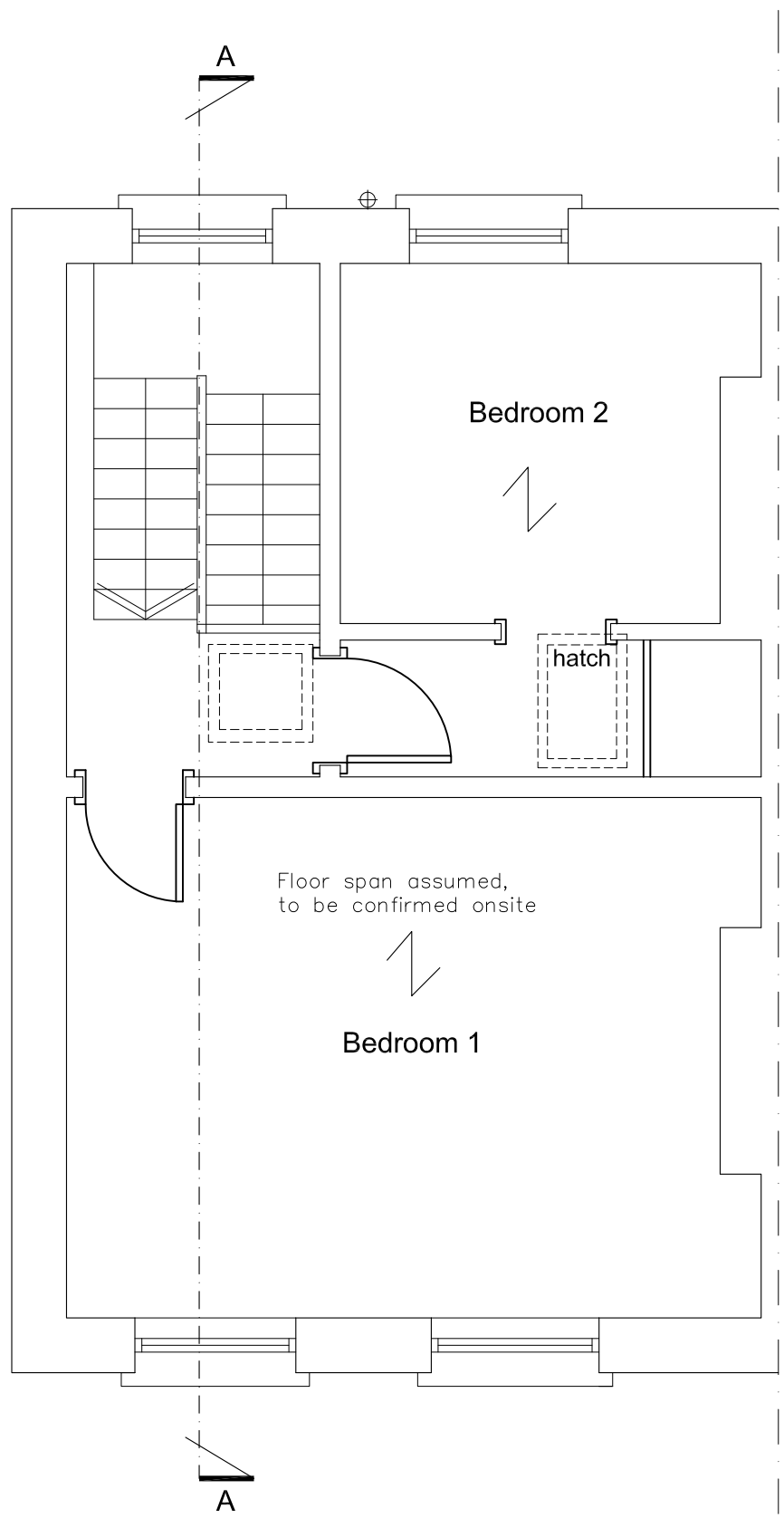
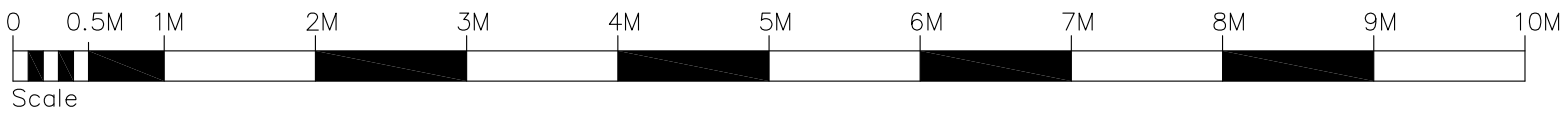


Do not scale: All written dimensions must be checked on site before work commences on site or in shop. Figured dimensions take precedence over those scaled. Discrepancies, where identified must be reported immediately.

All work must be carried out in accordance with the Building Regulations and to the satisfaction of the Local Authority.



No.132A Existing Second Floor



New 110mm upvc pipe between existing floor joists. Hidden in existing book shelf boxing in stairs. Falls to rear 1:40 min, connected back into existing rear external svp via new 110mm black upvc pipe externally.

Plumbing
Plumbing and underground drainage works shall comply with BS.5572:1978 'Sanitary Pipework', BS.6465pt.1 'Sanitary Appliances' and BS.8301:1985 'Building Drainage'.

