



ALL DIMENSIONS MUST BE CHECKED ON SITE. INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. INTERNAL LAYOUTS INDICATIVE.

KEY PLAN

NOTES

1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE.

2. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.

3. EXISTING TREES SHOWN INDICATIVELY.

4. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY.

5. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

SCALE BAR

0 01 02 03 04 05

P02 30.10.20 PLANNING ISSUE JL PH

P01 06.08.20 DRAFT ISSUE JL PH

REV DATE DESCRIPTION DRN CHK

**PETER BARBER ARCHITECTS**

100 Kings Cross Road LONDON WC1X 6EZ  
t: 020 3835 4400  
e: info@peterbarberarchitects.com

CLIENT  
HAMPSTEAD PROPERTIES LTD

PROJECT  
551-557 FINCHLEY ROAD  
LONDON

DRAWING TITLE  
PROPOSED SITE PLAN

SCALE 1:250 @ A3 SHEET

STATUS  
PLANNING

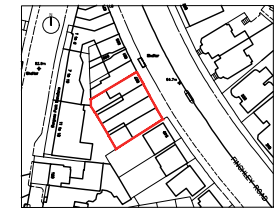
DRAWING NO  
FIN\_P\_70

REV  
P02

© 2020 Peter Barber Architects. all rights reserved

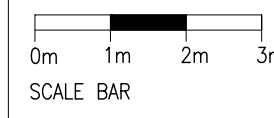


ALL DIMENSIONS MUST BE CHECKED ON SITE. INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.  
INTERNAL LAYOUTS INDICATIVE.  
KEY PLAN



NOTES

1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE.
2. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
3. EXISTING TREES SHOWN INDICATIVELY.
4. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY.
5. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



|     |          |                  |     |     |
|-----|----------|------------------|-----|-----|
| P03 | 30.10.20 | PLANNING ISSUE   | JL  | PH  |
| P02 | 05.10.20 | MINOR AMENDMENTS | JL  | PH  |
| P01 | 06.08.20 | DRAFT ISSUE      | JL  | PH  |
| REV | DATE     | DESCRIPTION      | DRN | CHK |

**PETER BARBER ARCHITECTS**  
129 Kings Cross Road, LONDON, N1C 4JG  
t: 020 3009 4400  
e: info@peterbarberarchitects.com

CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

DRAWING TITLE  
PROPOSED LOWER GROUND FLOOR PLAN

SCALE: 1:100 @ A3 SHEET

STATUS  
PLANNING

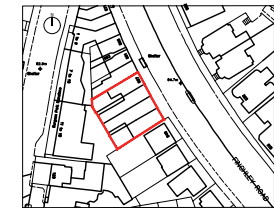
DRAWING NO  
FIN\_P\_90

REV  
P03

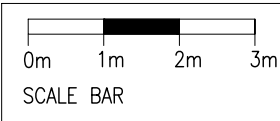
© 2020 Peter Barber Architects. all rights reserved



ALL DIMENSIONS MUST BE CHECKED ON SITE. INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION  
INTERNAL LAYOUTS INDICATIVE  
KEY PLAN



- NOTES
1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE.
  2. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
  3. EXISTING TREES SHOWN INDICATIVELY.
  4. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY.
  5. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



|     |          |                  |     |     |
|-----|----------|------------------|-----|-----|
| P03 | 30.10.20 | PLANNING ISSUE   | JL  | PH  |
| P02 | 05.10.20 | MINOR AMENDMENTS | JL  | PH  |
| P01 | 06.08.20 | DRAFT ISSUE      | JL  | PH  |
| REV | DATE     | DESCRIPTION      | DRN | CHK |

**PETER BARBER ARCHITECTS**  
120 Kings Cross Road LONDON WC1X 9EE  
t: 020 3885 4488  
e: info@peterbarberarchitects.com

CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

DRAWING TITLE  
PROPOSED GROUND FLOOR PLAN

SCALE 1:100 @ A3 SHEET

STATUS  
PLANNING

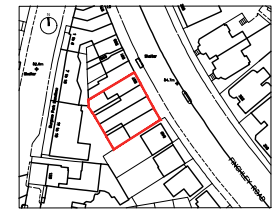
DRAWING NO  
FIN\_P\_100

REV  
P03

© 2020 Peter Barber Architects. all rights reserved

ALL DIMENSIONS MUST BE CHECKED ON SITE. INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION  
INTERNAL LAYOUTS INDICATIVE

