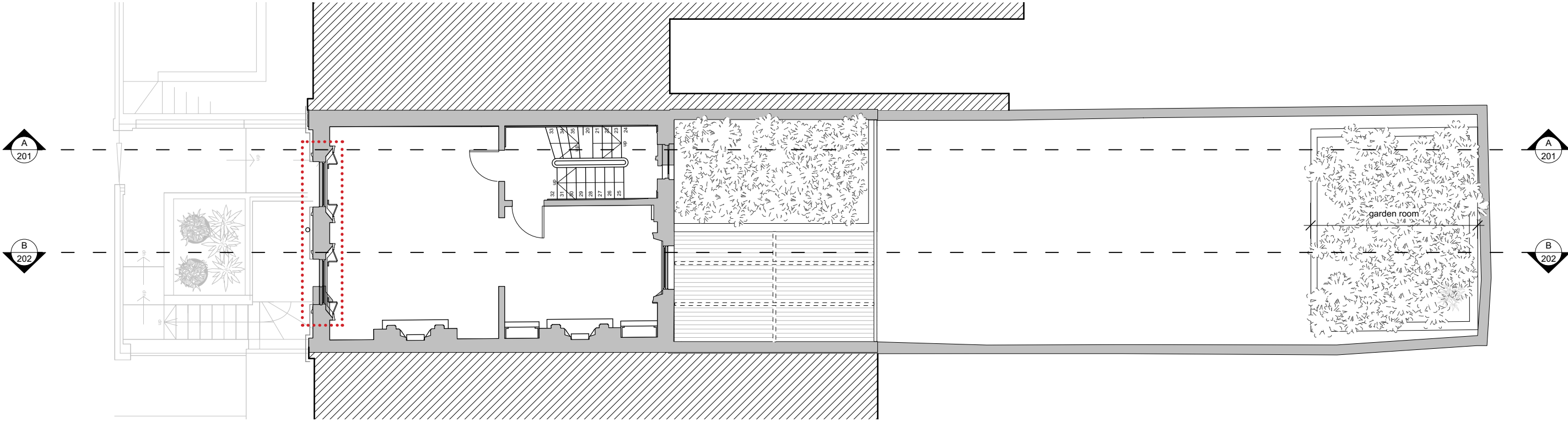


Comparative Previous Survey First Floor Plan



AS BUILT FIRST FLOOR PLAN

Scale Meters







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		CLIENT	UNDERCOVER ARCHITECTURE LTD	SCALE	1:100 @ A3	DRAWING N.	AS 103			



FIRST FLOOR

19.

