled a plan form with a central core serving three units per floor plate. The distribution of units within that form allows for double (or corner) aspect in all cases. All units benefit from a good outlook with the east facing units looking out onto a wide front garden and the east the shared garden to the rear of the property. All units will have a balcony or loggia in accordance with the Housing (SPG) and access to a shared garden to the rear of the property.

The tenure mix will undoubtedly be a further development of this feasibility once the future ownership is in place and the precise details relating to forthcoming proposals and ownership play out. The units number sit within a range that may preclude certain tenure mixes being viable for practical

maintenance reasons which may lead to an alternative interpretation of the policy requirement. This proposal sets out a re-provision of units to accord with planning policy and to match the current social rented provision already on the site.

Whilst the study may be deemed to be cautious in development terms, the revision to this report has been informed significantly by all of the inputs from London Borough of Camden and is therefore deemed to be a reasonable assessment of a likely development on this site within this area.

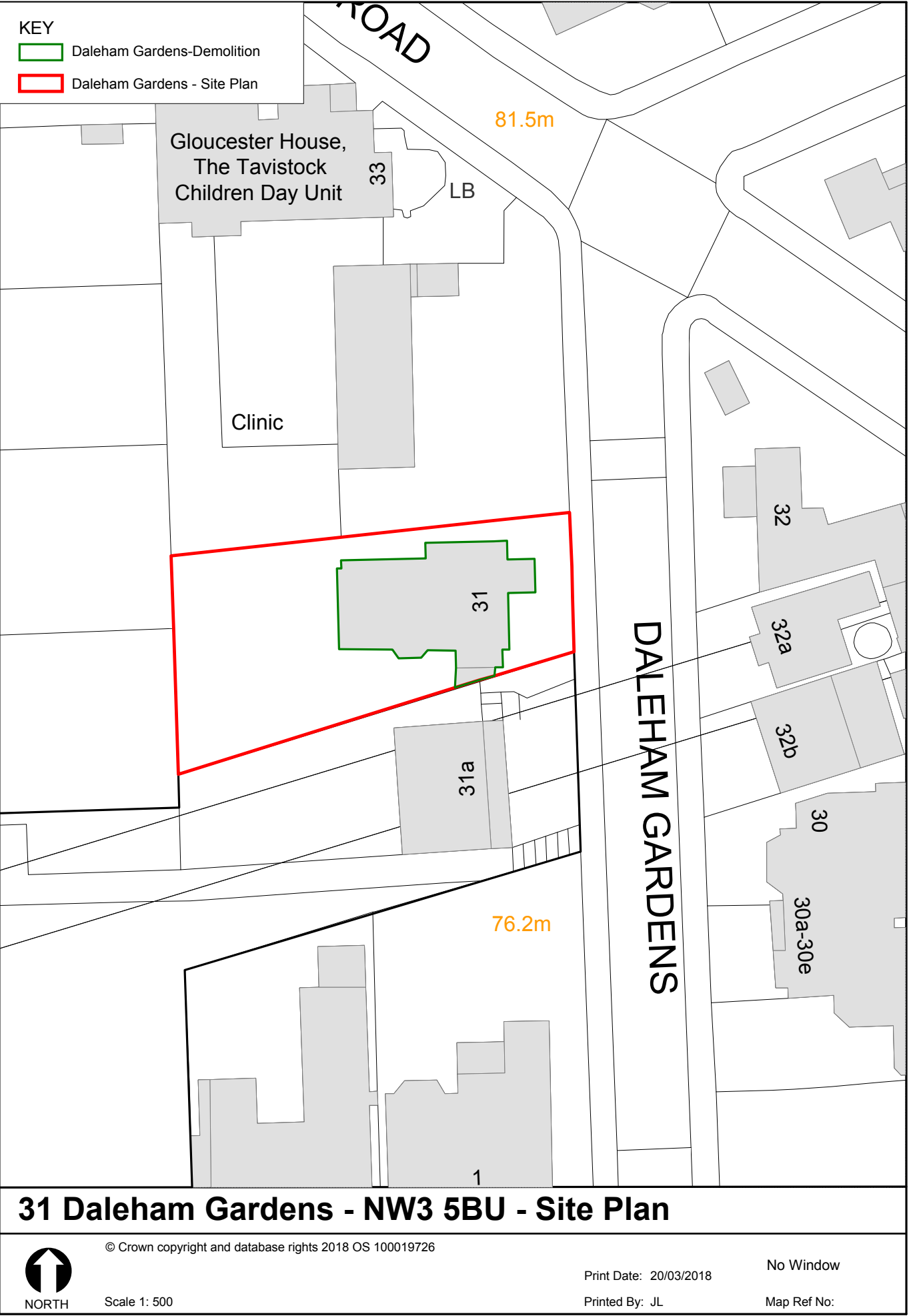
6.2 Moving forwards

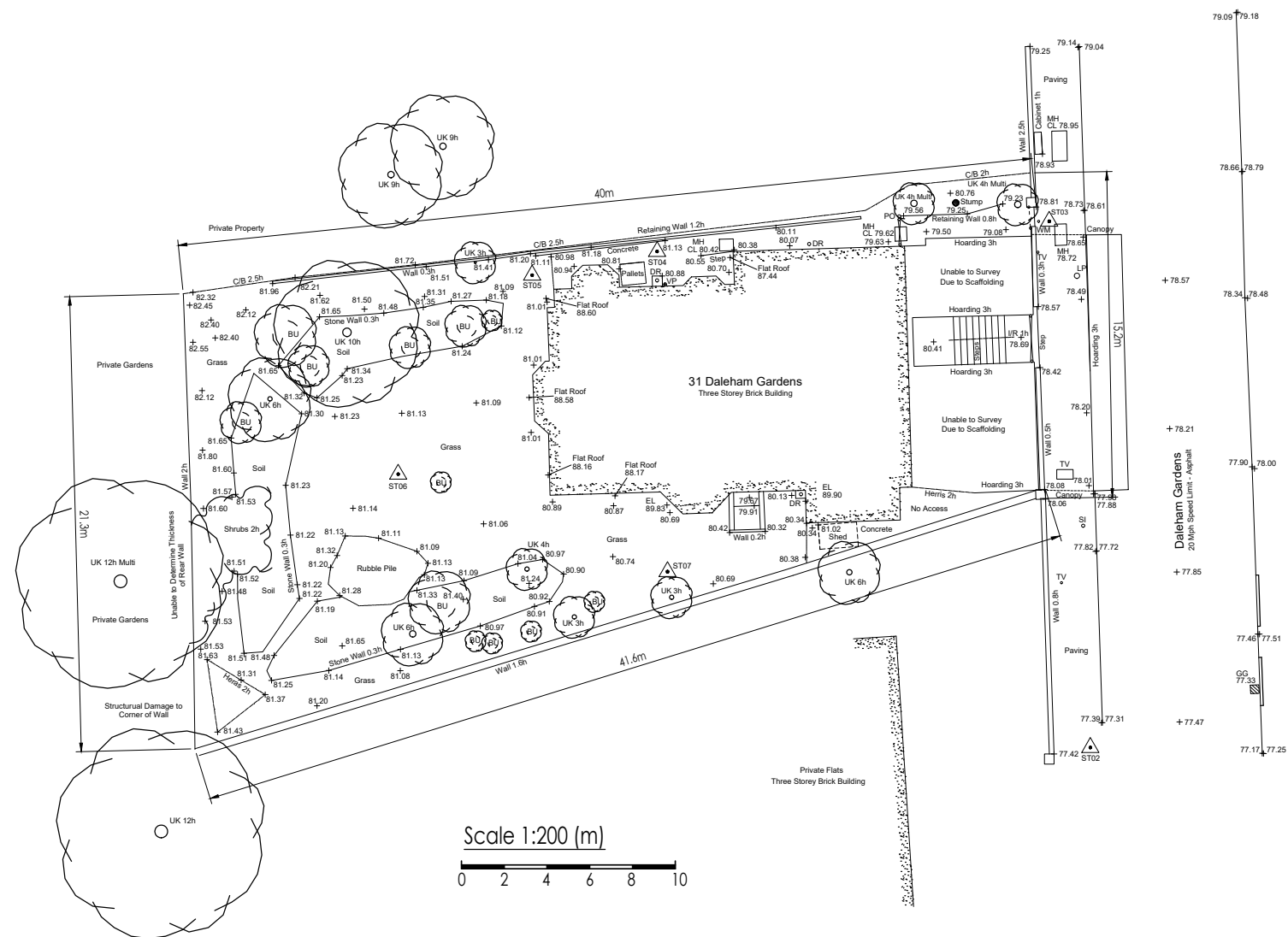
Moving forwards, further desktop studies would be required. Matters relating to utilities and drainage have not been studied, but it is assumed that the infrastructure exists based on the pre-existing use. A structural engineer will need to

assess ground conditions where excavations are proposed and where tree roots may be in closer proximity than known at the time of this study.

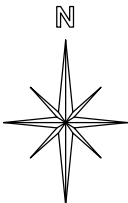
We would anticipate a scheme such as this would benefit from a pre-application process given the knowledge and exchanges that have already been accommodated.

—





SITE PLAN



TOPOGRAPHICAL & MEASURED BUILDING SURVEYS

ABBREVIATIONS & SYMBOLS

AH	Arch Head Height	FH	Fire Hydrant	RSJ	Rolled Steel Joist