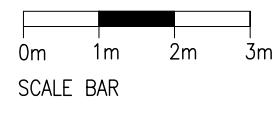
KEY PLAN



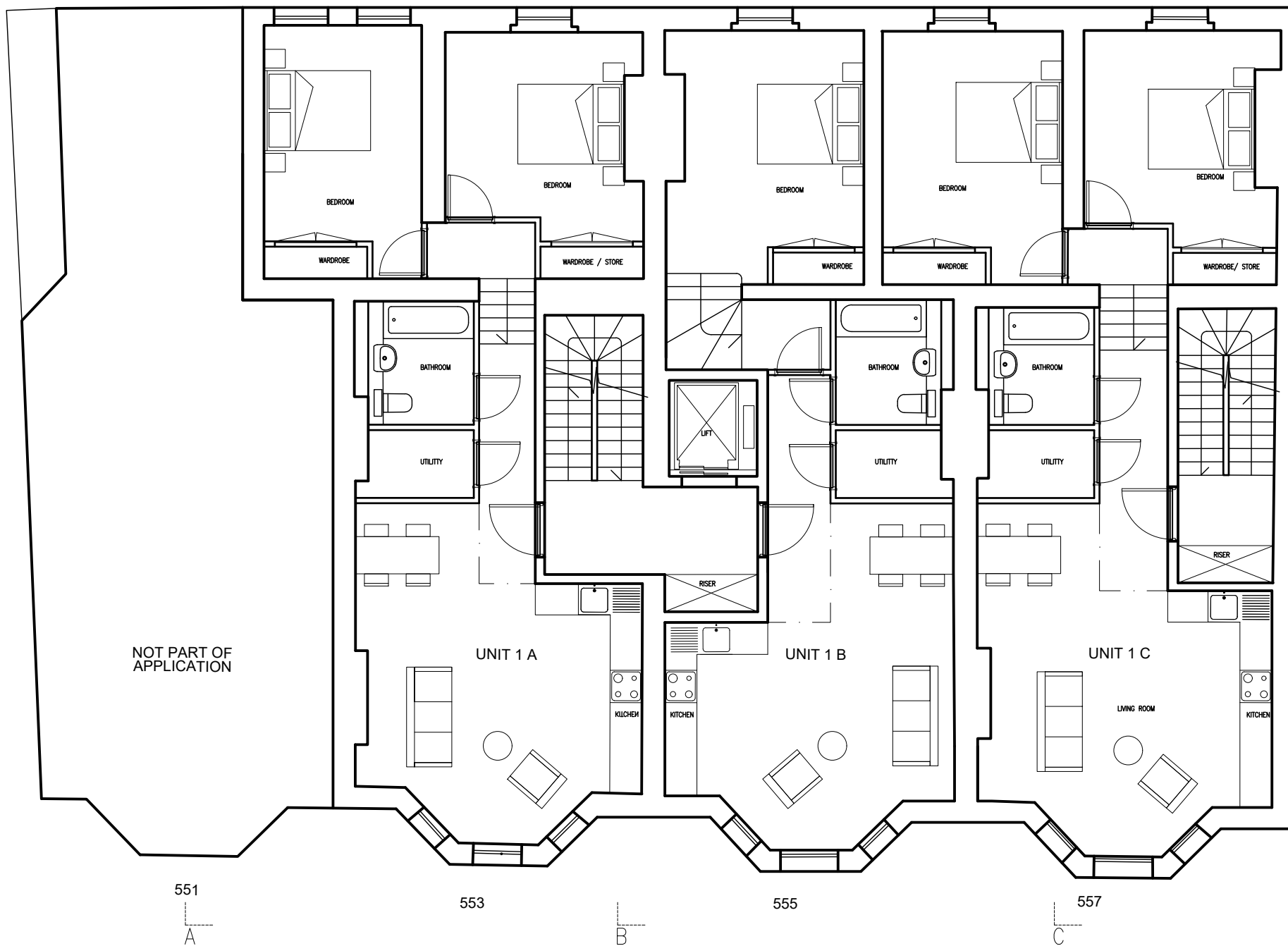
NOTES



1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE
2. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
3. EXISTING TREES SHOWN INDICATIVELY.
4. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY
5. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION



SCALE BAR



|     |          |                  |     |     |
|-----|----------|------------------|-----|-----|
| P03 | 30.10.20 | PLANNING ISSUE   | JL  | PH  |
| P02 | 05.10.20 | MINOR AMENDMENTS | JL  | PH  |
| P01 | 06.08.20 | DRAFT ISSUE      | JL  | PH  |
| REV | DATE     | DESCRIPTION      | DRN | CHK |

**PETER BARBER ARCHITECTS**  
120 Kings Cross Road LONDON WC2X 6BX  
e: info@peterbarberarchitects.com  
t: 020 7323 4433

CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

DRAWING TITLE  
PROPOSED FIRST FLOOR PLAN

SCALE 1:100 @ A3 SHEET

STATUS

PLANNING

DRAWING NO

FIN\_P\_110

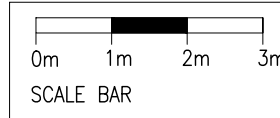
REV

P03

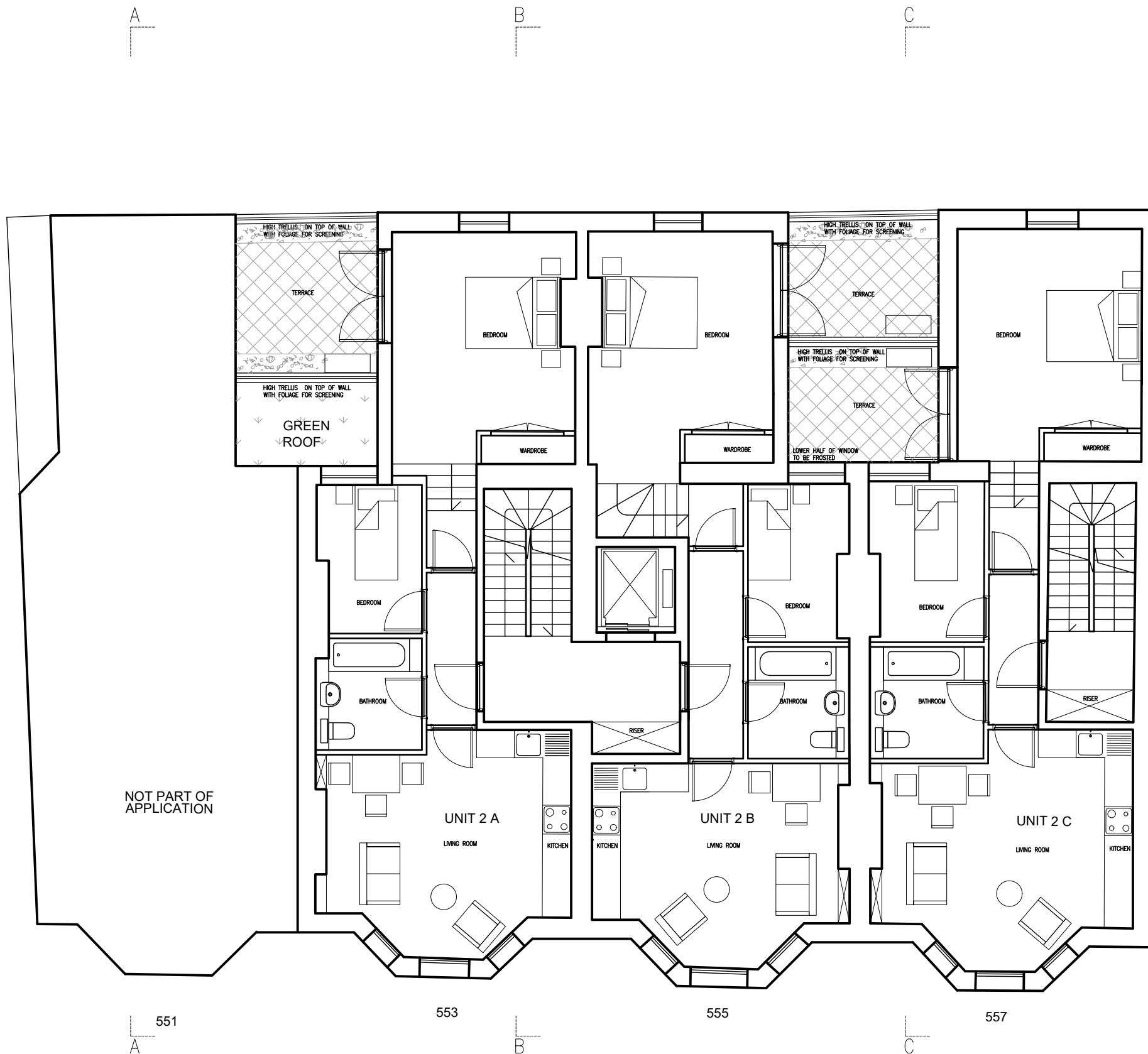
© 2020 Peter Barber Architects. all rights reserved