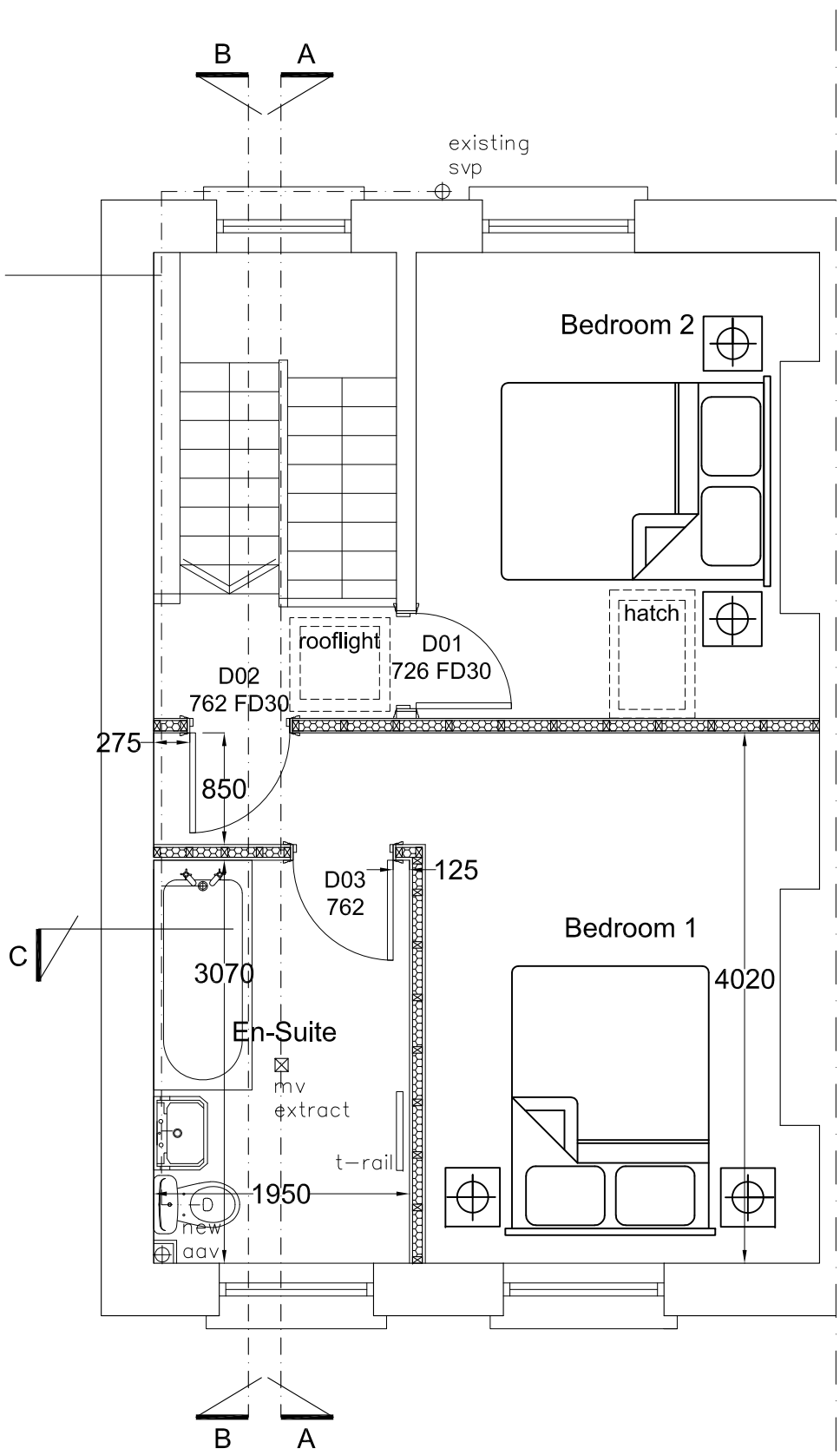
SCHEDULE OF SANITARYWARE CONNECTIONS

Appliance & trap dia.	Discharge pipe mm.	Trap/seal mm.	Fall deg.
Wash basin	38	S.75	1-2.5
WC	110	Integral	1+
Shower	50	S.50	1-2.5
Bath	50	S.50	1-2.5

Existing drainage routing & soil pipe positions to be investigated and if found viable, then new kitchen appliances to be gravity drained in accordance with the requirements of the Building Regulations, and to the prior approval of the Building Control Officer.

All openings for pipes, ducts or cables, which pass through a "fire resisting" partition, wall and floor etc, should be fire stopped in accordance with part B3 section 11 of Approved Document B.

MV Mechanical ventilation to bathrooms to extract 15 litres per second operated intermittently, 15 minute over run, 10mm gap under door.



No.132A Proposed Second Floor

All electrical work required to meet the requirements of 'Part P' (Electrical Safety) must be designed, installed, inspected and tested by a person competent to do so. An appropriate BS7671:2008 electrical installation certificate to be issued for the work by a person competent to do not.

Any new electric switches and sockets and socket outlets to comply with Part M2 current building regulations. Switches and sockets in habitable rooms at appropriate heights between 450mm and 1200mm above finished floor level.

Internal partitions to comprise:
1 layer of 12.5mm plasterboard each side of 75x50mm timber studs. An absorbant layer of 25mm min. thickness mineral wool (10kg/m3 minimum density) to be suspended in the cavity. Partition provides 30 minutes fire protection and complies with Part E of the Building Regulations (sound insulation).

En-Suite to be mechanically extract vented to roof outlet to achieve vent rate of 15 litres/second. 10mm gap under door to be provided to allow for replacement air.

New en-suite drainage connected back into existing svp to rear by new AAV, to be boxed and accessible for maintenance.

Client:
-
Project Title:
132a St Pancras Way
London
NW1 9NB

Drawing Title:
Existing and Proposed Floor Plans
Sections

Drawn: Date: 24.09.2020
Scale: 1:50 @ A1
Dwg.No.: BPR.01.01

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