AR	Assumed Route	FBD	Floor Board Direction	SI	Sign Post
AV	Air Valve	FH	Fire Hydrant	SP	Arch Spring Point Height
BB	Belisha Beacon	FL	Floor Level	SV	Stop Valve
BH	Bore Hole	FP	Flag Pole	SW	Surface Water
BL	Bed Level	FW	Foul Water	SY	Stay
BO	Bollard	GG	Gully Grate	Tac	Tactile Paving
BRP	Brace Post	GV	Gas Valve	TC	Telecom Cover
BS	Bus Stop	HH	Head Height	TH	Trial Pit
BU	Bush	IC	Inspection Cover	THL	Threshold Level
B/W	Barbed Wire Fence	IL	Invert Level	TL	Traffic Light
BX	Box (Utilities)	I/R	Iron Railings	ToW	Top of Wall
C/B	Close Board Fence	KO	Kerb Outlet	TP	Telegraph Pole
CH	Cill Height	LP	Lamp Post	TV	Cable TV Cover
CL	Cover Level	MH	Manhole	UB	Universal Beam
CL	Chain Link Fence	MP	Marker Post	UC	Unknown Cover
C-Lev	Ceiling Level	NB	Name Board	UK	Unknown Tree
Col	Column	OHL	Overhead Line (approx)	USB	Under Side Beam
C/P	Chestnut Paling Fence	Pan	Panel Fence	UTL	Unable To Lift
CR	Cable Riser	PB	Post Box	VP	Vent Pipe
DC	Drainage Channel	PM	Parking Meter	WB	Waste Bin
DH	Door Head Height	PO	Post	WH	Weep Hole
DP	Down Pipe	P/R	Post & Rail Fence	WL	Water Level
DR	Drain	P/W	Post & Wire Fence	WM	Water Meter
EL	Eaves Level	P/Wall	Partition Wall	W/O	Wash Out
EP	Electric Pole	RE	Rodding Eye	W/C	Wash Out
ER	Earth Rod	RL	Ridge Level	W/C	Wash Out
ET	EP+Transformer	RP	Reflector Post	W/C	Wash Out
FB	Flower Bed	RS	Road Sign	W/C	Wash Out
FBD	Floor Board Direction	RSD	Roller Shutter Door	W/C	Wash Out
				W/C	Wash Out

DRAWING NOTE

Topographical Surveys

Trees are drawn to scale showing the average canopy spread. Descriptions and heights should be used as a guide only.

All building names, descriptions, number of storeys, construction type including roof line details are indicative only and taken externally from ground level.

All below ground details including drainage, voids and services have been identified from above ground and therefore all details relating to these features including; sizes, depth, description etc will be approximate only. All critical dimensions and connections should be checked and verified prior to starting work.

Detail, services and features may not have been surveyed if obstructed or not reasonably visible at the time of the survey.