1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE.
2. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
3. EXISTING TREES SHOWN INDICATIVELY.
4. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY.
5. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



SCALE BAR



|     |          |                  |     |     |
|-----|----------|------------------|-----|-----|
| P03 | 30.10.20 | PLANNING ISSUE   | JL  | PH  |
| P02 | 05.10.20 | MINOR AMENDMENTS | JL  | PH  |
| P01 | 06.08.20 | DRAFT ISSUE      | JL  | PH  |
| REV | DATE     | DESCRIPTION      | DRN | CHK |

**PETER BARBER ARCHITECTS**  
120 Kings Cross Road LONDON WC1X 6EZ  
info@peterbarberarchitects.com  
t: 020 7325 4425

CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

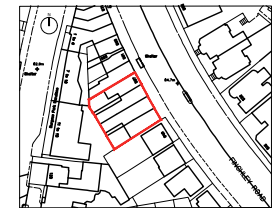
DRAWING TITLE  
PROPOSED SECOND FLOOR PLAN

SCALE 1:100 @ A3 SHEET

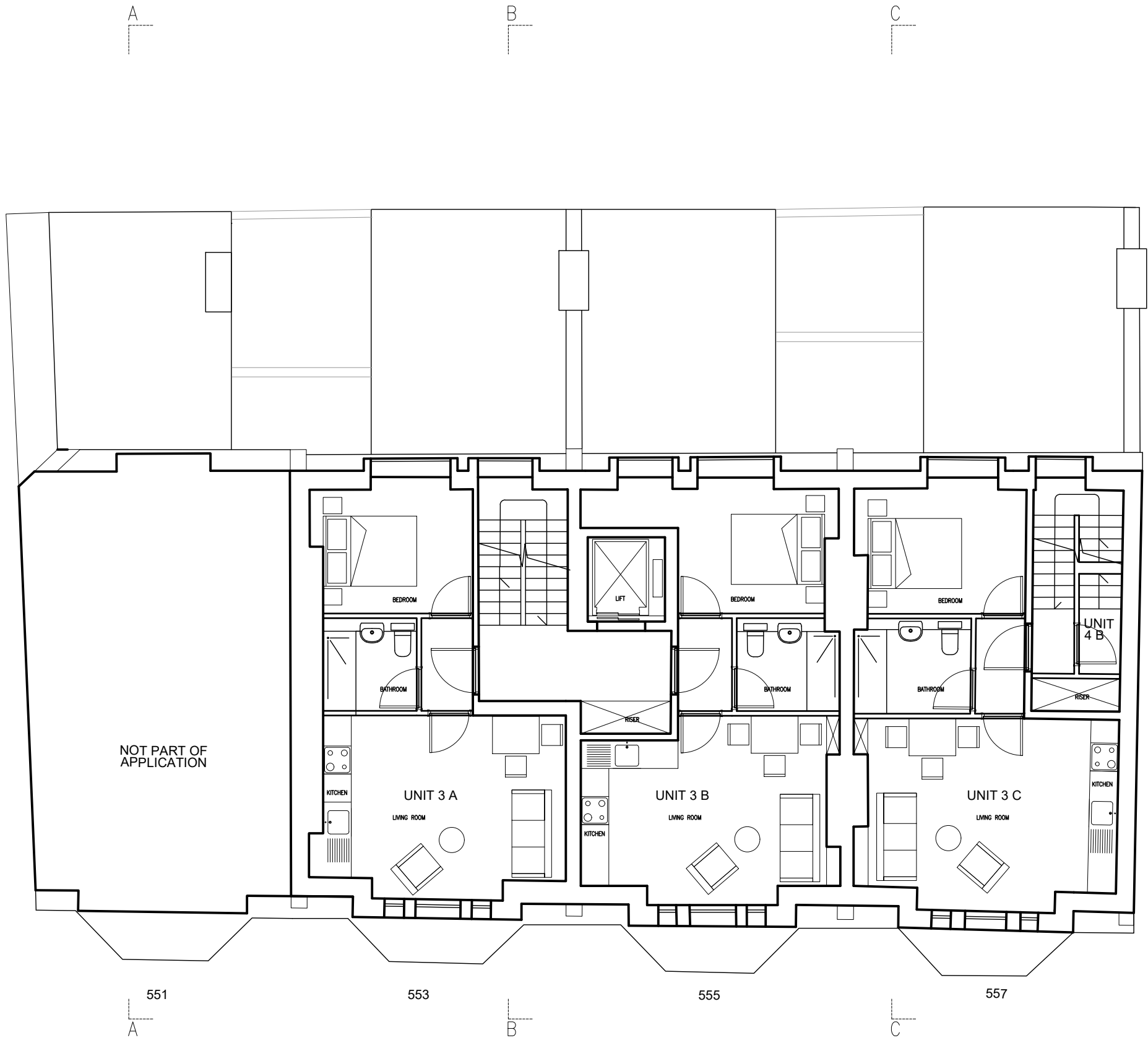
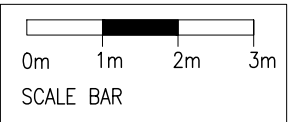
STATUS  
PLANNING

DRAWING NO  
FIN\_P\_120

REV  
P03



1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE.
2. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
3. EXISTING TREES SHOWN INDICATIVELY.
4. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY.
5. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



|     |          |                  |     |     |
|-----|----------|------------------|-----|-----|
| P03 | 30.10.20 | PLANNING ISSUE   | JL  | PH  |
| P02 | 05.10.20 | MINOR AMENDMENTS | JL  | PH  |
| P01 | 06.08.20 | DRAFT ISSUE      | JL  | PH  |
| REV | DATE     | DESCRIPTION      | DRN | CHK |

**PETER BARBER ARCHITECTS**  
180 Kings Cross Road LONDON WC1X 0EE  
t: 020 2555 4488  
e: info@peterbarberarchitects.com

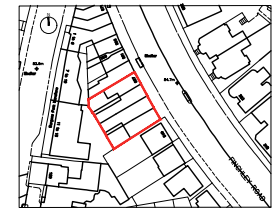
CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