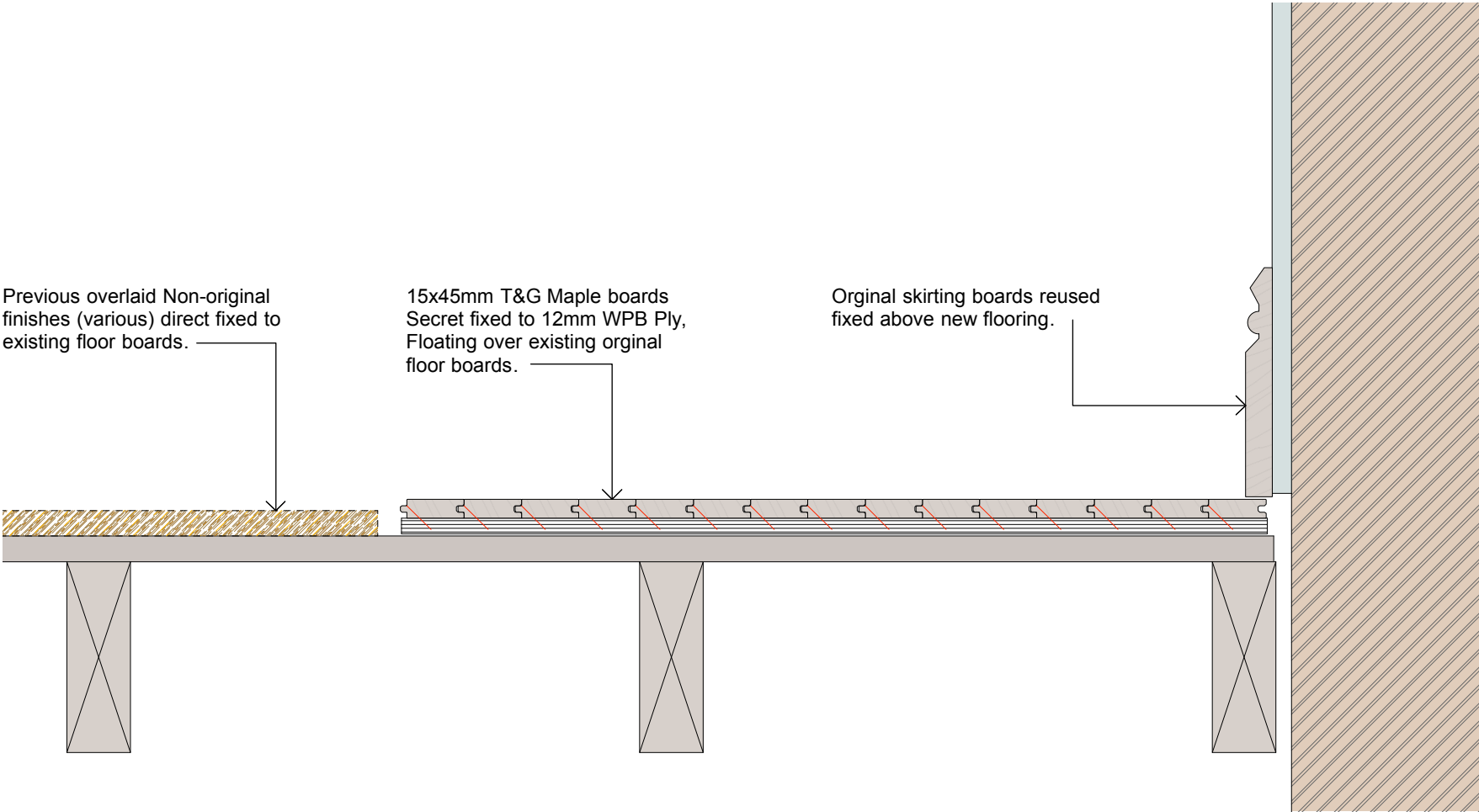
Works	Installation of louvred shutters
Response	Works are of a solely restorative/repair emphasis across the front and rear elevation. The full height shutters on this floor were the original ones that have been restored and reinstated.

BEFORE	AFTER
<p>Front:</p> 	<p>Front:</p> 
<p>Rear:</p> 	<p>Rear:</p> 

Works	Replacement flooring
Response	Works are wholly reversible and, not being attached, do not materially affect historic fabric and/or its special interest. The original floor boards are still present with the new floating timber floor laid over.

BEFORE	AFTER
	

20.



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			CLIENT	UNDERCOVER	SCALE	1:5 @ A3	DRAWING N.	AS 410			
				ARCHITECTURE LTD							

SECOND FLOOR

21.

