

# 2020/2852/P – 24 Makepeace Avenue, London. N6 6EJ



This material has been reproduced from Ordnance Survey digital map data with the permission of the controller of Her Majesty's Stationery Office, © Crown Copyright.



Photo 1 (above): Front elevation of No. 24 as viewed from the street



Photo 2 (above): Front elevation of No. 24



Photo 3 (above): Close up view of front entrance to No. 24. Existing tree adjacent to bins and side boundary wall is proposed to be removed





Photo 4 (above): Existing side extension to the neighbouring property No. 26



Photo 5 (above): Rear elevation of No. 24 as viewed from the rear garden



Photo 6 (above): Rear elevations of No. 24 (right) and the adjacent neighbouring property No. 22 (left) showing existing ground floor rear extension at No. 22



Photo 7 (above): Existing raised terrace in front of ground floor rear extension at No. 22



Photo 8 (above): Existing side boundary with No. 24 (left) and No. 26 (right)



Photo 9 (above): Existing single storey side return at No. 24



Photo 10 (above): Existing single storey side extension and rear extension at No. 26



Photo 11 (above): Existing raised terrace at No. 24 as viewed from above



Photo 12 (above): Existing raised terrace at No. 22 as viewed from above

<b>Delegated Report (Members Briefing)</b>		<b>Analysis sheet</b>		<b>Expiry Date:</b>	<b>25/09/2020</b>
		N/A / attached		<b>Consultation Expiry Date:</b>	<b>30/08/2020</b>
<b>Officer</b>			<b>Application Number(s)</b>		
Charlotte Meynell			2020/2852/P		
<b>Application Address</b>			<b>Drawing Numbers</b>		
24 Makepeace Avenue London N6 6EJ			See draft decision notice		
<b>PO 3/4</b>	<b>Area Team Signature</b>	<b>C&amp;UD</b>	<b>Authorised Officer Signature</b>		
<b>Proposal(s)</b>					
Erection of replacement single storey side extension and raised rear garden terrace with stairs; installation of rear sliding doors.					
<b>Recommendation(s):</b>		Grant Conditional Planning Permission			
<b>Application Type:</b>		Householder Planning Permission			



Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	02	No. of objections	00
Summary of consultation responses:	<p>A site notice was displayed on 05/08/2020 and expired on 29/08/2020. A press notice was advertised on 06/08/2020 and expired on 30/08/2020.</p> <p>In response to the proposal, two comments were received from neighbouring occupiers.</p> <p>Comments were made on the following grounds:</p> <ul style="list-style-type: none"><li>The proposed height of the extension appears to be higher than the extension at No. 26. How much higher? (<i>Officer response: please refer to paragraph 4.1 of the report</i>).</li><li>In order to maintain privacy in our respective gardens at the back of 24 and 26, we would like to maintain the greenery which acts as a natural effective screen with the exception of the ash tree. (<i>Officer response: please refer to section 5 ‘Trees’ of the report</i>).</li><li>The applicants’ terrace is over a metre higher than the existing terrace at No. 22 and may lead to overlooking to this terrace and the neighbouring garden. Could some screening be included as part of the design, and conditioned as part of planning approval? (<i>Officer response: please refer to paragraph 4.3 of the report</i>).</li></ul>			
Holly Lodge Estate Conservation Area Advisory Committee (CAAC) comments:	<p>In response to the original proposal, the Holly Lodge Estate CAAC objected on the following grounds:</p> <ul style="list-style-type: none"><li>The north wall of the side extension is in line with the north wall of the house by the door, as such it will appear as part of the original house rather than a later addition, the extension wall should be moved back south. Within the HLE CAAMS it states; Side extensions Planning permission may be required for the erection of side extensions. The in-filling of gaps between buildings will be resisted where this results in a characteristic gap in the streetscape being closed to an extent that the houses appear linked, or views through to gardens beyond are closed. Where side extensions would not result in the loss of a characteristic gap they should be single storey and well set back from the front building line. Extensions over existing garages or side extensions will be resisted. (<i>Officer response: please refer to paragraph 3.1 of the report</i>).</li><li>The capping for the side extension is metal, the finish is not specified. It should be non-obtrusive, matt white? (<i>Officer response: please refer to paragraph 3.3 of the report</i>).</li><li>The front window as drawn omits the glazing bars found in the window of the main house. (<i>Officer response: please refer to paragraph 3.2 of the report</i>).</li><li>What is the finish of brise soleil? (<i>Officer response: please refer to paragraph 3.4 of the report</i>).</li><li>The Ground Floor Plan shows the terrace extending beyond the rear wall of the neighbouring property (26 MP), as such it will provide</li></ul>			

	views across the rear 26. A condition should be added to any approval requiring a permanent screen to be erected & maintained. (Officer response: please refer to paragraph 4.2 of the report).
--	--