DRAWING TITLE  
PROPOSED THIRD FLOOR PLAN

SCALE 1:100 @ A3 SHEET

STATUS  
PLANNING

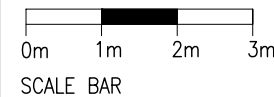
DRAWING NO  
FIN\_P\_130



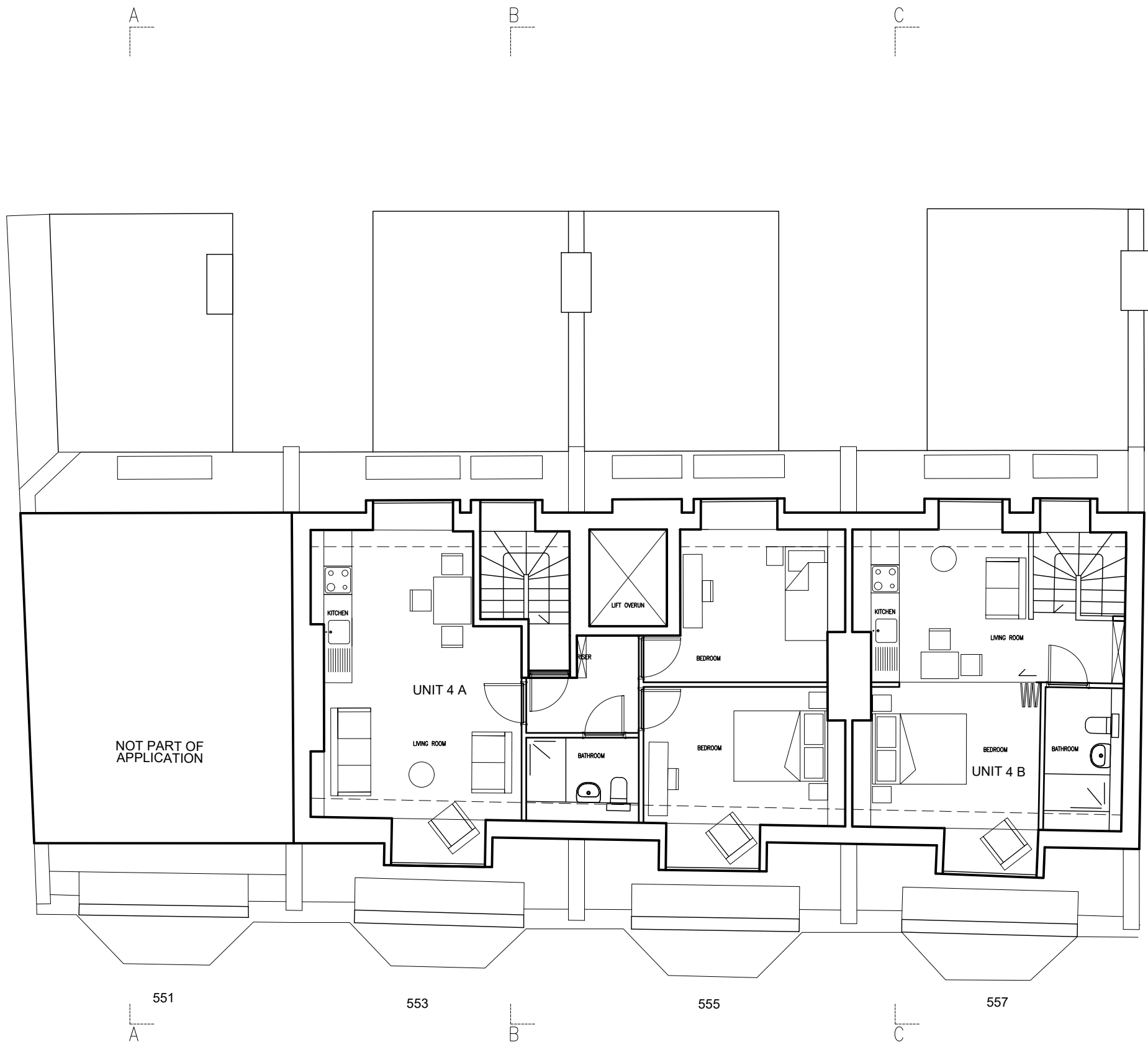
NOTES



1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
2. EXISTING TREES SHOWN INDICATIVELY.
3. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY.
4. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



SCALE BAR



|     |          |                  |     |     |
|-----|----------|------------------|-----|-----|
| P03 | 30.10.20 | PLANNING ISSUE   | JL  | PH  |
| P02 | 05.10.20 | MINOR AMENDMENTS | JL  | PH  |
| P01 | 06.08.20 | DRAFT ISSUE      | JL  | PH  |
| REV | DATE     | DESCRIPTION      | DRN | CHK |

**PETER BARBER ARCHITECTS**  
125 Kings Cross Road LONDON WC1X 9EE  
t: 020 7353 4455  
e: info@peterbarberarchitects.com

CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

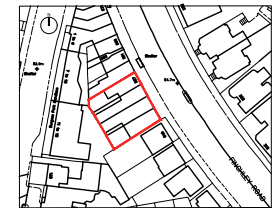
DRAWING TITLE  
PROPOSED FOURTH FLOOR PLAN