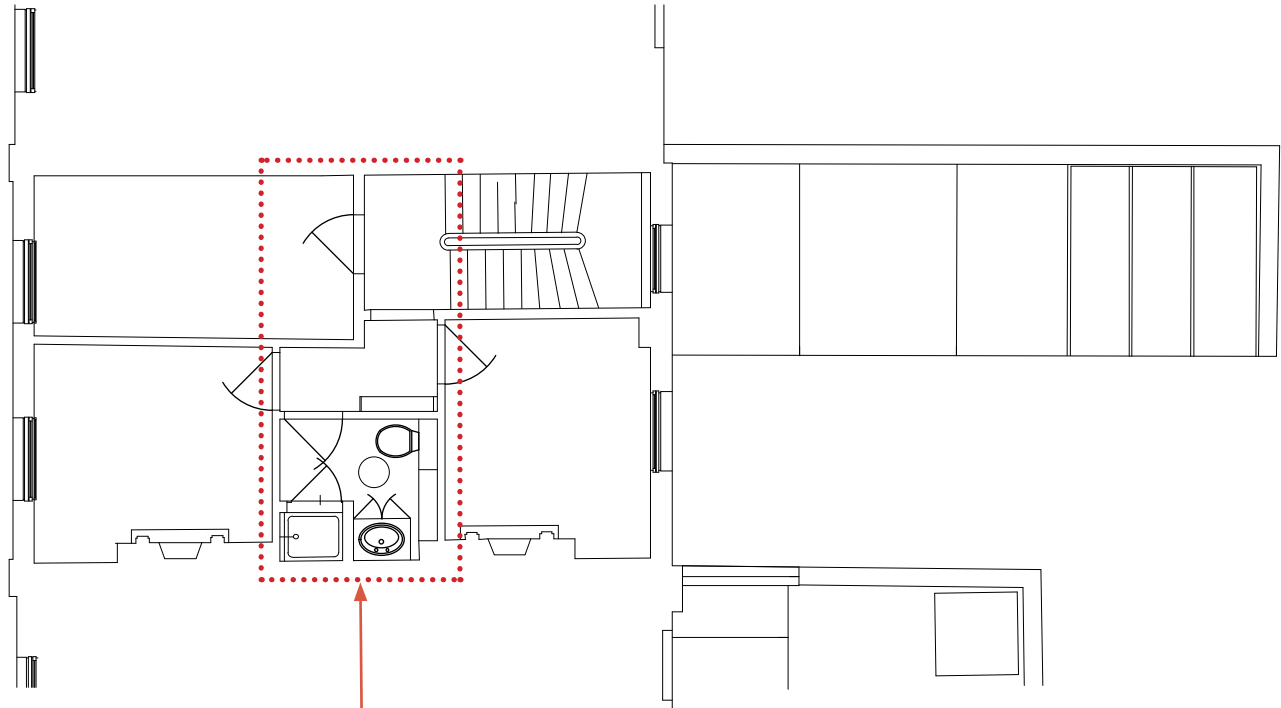
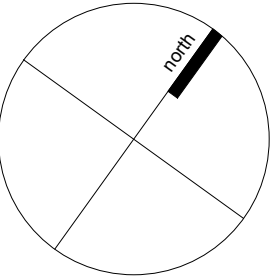
Works	Works on the second floor include the introduction of glazed screens and the installation of a bathroom, timber cladding, bathroom drainage
Response	There are no glazed screens at the building - only a small bathroom. The installation of a glazed screen and timber cladding previously has since been removed (as marked on the As Built plan below). The installation of a small bathroom is a feature that inevitably improves the practical functioning of this structure as a residence. It does not demonstrably alter or negatively impact upon features of special interest. For the purpose of full transparency, the Listed Building Application also includes the removal of stud partitions, as identified in this submission, and not previously identified by the Council.