## Site Description

24 Makepeace Avenue is a two storey plus roof extension, semi-detached property located on the southern side of Makepeace Avenue. The host property has an existing side return and the rear of the building has an original stepped design. There is a significant drop in ground levels from north to south across the site, which necessitates steps down to the rear garden from the existing raised terrace areas adjacent to the rear ground floor of the house.

The property is not listed but is located within the Holly Lodge Estate Conservation Area and is identified in the Holly Lodge Estate Conservation Area Appraisal and Management Strategy as making a positive contribution to the character and appearance of the area.

The application is situated in the Highgate Neighbourhood Plan area.

## Relevant History

### 24 Makepeace Avenue

**No relevant planning history**

### 26 Makepeace Avenue – adjacent neighbouring property

**2017/1044/P** – Erection of single storey ground floor side and rear extension and extension to existing rear dormer. Installation of new windows and doors in rear elevation and replacement balustrades.  
**Planning permission granted 08/05/2017**

### 22 Makepeace Avenue – adjacent neighbouring property

**2018/2794/P** – External alterations including enlargement and re-profiling of main roof, installation of side dormer extension and erection of single storey side and rear extensions at ground floor level.  
**Planning permission granted 08/01/2019**

**2019/2457/P** – Non-material amendment to planning permission 2018/2794/P dated 08/01/2019 (External alterations including enlargement and re-profiling of main roof, installation of side dormer extension and erection of single storey side and rear extensions at ground floor level) namely alterations to the fenestration of the approved side extension, creation of Juliette balcony at second floor level and additional step to approved rear terrace. **Application under consideration**

## Relevant policies

### **National Planning Policy Framework (2019)**

#### **London Plan (2016)**

**Intend to publish London Plan (2019)**

#### **Camden Local Plan 2017**

A1 Managing the impact of development

D1 Design

D2 Heritage

#### **Camden Planning Guidance**

CPG Altering and extending your home (2019)

CPG Amenity (2018)

### **Holly Lodge Estate Conservation Area Appraisal and Management Strategy (2012)**

#### **Highgate Neighbourhood Plan (2017)**

DH2 Development proposals in Highgate's conservation areas

DH4 Side extensions

OS2 Protection of trees and mature vegetation



## Assessment

### 1.0 Proposal

1.1 This application seeks planning permission for the following:

- Erection of a replacement single storey side extension measuring 11m in depth (at its maximum point) and 2.5m in width. The proposed extension would have a width of 6.0m to the rear, as it would adjoin the original two storey 3.8m wide part of the building which protrudes from the main rear elevation at ground floor level. New floor to ceiling sliding doors would be inserted into the rear elevation. The proposed extension would also include the two flat roof lights and a new window to the front elevation. Due to the difference in levels across the site from front to rear, the front elevation of the extension would have a height of 2.8m to the top of the parapet (2.6m to the top of the flat roof) and the rear elevation would have a height of 3.3m to the top of the parapet (3.1m to the top of the flat roof). The proposed extension would replace an existing single storey side return with a depth of 4.8m, a width of 2.2m and a height of 3.2m to the top of the mono-pitched roof.
- Erection of a raised terrace adjacent to the proposed extension with steps down to the rear garden. The proposed terrace would replace two existing raised terraces with steps down to the garden. The proposed terrace would extend across the entire width of the site (9.3m) and would have a depth of 2.4m (4.6m along the boundary with No. 22 including the proposed steps). A new 1.8m high timber privacy screen would be erected along the entire depth of the terrace, along the boundary with No. 26 Makepeace Avenue.
- Installation of a timber brise soleil pergola to the rear elevation of the extension, which would extend the entire depth of the proposed terrace (2.4m).

#### Revisions

1.2 The following revisions were made throughout the course of the application:

- Reduction in the size of the proposed front window and introduction of glazing bars to match the existing front windows.
- Installation of a 1.8m high privacy screen along the depth of the terrace adjacent to the boundary with No. 26 Makepeace Avenue.
- Addition of notation on drawings to show no changes to the existing boundary fence with No. 22 Makepeace Avenue.
- Addition of notation on drawings to clarify depth and material of brise soleil pergola.