Measured Building Surveys

Measurements to internal walls are taken to the wall finishes at approx 1m above the floor level and the wall assumed to be vertical.

Cill heights are measured as floor to the cill and head heights are measured from cill to the top of window.

General

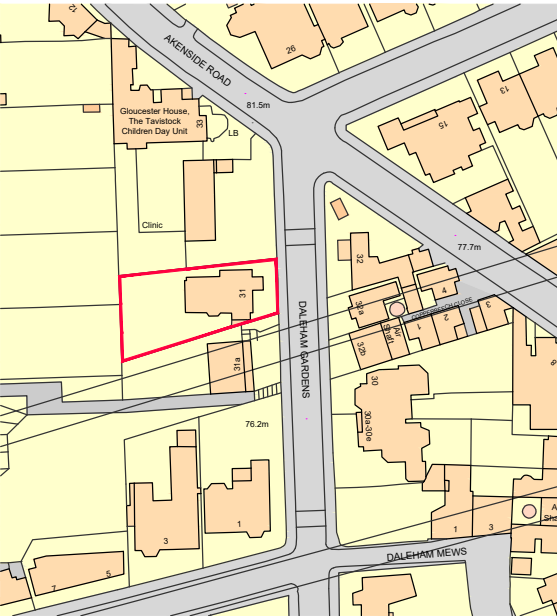
The contractor must check and verify all site and building dimensions, levels, utilities and drainage details and connections prior to commencing work. Any errors or discrepancies must be notified to Survey Solutions immediately.

The accuracy of the digital data is the same as the plotting scale implies. All dimensions are in metres unless otherwise stated.

The survey control listed is only to be used for topographical surveys at the stated scale. All control must be checked and verified prior to use.

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Scale 1:1250 (m)
0 10 20 30 40 50