SCALE 1:100 @ A3 SHEET

STATUS  
PLANNING

DRAWING NO  
FIN\_P\_140

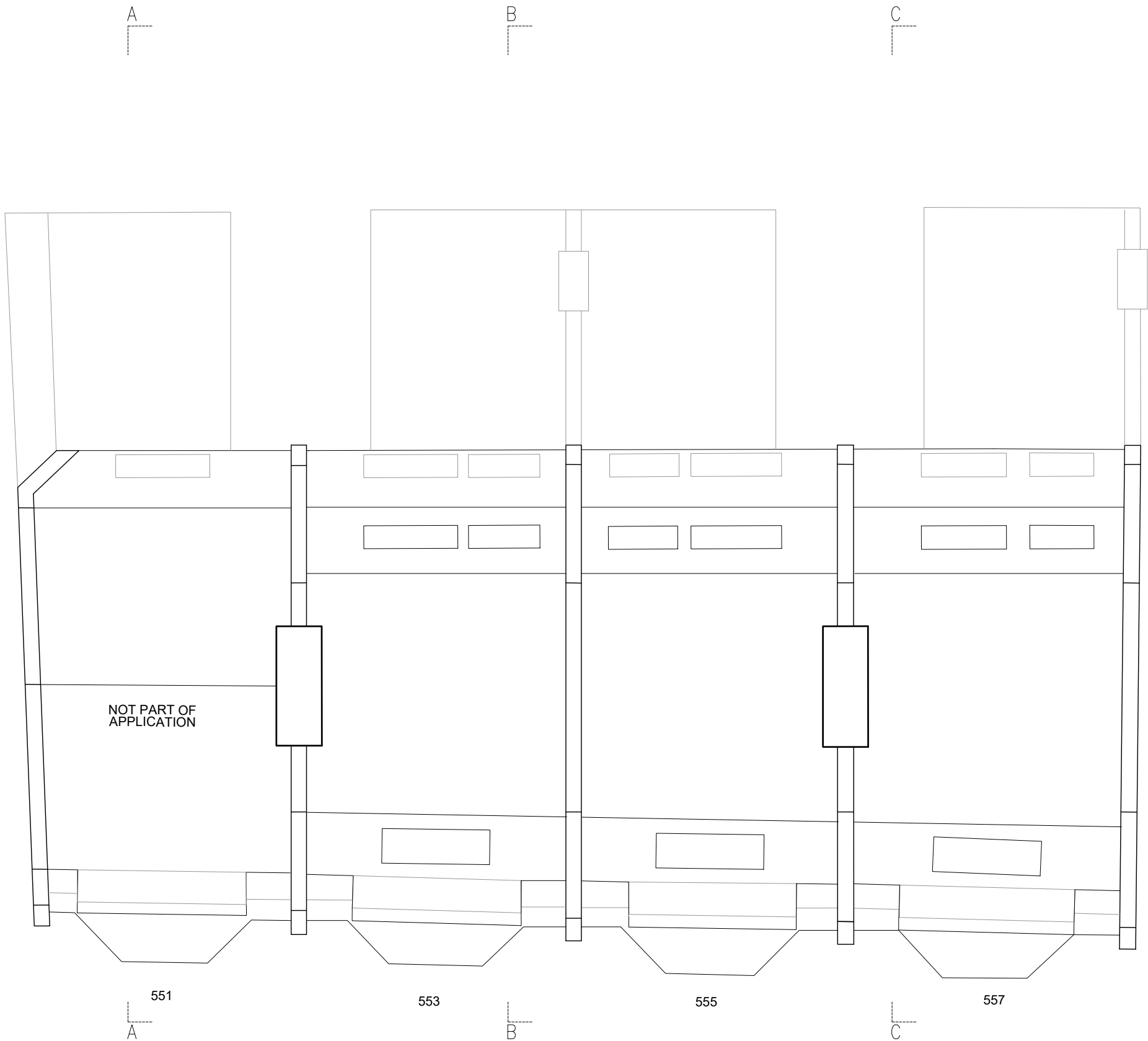
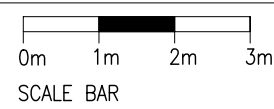
REV  
P03



NOTES



1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
2. EXISTING TREES SHOWN INDICATIVELY.
3. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY.
4. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



|     |          |                |     |     |
|-----|----------|----------------|-----|-----|
| P02 | 30.10.20 | PLANNING ISSUE | JL  | PH  |
| P01 | 06.08.20 | DRAFT ISSUE    | JL  | PH  |
| REV | DATE     | DESCRIPTION    | DRN | CHK |

**PETER BARBER ARCHITECTS**  
120 Kings Cross Road LONDON WC1X 6EE  
t: 020 7353 4400  
e: info@peterbarberarchitects.com

CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

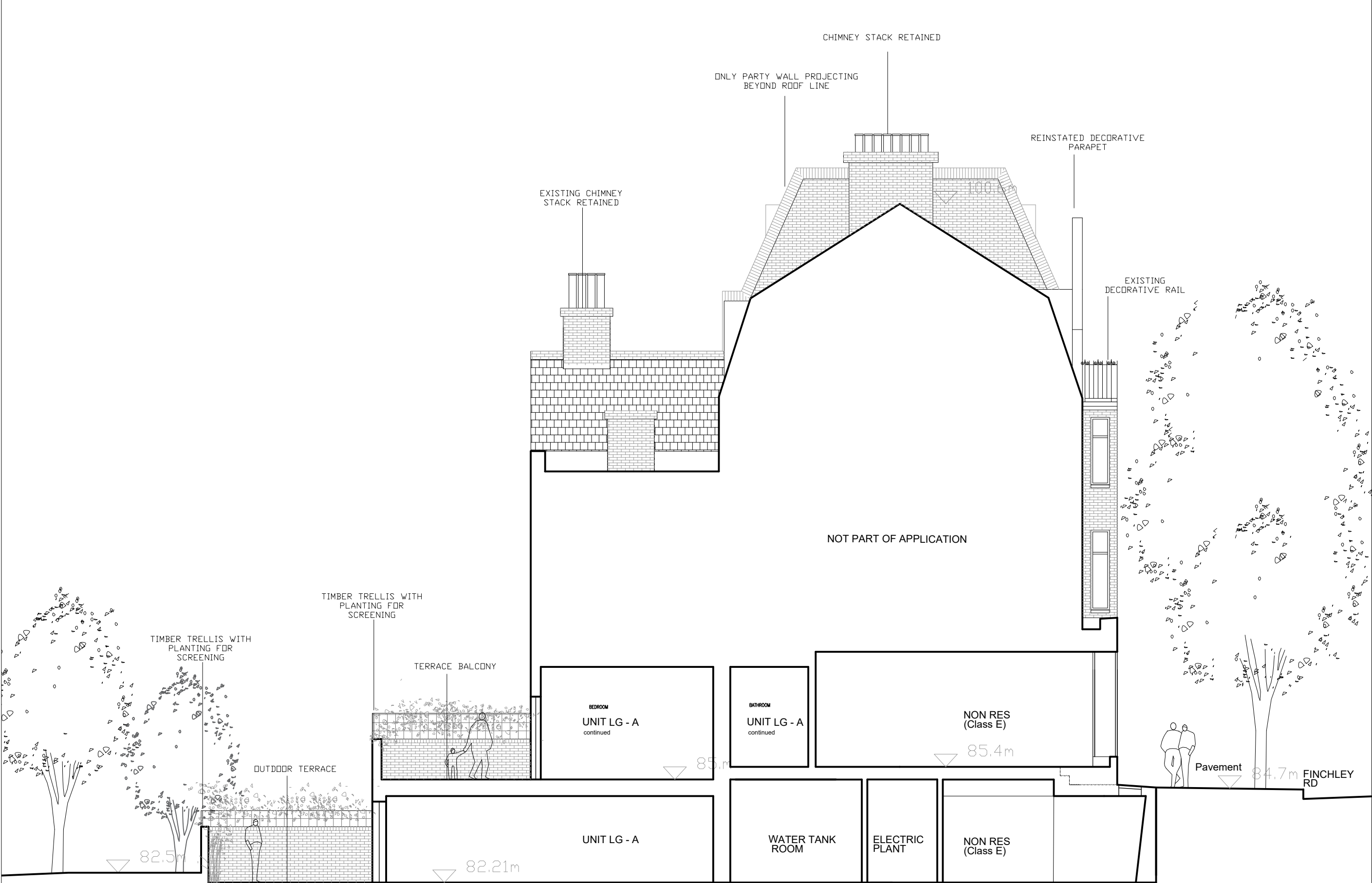
DRAWING TITLE  
PROPOSED ROOF PLAN

SCALE 1:100 @ A3 SHEET

STATUS  
PLANNING

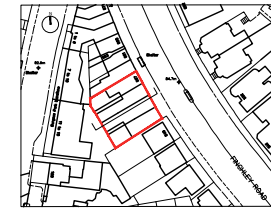
DRAWING NO  
FIN\_P\_150

REV  
P02



ALL DIMENSIONS MUST BE CHECKED ON SITE. INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. INTERNAL LAYOUTS INDICATIVE.

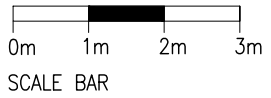
KEY PLAN



NOTES



1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE.
2. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
3. EXISTING TREES SHOWN INDICATIVELY.
4. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY.
5. LEVELS TAKEN FROM BUILDING SURVEY AND TOPOGRAPHICAL SURVEY. LEVELS INDICATED IN THIS DRAWING ARE INDICATIVE AND SUBJECT TO CONSTRUCTION LEVEL INFORMATION.
6. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



|     |          |                |     |     |
|-----|----------|----------------|-----|-----|
| P02 | 30.10.20 | PLANNING ISSUE | JL  | PH  |
| P01 | 06.08.20 | DRAFT ISSUE    | JL  | PH  |
| REV | DATE     | DESCRIPTION    | DRN | CHK |

**PETER BARBER ARCHITECTS**  
120 Kings Cross Road LONDON WC1X 6EZ  
t: 020 7300 4400  
e: info@peterbarberarchitects.com

CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

DRAWING TITLE  
PROPOSED SECTION - A

SCALE 1:100 @ A3 SHEET

STATUS

PLANNING

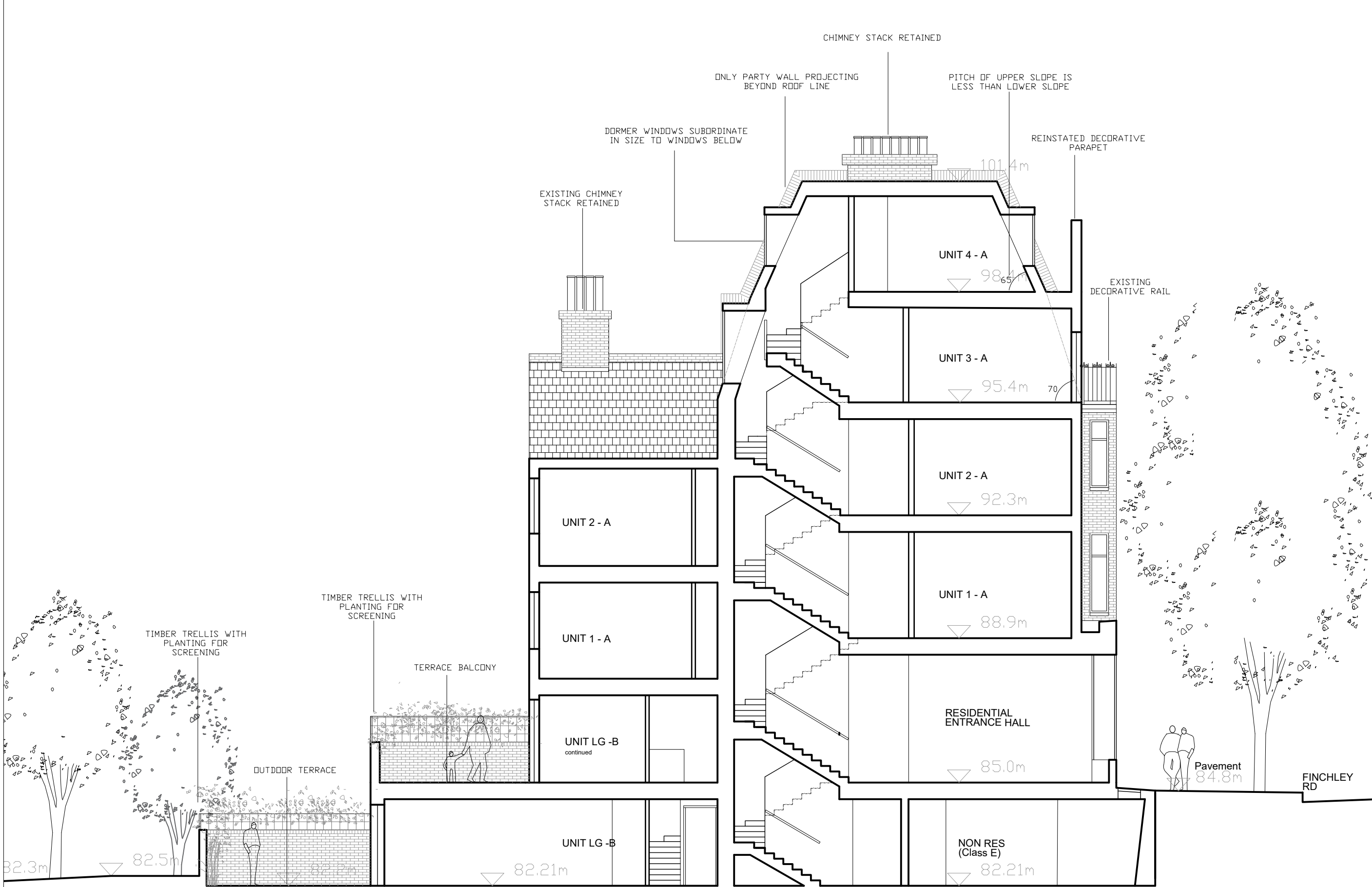
DRAWING NO

FIN\_P\_200

REV

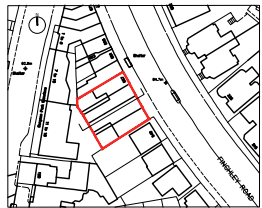
P02

© 2020 Peter Barber Architects. All rights reserved.



ALL DIMENSIONS MUST BE CHECKED ON SITE. INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. INTERNAL LAYOUTS INDICATIVE.