### 2.0 Assessment

2.1 The main planning considerations in the assessment of this application are:

- Design (the impact that the proposal has on the character of the host property as well as that of the wider Holly Lodge Estate Conservation Area);
- Amenity (the impact of the proposal on the amenity of adjoining occupiers and future occupiers);
- Trees (the impact of the proposal on trees within and adjoining the application site).

### 3.0 Design

3.1 The proposed side extension would be set back 0.7m from the front elevation of the building, in line with the front door inside the porch. This is considered sufficient to differentiate the proposed extension from the original building, and the height of the proposed extension in line with the eaves of the porch would ensure that the extension remains subordinate to the host dwelling in terms of

form and scale when viewed from the street. There are a number of existing side extensions of similar footprints along this side of Makepeace Avenue, and so the proposed extension is considered to be in keeping with the pattern of development along the street. The extension would be finished in white rough cast render to match the host building.

- 3.2 Following negotiation, the design of the proposed front timber window to the side extension has been altered to match the size and glazing bar pattern of the existing first floor window above the porch. The proposed window is now considered appropriate and acceptable in design terms.
- 3.3 To the rear, the proposed extension would not extend beyond the existing two-storey rear stepped element of the building. The contemporary design of the floor to ceiling doors to be inserted into the rear elevation of the proposed extension and adjacent two storey stepped part of the building is considered acceptable; however, the detailed design has not yet been finalised. The colour of the metal capping to the roof of the extension has also not been specified. As such, a condition requiring the submission and approval of these details prior to the relevant part of the works being undertaken is recommended.
- 3.4 The proposed rear raised terrace is required due to the significance drop in levels from the front to the rear of the site. The proposed terrace would be enclosed by balustrades and a new 1.8m high timber privacy screen would be erected on the boundary with No. 26 Makepeace Avenue along the entire depth of the terrace. A timber brise soleil pergola would be erected above the proposed new rear doors and would extend the full depth of the terrace. A suitable condition is suggested to ensure that full details of the proposed balustrades and brise soleil pergola are approved in writing prior to use of the relevant part of the works being carried out.
- 3.5 Overall, the proposed side extension and raised terrace are considered to be appropriately scaled and sympathetically designed. The Council's Conservation Officer has reviewed the proposals and considers that the works would preserve character and appearance of the host building and the wider Holly Lodge Estate Conservation Area, in accordance with policies D1 and D2 of the Camden Local Plan and policies DH2 and DH4 of the Highgate Neighbourhood Plan.
- 3.6 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act [ERR] 2013.

#### **4.0 Amenity**

- 4.1 The proposed extension would extend along the boundary with No. 26 Makepeace Avenue and would be 0.6m higher than the existing side extension at No. 26, which is at lower ground floor level. Although the proposed extension would be located adjacent to the existing rooflights within the side extension of No. 26, it is not considered that it would have a detrimental impact on the daylight and sunlight levels within the neighbouring side extension, given the south-easterly orientation of the rear gardens. It is considered that the proposed extension would not have a detrimental impact on the residential amenities of neighbouring occupiers in terms of loss of outlook or privacy. A condition is recommended to ensure that the flat roof of the extension is not used as a roof terrace, in order to protect amenities of the neighbouring occupiers at No. 26.
- 4.2 The proposed rear raised terrace would extend 2.4m in depth from the rear building line, and could potentially facilitate views into the upper ground floor habitable rooms of No. 26. The proposals have been amended to include the erection of a new 1.8m high privacy screen along the entire depth of the proposed terrace on this boundary, in order to prevent a loss of privacy through overlooking to the occupiers of No. 26. A condition is recommended to require the submission and approval of details of the privacy screen by the local planning authority prior to first use of the terrace, and the permanent retention of the screening thereafter.
- 4.3 The existing rear terrace extends 5.5m along the boundary with No. 22 Makepeace Avenue, and provides opportunities for overlooking back into the rear ground floor windows of No. 22. The proposed

rear raised terrace would not extend beyond the flank wall of the side extension at No. 22 and would therefore constitute an improvement on the current situation with regards to overlooking. Although the steps to the garden would extend beyond the flank wall of the extension, the existing 1.8m high boundary fence would be retained and given the lower level of these steps, this would be of sufficient height to prevent overlooking into the rear windows of No. 22. As such, a condition requiring the installation of additional privacy screening along this boundary is not required.