LOCATION PLAN



Whymark & Moulton

Chartered Surveyors & Building Engineers

14 Cornard Road, Sudbury, Suffolk. CO10 2XA

Tele: 01787 371371



Project
31 Daleham Gardens
London
NW3 5BU

SITE SURVEY

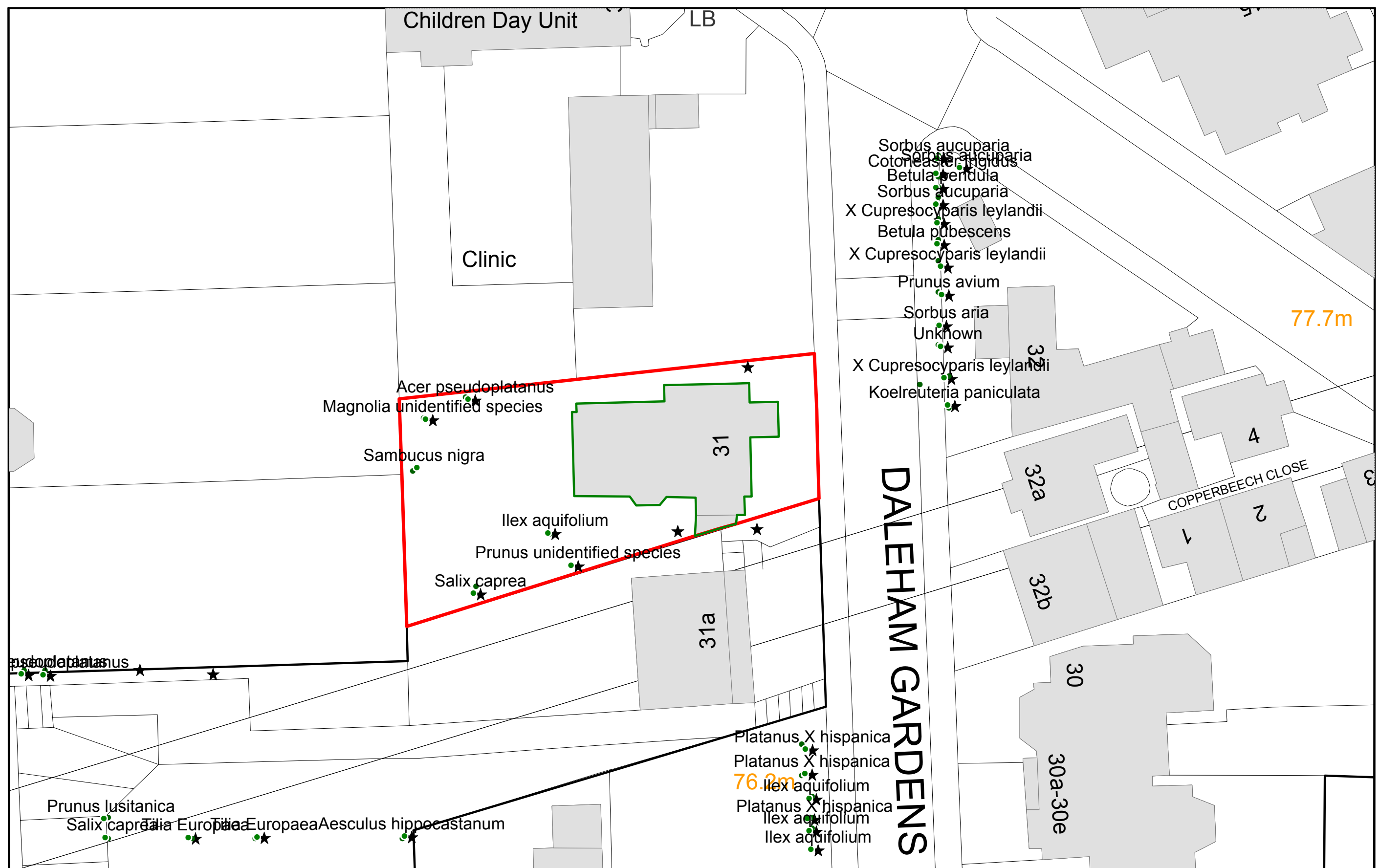
Scale
1:200, 1:1250

Date
Feb 2020

Drawing No
17/253-08

Amendments





Daleham Gardens - Trees

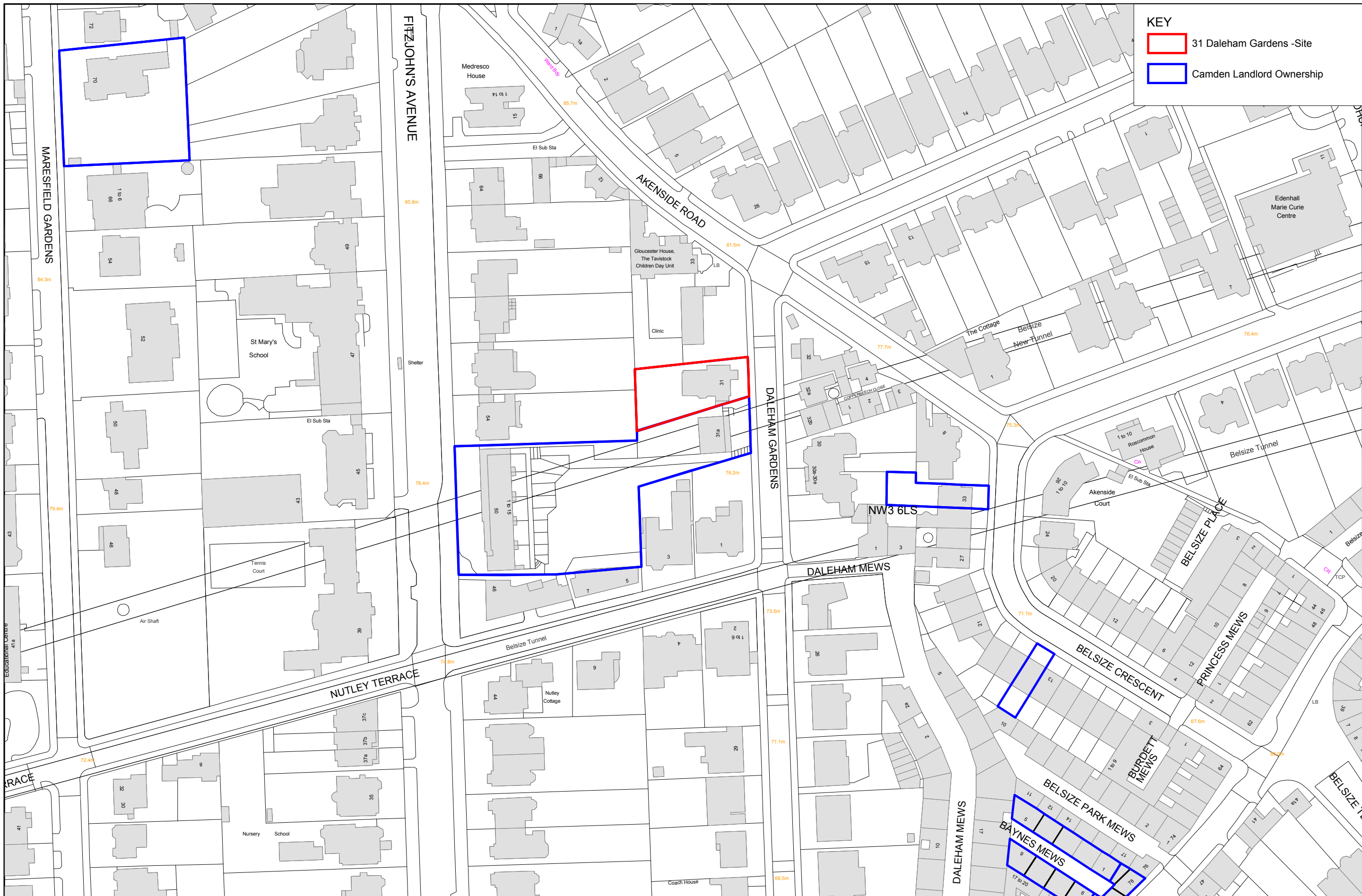
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Scale 1: 500