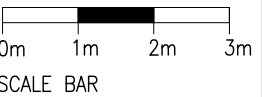
KEY PLAN



NOTES



1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE.
2. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
3. EXISTING TREES SHOWN INDICATIVELY.
4. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY.
5. LEVELS TAKEN FROM BUILDING SURVEY AND TOPOGRAPHICAL SURVEY. LEVELS INDICATED IN THIS DRAWING ARE INDICATIVE AND SUBJECT TO CONSTRUCTION LEVEL INFORMATION.
6. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



SCALE BAR

|     |          |                |     |     |
|-----|----------|----------------|-----|-----|
| P02 | 30.10.20 | PLANNING ISSUE | JL  | PH  |
| P01 | 06.08.20 | DRAFT ISSUE    | JL  | PH  |
| REV | DATE     | DESCRIPTION    | DRN | CHK |

**PETER BARBER ARCHITECTS**  
125 Kings Cross Road LONDON WC1X 0BZ  
t: 020 7324 4400  
e: info@peterbarberarchitects.com

CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

DRAWING TITLE  
PROPOSED SECTION- B

SCALE 1:100 @ A3 SHEET

STATUS  
PLANNING

DRAWING NO  
FIN\_P\_210

REV  
P02

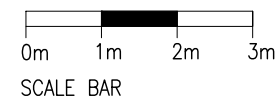
© 2020 Peter Barber Architects. all rights reserved



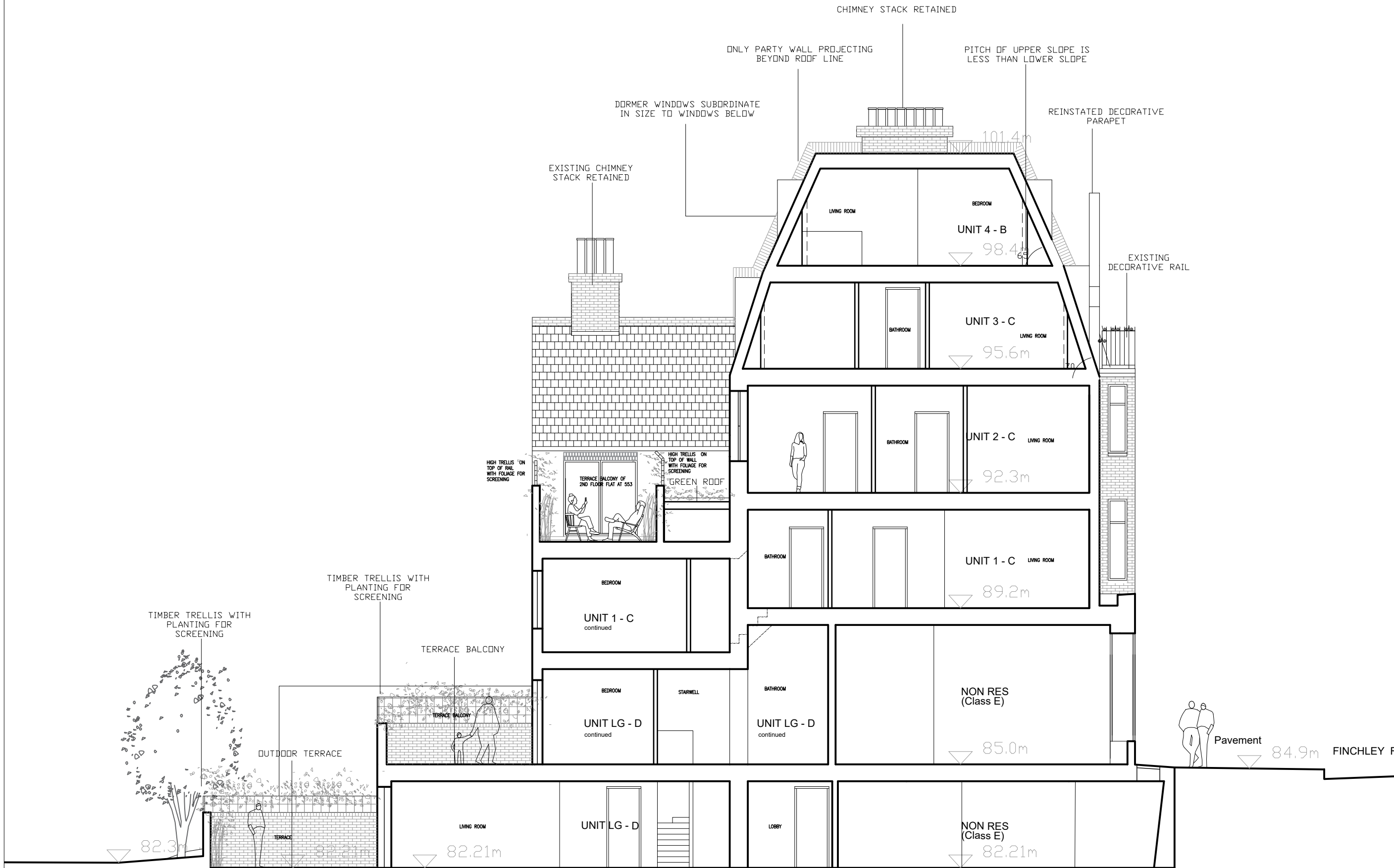
NOTES



1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE.
2. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
3. EXISTING TREES SHOWN INDICATIVELY.
4. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY.
5. LEVELS TAKEN FROM BUILDING SURVEY AND TOPOGRAPHICAL SURVEY. LEVELS INDICATED IN THIS DRAWING ARE INDICATIVE AND SUBJECT TO CONSTRUCTION LEVEL INFORMATION.
6. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



SCALE BAR



|     |          |                |      |     |
|-----|----------|----------------|------|-----|
| P02 | 30.10.20 | PLANNING ISSUE | J.L. | PH  |
| P01 | 06.08.20 | DRAFT ISSUE    | J.L. | PH  |
| REV | DATE     | DESCRIPTION    | J.L. | CHK |

**PETER BARBER ARCHITECTS**  
120 Kings Cross Road LONDON WC1X 6BX  
t: 020 2555 4488  
e: info@peterbarberarchitects.com

CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

DRAWING TITLE  
PROPOSED SECTION - C

SCALE 1:100 @ A3 SHEET

STATUS  
PLANNING

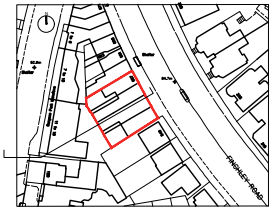
DRAWING NO  
FIN\_P\_220

REV  
P02

© 2020 Peter Barber Architects. all rights reserved

ALL DIMENSIONS MUST BE CHECKED ON SITE. INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.  
INTERNAL LAYOUTS INDICATIVE.