## **5.0 Trees**

- 5.1 The nearest trees to the proposed development are a small rowan tree within the front garden of the site and an ash tree in the rear garden along the boundary with No. 26 Makepeace Avenue. The rowan tree would need to be removed to facilitate the development. The Council's Tree Officer has reviewed the submitted Block Plan and photos showing the location of these trees and has confirmed that the tree to be removed is not an important tree and overall the development is acceptable in terms of its impact on the surrounding trees. A suitable condition is recommended to require tree protection details to be submitted to and approved in writing by the local planning authority prior to the commencement of development. A suitable condition to require replacement tree planting has also been added.
- 5.2 The existing buddleia bush to the front garden of the property would be retained, as would the existing greenery along the boundary with No. 26.

## **2.0 Conclusion**

- 2.1 The proposed development is considered acceptable in terms of design and impact on neighbouring amenity. The development is deemed consistent with the objectives and policies of the London Borough of Camden Local Plan 2017 and the Highgate Neighbourhood Plan 2017.
- 2.2 Grant Conditional Planning Permission.

### **DISCLAIMER**

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 9<sup>th</sup> November 2020, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***

Application ref: 2020/2852/P  
Contact: Charlotte Meynell  
Tel: 020 7974 2598  
Email: [Charlotte.Meynell@camden.gov.uk](mailto:Charlotte.Meynell@camden.gov.uk)  
Date: 4 November 2020

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE

Phone: 020 7974 4444

[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

Pardon Chambers Architects  
The Brew  
Eagle House  
163 City Road  
london  
EC1V 1NR  
United Kingdom

# DRAFT

Dear Sir/Madam

## DECISION

Town and Country Planning Act 1990 (as amended)

### Householder Application Granted

Address:

**24 Makepeace Avenue**  
**London**  
**N6 6EJ**

Proposal: Erection of replacement single storey side extension and raised rear garden terrace with stairs; installation of rear sliding doors.

Drawing Nos: 2008MAK\_1000; 2008MAK\_1005 Rev. B; 2008MAK\_1010 Rev. A; 2008MAK\_1012; 2008MAK\_1021; 2008MAK\_1022; 2008MAK\_1023 Rev. A; 2008MAK\_1100 Rev. B; 2008MAK\_1102; 2008MAK\_1210 Rev. C; 2008MAK\_1220 Rev. A; 2008MAK\_1230 Rev. B; 2008MAK\_2100 Rev. A; Design and Access Statement Rev. A (prepared by Pardon Chamber Architects, dated 30/10/2020).

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017 and policies DH2 and DH4 of the Highgate Neighbourhood Plan.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans 2008MAK\_1000; 2008MAK\_1005 Rev. B; 2008MAK\_1010 Rev. A; 2008MAK\_1012; 2008MAK\_1021; 2008MAK\_1022; 2008MAK\_1023 Rev. A; 2008MAK\_1100 Rev. B; 2008MAK\_1102; 2008MAK\_1210 Rev. C; 2008MAK\_1220 Rev. A; 2008MAK\_1230 Rev. B; 2008MAK\_2100 Rev. A; Design and Access Statement Rev. A (prepared by Pardon Chamber Architects, dated 30/10/2020).

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 Prior to the commencement of any works on site, an Arboricultural Method Statement and details demonstrating how trees to be retained shall be protected during construction work shall be submitted to and approved by the local planning authority in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction". All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

- 5 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

- a) Details of the materials and finish of the new external doors;
- b) Details of the new balustrades to go around the rear raised terrace at a scale of 1:10, including materials and finish;
- c) Details of the new rear brise soleil pergola at a scale of 1:10, including materials and finish;
- d) Details of the finish of the metal capping to the extension.

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 6 The use of the roof as a terrace shall not commence until the 1.8 metre high privacy screen along the boundary with No. 26 Makepeace Avenue, as shown on the approved drawings, has been constructed. The screen shall be permanently retained thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

- 7 The flat roof of the single storey side extension hereby approved shall not be used at any time as amenity space, and any access out onto this area shall be for maintenance purposes only.

Reason: To safeguard the amenities of the future occupiers and adjoining neighbours in accordance with the requirements of policy A1 of the Camden Local Plan.

#### Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public

Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Economy, Regeneration and Investment

**DRAFT**

**DECISION**