Print Date: 19/05/2020

Printed By: m dickson Map Ref No: 20200519





31 Daleham Gardens - NW3 5BU Location Plan



Scale 1:1250

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Print Date: 21/03/2018

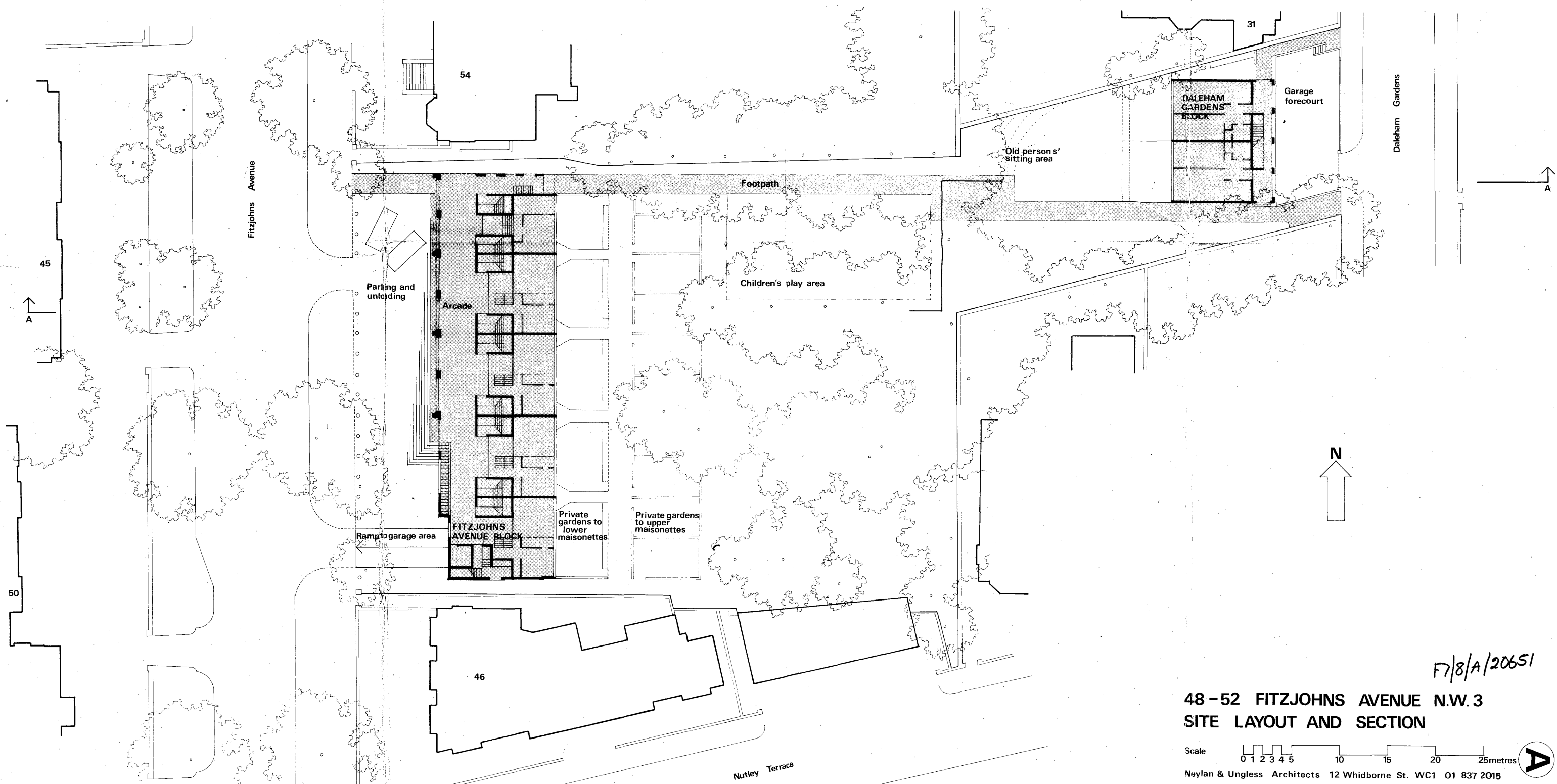
Printed By: m dickson



Map Ref No:

A

SECTION A-A THROUGH SITE FROM WEST TO EAST



48-52 FITZJOHNS AVENUE N.W. 3
SITE LAYOUT AND SECTION

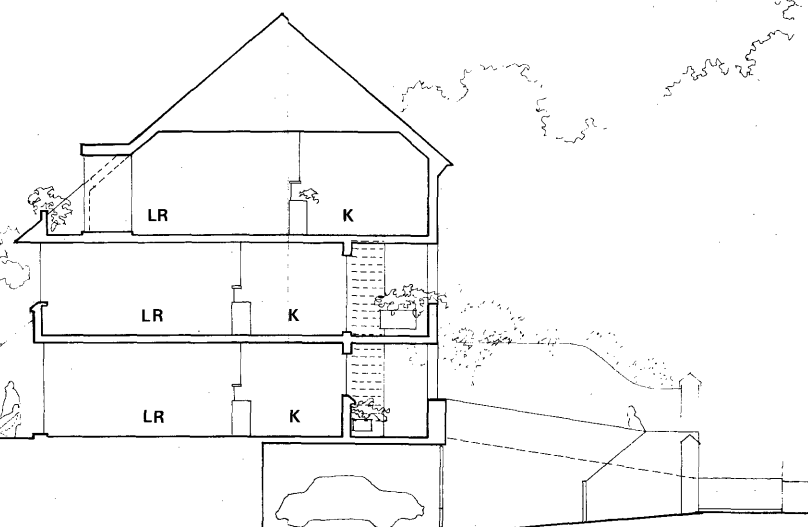
Scale 0 1 2 3 4 5 10 15 20 25metres

Neylan & Ungless Architects 12 Whidborne St. WC1 01 837 2015

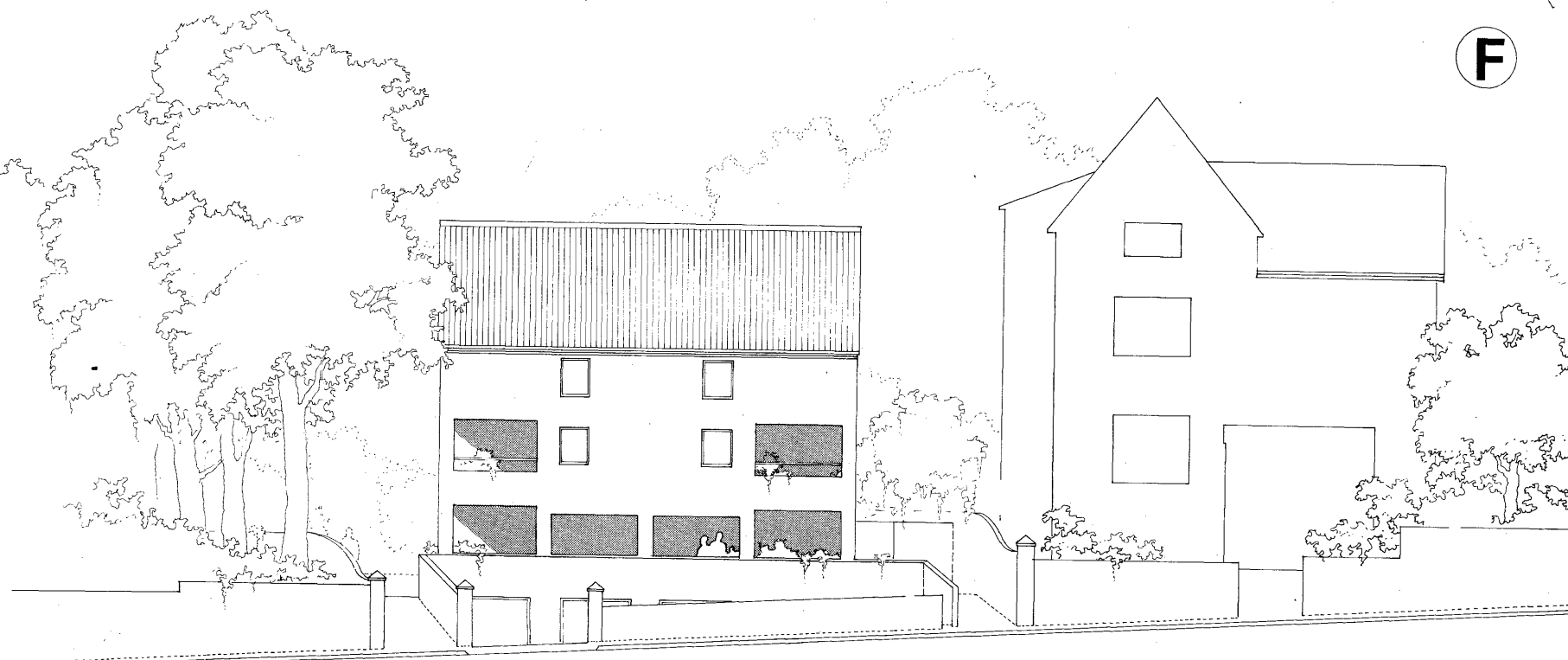
REVISED. MARCH 27, 1975

F7/8/A/20651

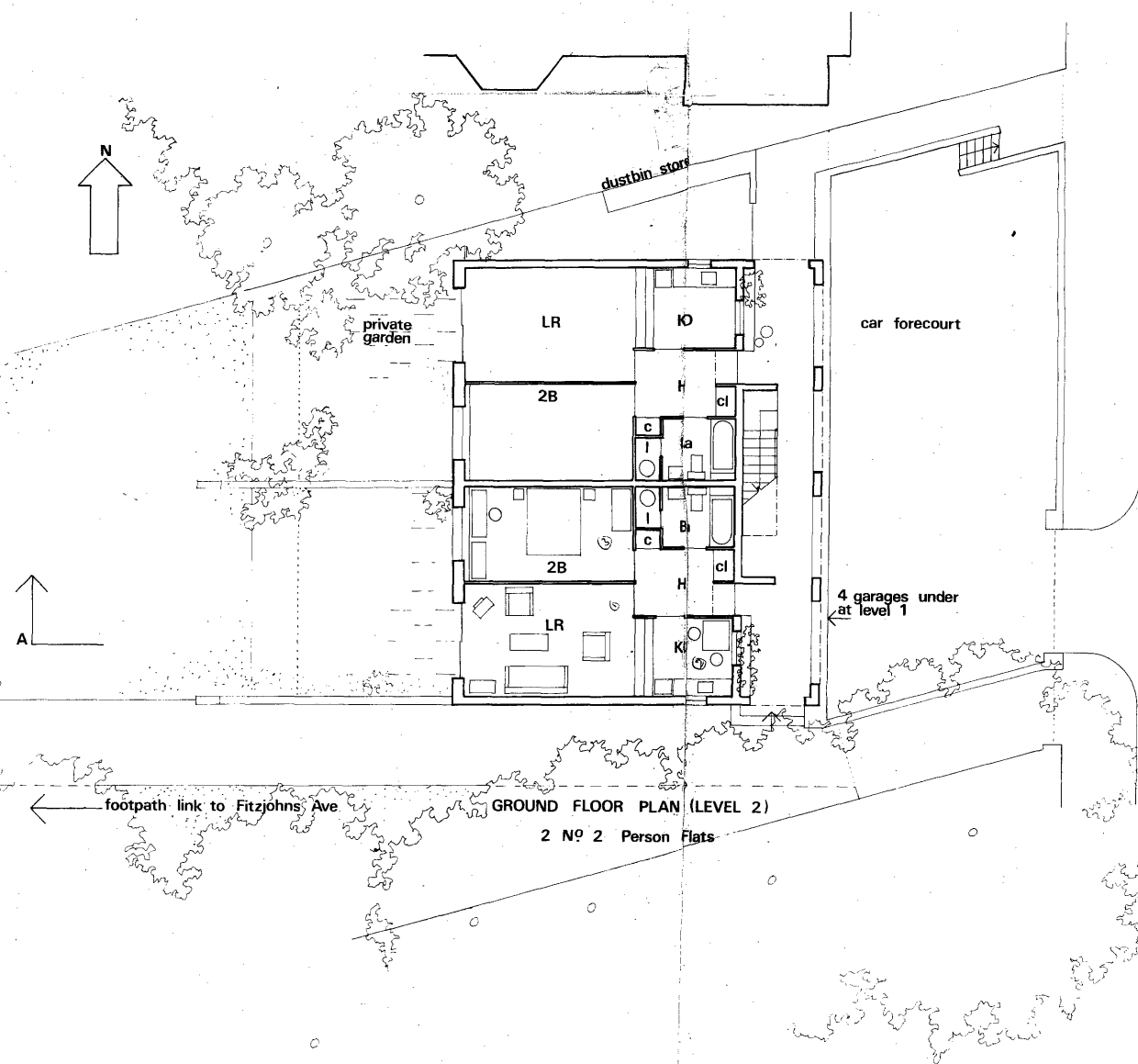
A



CROSS SECTION AT A-A



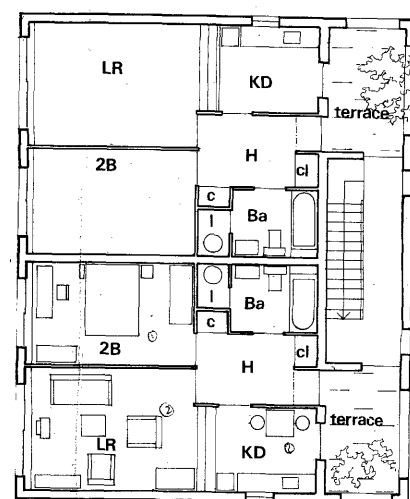
EAST ELEVATION FROM DALEHAM GARDENS



GROUND FLOOR PLAN (LEVEL 2)

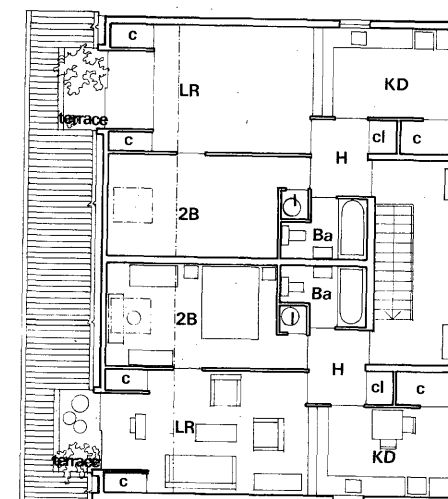
2 No 2 Person Flats

Daleham Gdns.