KEY PLAN



NOTES



1. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
2. EXISTING TREES SHOWN INDICATIVELY.
3. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY. LEVELS TAKEN FROM BUILDING SURVEY AND TOPOGRAPHICAL SURVEY. LEVELS INDICATED IN THIS DRAWING ARE INDICATIVE AND SUBJECT TO CONSTRUCTION LEVEL INFORMATION.
4. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

0m 1m 2m 3m 4m

SCALE BAR

BURGESS PARK MANSIONS

FINCHLEY RD

Pavement  
84.8m

101.4m

UNIT 4 - A

▽ 98.4m

UNIT 3 - A

▽ 95.4m

UNIT 2 - A

▽ 92.3m

UNIT 1 - A

▽ 88.9m

RESIDENTIAL  
ENTRANCE HALL

▽ 85.0m

NON RES  
(Class E)

▽ 82.21m

UNIT 2 - A

UNIT 1 - A

UNIT LG - B  
continued

UNIT LG - B

▽ 82.21m

▽ 82.2m

▽ 82.3m

▽ 82.5m

▽ 82.2m

|     |          |                |     |     |
|-----|----------|----------------|-----|-----|
| P02 | 30.10.20 | PLANNING ISSUE | JL  | PH  |
| P01 | 06.08.20 | DRAFT ISSUE    | JL  | PH  |
| REV | DATE     | DESCRIPTION    | DRN | CHK |

**PETER BARBER  
ARCHITECTS**

120 Kings Cross Road LONDON WC1X 6SE  
+44 (0)20 7324 4400  
info@peterbarberarchitects.com

CLIENT  
HAMPSTEAD PROPERTIES LTD

PROJECT  
551-557 FINCHLEY ROAD  
LONDON

DRAWING TITLE  
PROPOSED LONG SECTION - B

SCALE 1:150 @ A3 SHEET

STATUS

PLANNING

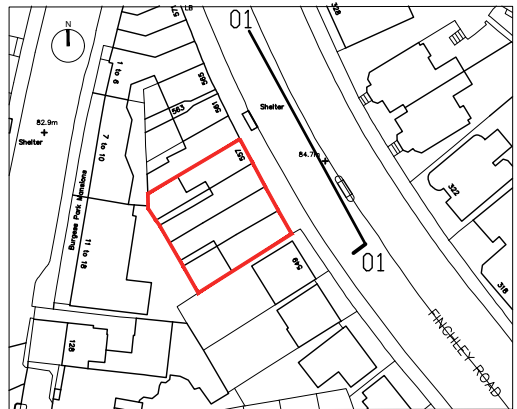
DRAWING NO

FIN\_P\_230

REV

P02

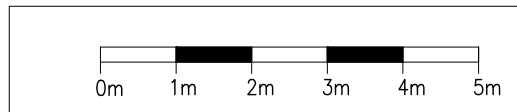
© 2020 Peter Barber Architects. all rights reserved



NOTES



1. WINDOW MULLION / DOOR AND GLAZING ARRANGEMENT INDICATIVE SUBJECT TO DETAIL DESIGN
2. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE
3. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
4. EXISTING TREES SHOWN INDICATIVELY.
5. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY
6. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION



|     |          |             |       |     |     |
|-----|----------|-------------|-------|-----|-----|
| P02 | 30.10.20 | PLANNING    | ISSUE | JL  | PH  |
| P01 | 06.08.20 | DRAFT       | ISSUE | JL  | PH  |
| REV | DATE     | DESCRIPTION |       | DRN | CHK |

**PETER BARBER**  
**ARCHITECTS**

173 Kings Cross Road LONDON WC1X 9BZ  
a: info@peterbarberarchitects.com  
t: 020 7833 4689

CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

DRAWING TITLE  
PROPOSED FRONT ELEVATION

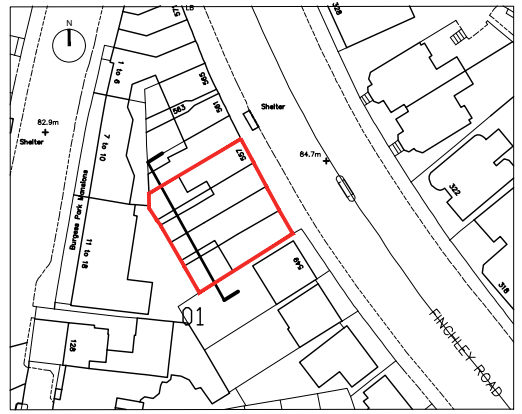
SCALE 1:100 A1 SHEET

STATUS  
PLANNING

DRAWING NO  
FIN\_P\_300

REV  
P02

© 2020 Peter Barber Architects. all rights reserved



NOTES



1. WINDOW MULLION / PATIO GLAZING ARRANGEMENT INDICATIVE SUBJECT TO DETAIL DESIGN
2. SITE FOOTPRINT TAKEN FROM SURVEY. REST OF EXISTING PLAN, ELEVATION RIDGE AND EAVES HEIGHT OF IMMEDIATE NEIGHBOURING BUILDINGS FROM OS & APPROXIMATE
3. DO NOT SCALE OFF THIS DRAWING. FOR CONSTRUCTION ALL DIMENSIONS TO BE CHECKED ON SITE.
4. EXISTING TREES SHOWN INDICATIVELY.
5. PROPOSED TREE LOCATIONS SHOWN INDICATIVELY
6. GROUND LEVEL OF NEIGHBOURING PROPERTIES SHOWN INDICATIVELY
7. INFORM ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION



SCALE BAR

|     |          |                |     |     |
|-----|----------|----------------|-----|-----|
| P02 | 30.10.20 | PLANNING ISSUE | A1  | PH  |
| P01 | 06.08.20 | DRAFT ISSUE    | A1  | PH  |
| REV | DATE     | DESCRIPTION    | DRN | CHK |

**PETER BARBER ARCHITECTS**

179 Kings Cross Road LONDON WC1X 9BZ  
t: 020 7553 4499  
e: info@peterbarberarchitects.com

CLIENT  
HAMPSTEAD PROPERTIES LTD  
PROJECT  
551-557 FINCHLEY ROAD  
LONDON

DRAWING TITLE  
PROPOSED REAR ELEVATION

SCALE 1:50 A1 SHEET

STATUS  
PLANNING

DRAWING NO  
FIN\_P\_310

REV  
P02

© 2020 Peter Barber Architects. all rights reserved