FIRST FLOOR PLAN (LEVEL 3)

2 No 2 Person Flats



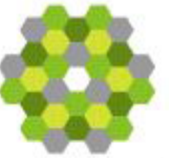
SECOND FLOOR PLAN (LEVEL 4)

2 No 2 Person Flats

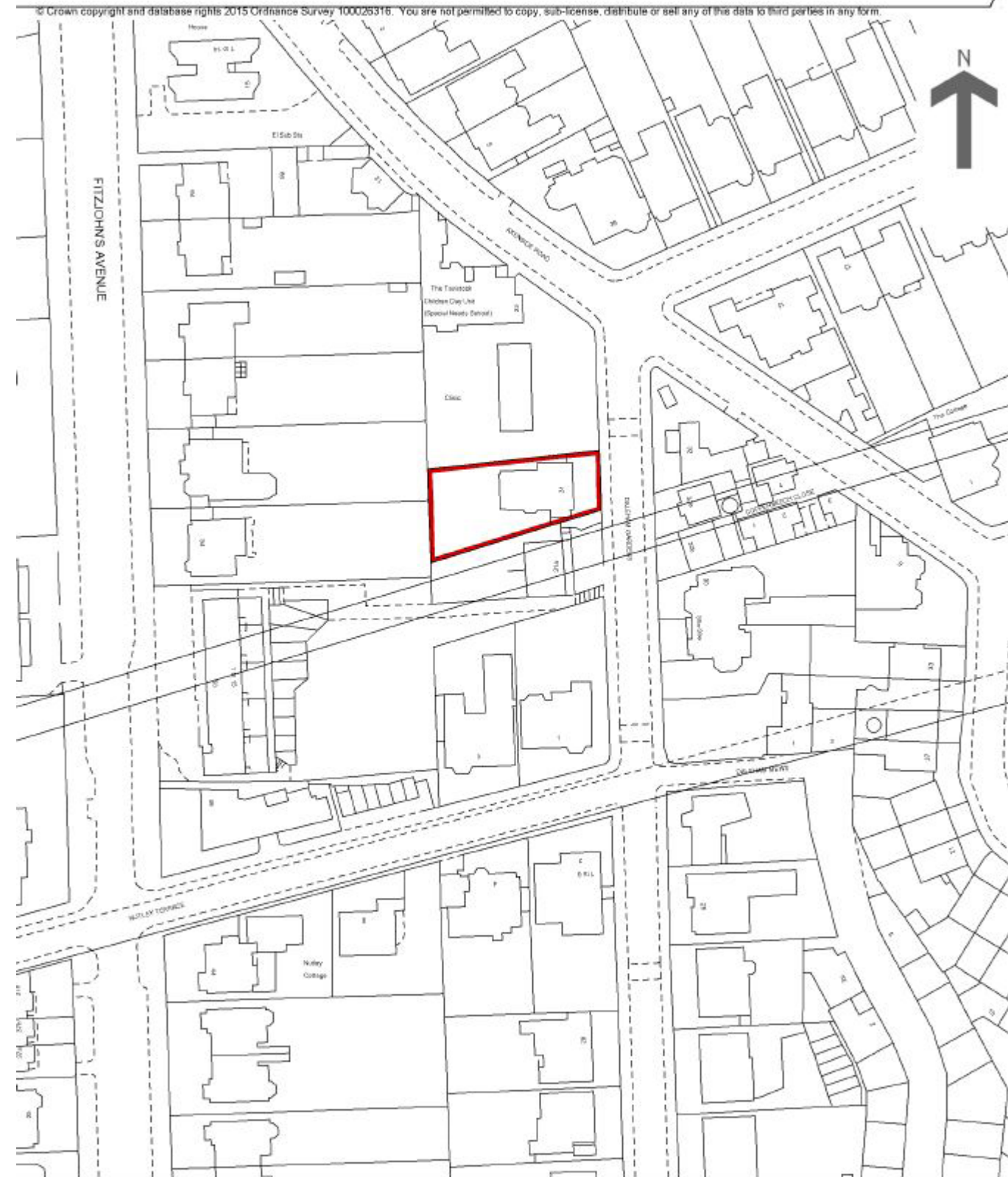
DALEHAM GARDENS BLOCK

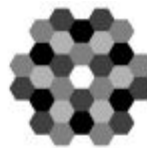
Scale 0 1 2 3 4 5 10metres

F7/8/A/20651



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Official copy of register of title

Title number LN75902

Edition date 11.03.2015

This official copy shows the entries on the register of title on 03 APR 2019 at 17:09:12.

This date must be quoted as the "search from date" in any official search application based on this copy.

The date at the beginning of an entry is the date on which the entry was made in the register.

Issued on 03 Apr 2019.

Under s.67 of the Land Registration Act 2002, this copy is admissible in evidence to the same extent as the original.

This title is dealt with by HM Land Registry, Croydon Office.

A: Property Register

This register describes the land and estate comprised in the title.

CAMDEN

- 1 (28.11.1949) The Freehold land shown edged with red on the plan of the above Title filed at the Registry and being 31 Daleham Gardens, London (NW3 5BU).

B: Proprietorship Register

This register specifies the class of title and identifies the owner. It contains any entries that affect the right of disposal.

Title absolute

- 1 (17.03.1976) PROPRIETOR: THE MAYOR AND BURGESSES OF THE LONDON BOROUGH OF CAMDEN of Town Hall, Euston Road, London, NW1 2RU.

C: Charges Register

This register contains any charges and other matters that affect the land.

- 1 A Conveyance dated 21 October 1949 made between (1) Sir George Percy Maryon Maryon-Wilson (2) Dudley Perceval and others (3) Dorothy Eleanor Hickson and (4) Arthur Edward Keevil and Valentine Sybil Mary Bohun Chambers contains covenants details of which are set out in the schedule of restrictive covenants hereto.
- 2 The parts of the land affected thereby are subject to the leases set out in the schedule of leases hereto.
The leases grant and reserve easements as therein mentioned.
- 3 The Leases specified in the Schedule of Leases hereto which were made pursuant to Part V of the Housing Act 1985 took effect with the benefit of and subject to the easements and other rights prescribed in Paragraph 2 of Schedule 6 of that Act.

Schedule of restrictive covenants

Title number LN75902

- 1 The following are details of the covenants contained in the Conveyance dated 21 October 1949 referred to in the Charges Register:-

THE Purchasers with intent and so as to bind (so far as practicable) the said property into whosoever hands the same may come and to benefit and protect all land now or formerly belonging to the Vendor between Frognaal and Netherhall Gardens Hampstead in the County of Middlesex but not so as to render the Purchasers or either of them personally liable for any breach of covenant committed after they shall have parted with all interest in the said property in respect of which such breach shall occur hereby jointly and severally covenant with the Vendor that they the Purchasers and their successors in title will at all times hereafter observe and perform the stipulations and conditions in relation to the said property which are set out in the Second Schedule hereto.

THE SECOND SCHEDULE above referred to:-

1. NO building other than a private dwellinghouse or offices or outbuildings in connection with such private residence shall without the consent in writing of the Lord of the Manor having been first obtained at any time be erected on the premises and no building erected or to be erected on the premises shall without such written consent as aforesaid be converted into used or occupied for any school hospital or sanatorium or be used for the reception of lunatics or persons of unsound mind or for residential flats maisonettes model or other lodgings houses nursing homes artizans dwellings or workmens cottages or for any shop warehouse or other place for carrying on (except to the extent hereinafter mentioned) any art trade business or manufacture nor shall fowls pigeons or poultry be kept upon any part of the said premises nor any clothes or linen to be hung out or exposed in the front or back garden or on any part of the premises PROVIDED ALWAYS that the said premises may be used as the professional residence of a Solicitor Architect or an Artist (painting pictures in oil or water colours for exhibition or sale) but no open show of any art or profession shall without such consent as aforesaid be made except a name plate not exceeding twelve inches by eight inches to be affixed only to the front door of any house or building erected on the said land No bills placards writings signs devices inscriptions advertisements or announcements of any kind shall without such consent as aforesaid be made or affixed upon or fastened to any part of the premises except as above mentioned and except the usual Notice Board announcing that the premises are to be let or sold.

2. THE Purchaser shall maintain in good repair the existing fences on the land hereby conveyed and shall to the satisfaction as regards material elevation and workmanship of the Lord of the Manor for ever after maintain a frontage fence or posts and chains of a reasonable height between the said piece of land and the adjacent footway of Daleham Gardens and so that such fence or posts and chains shall throughout its or their whole length (except as to entrances) abut on such footway.

3. NO building of any kind other than boundary walls or frontage fences or gateways porticoes or bay windows shall without such consent as aforesaid at any time be erected or placed nearer the footway of Daleham Gardens than the building line of the private dwellinghouse now standing thereon.

4. NO building or erection shall without such consent as aforesaid be erected on the said piece of land so as to stop or obstruct any light belonging to any building on the land adjoining or contiguous thereto.

5. NOTHING shall without such consent as aforesaid be done or suffered to be done upon the said piece of land which may be or become a nuisance annoyance or damage to the Lord of the Manor or any of his lessees or tenants or to the owners tenants or occupiers of any property in the neighbourhood.

6. NO building or addition thereto shall be commenced on the said piece of land until plans shewing the elevation and ground plan thereof and especially the position of the same shall have been submitted to and approved of in writing by the Surveyor or Agent for the time being of the Lord of the Manor The Purchasers shall pay the fees of the Lord of the Manor's Surveyor or Agent not exceeding Five pounds five shillings

Schedule of restrictive covenants continued

for perusal and approval of the plans of such building or addition thereto.

7. NOT more than one dwellinghouse with the usual out offices shall without such consent as aforesaid at any time be erected on the said piece of land hereby conveyed and the labour and materials used in the construction of any such dwellinghouse so erected shall be such that the value may not be less than that of the dwellinghouse now standing thereon exclusive of the value of the land and such dwellinghouse shall be built with brick or stone facings and no stucco shall be employed externally except with the written consent as aforesaid Any dwellinghouse which may be erected on the said piece of land shall front Daleham Gardens.

8. NO new road shall without such consent as aforesaid be made or constructed on any part of the said piece of land.

9. NO bricks tiles pottery work or ballast shall be burned or made on the said piece of land.

10. THE Purchasers shall and will neatly lay out and always thereafter maintain in a neat and orderly state as a garden or ornamental ground all such portions of the said piece of land as are not for the time being built upon in accordance with the provisions hereinbefore contained.

11. THE expression "the Lord of the Manor wherever used in this Schedule shall where the context allows include the said The Reverend Sir George Percy Maryon Maryon-Wilson Baronet M.A. his sequels in estate and assigns Lord or Lords for the time being of the said Manor of Hampstead and the expression "the Purchasers" shall where the context allows includes the said Arthur Edward Keevil and Valentine Sybil Mary Bohun Chambers their Executors Administrators and Assigns.

Schedule of notices of leases

1	22.06.1990	Flat 4, 31 Daleham Gardens (Ground Floor Flat)	28.05.1990 125 years from 12 February 1990	NGL666348
2	12.11.1990	Ground Floor Flat 7	12.02.1990 125 years from 3 December 1988	NGL674172
3	21.04.1994	Ground Floor Flat 8	29.11.1993 125 years from 12 February 1990	NGL717056
4	20.07.1994	Flat 5, 31 Daleham Gardens (Ground Floor Flat)	04.07.1994 125 years from 12.2.1990	NGL719527
5	21.07.1997	Ground Floor Flat 6	09.06.1997 125 years from 12.2.1990	NGL751910
6	13.11.2001	Second Floor Flat 14	03.09.2001 125 years from 3.9.2001	NGL804062
7	18.12.2013	First Floor Flat 9, 31 Daleham Gardens	02.12.2013 125 years from 2.12.2013	NGL939320
8	11.03.2015	Second Floor Flat 13	16.02.2015 125 years from and including 16.2.2015	NGL949708