BEFORE



AFTER

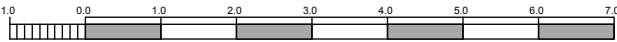




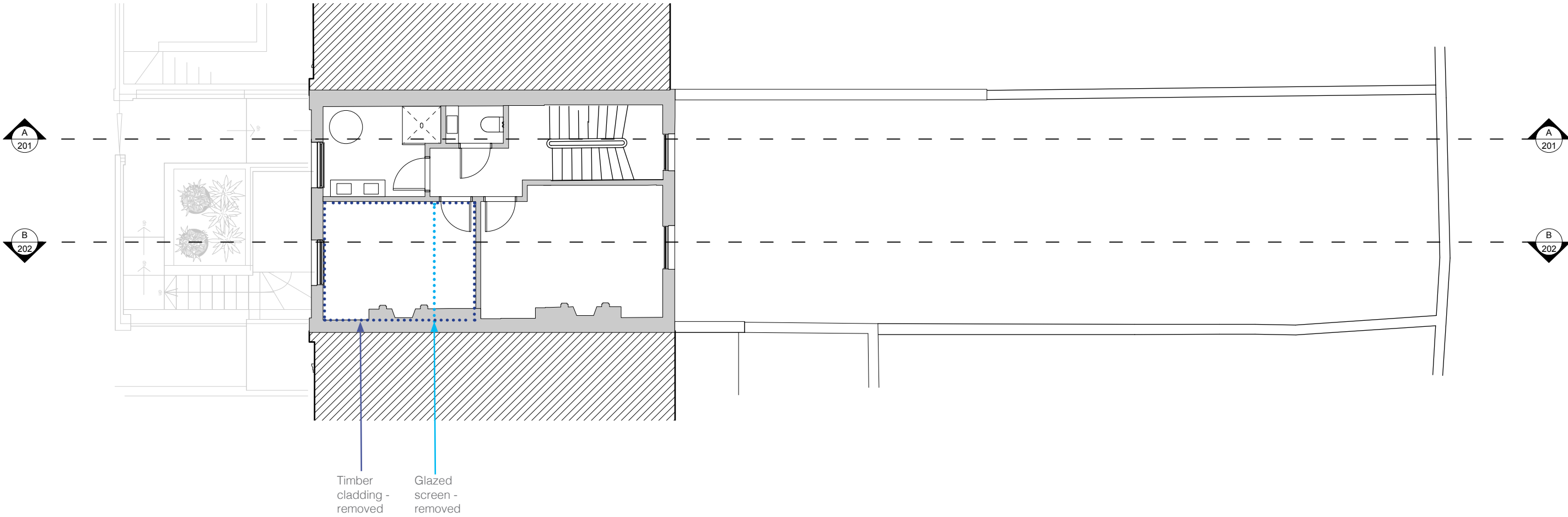
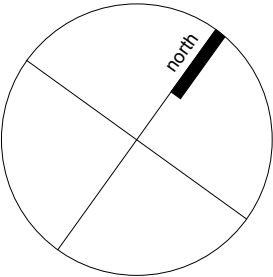
Stud partitions removed

PREVIOUSLY SURVEYED SECOND FLOOR PLAN

Scale Meters



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AS BUILT SECOND FLOOR PLAN

Scale Meters

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			CLIENT	UNDERCOVER ARCHITECTURE LTD	SCALE	1:100 @ A3	DRAWING N.	AS 104			

22.

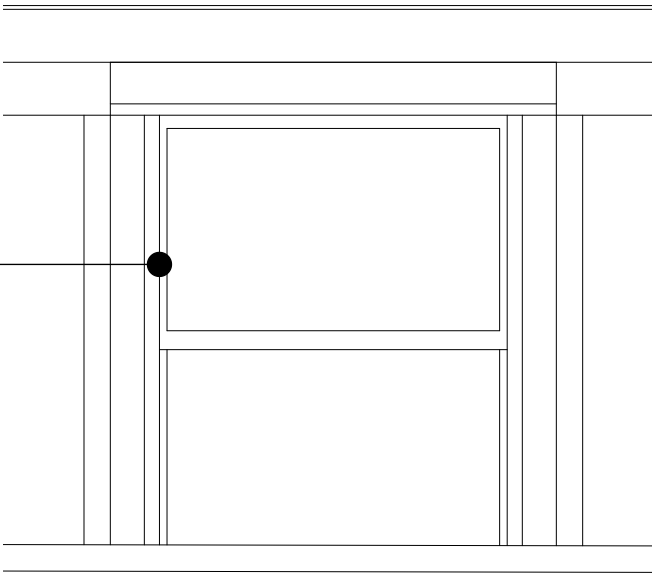
Works	Removal and replacement of timber sash windows with double glazed units with square section glazing bars and framing
Response	Non original two-over-two pane sash replaced for six-over-six pane sash to reflect the original configuration and more general uniformity evidenced by neighbours in this respect. The slimline double glazing (unit dimension 8mm) seeks to accord with sustainability objectives; but nevertheless retaining original frame form, dimensions and materiality etc. Works do not therefore affect special interest but are appropriate and enhancing in this regard, particularly where non-original predecessors exhibited severe rot and an ongoing trend toward further decay.

BEFORE	AFTER
	

22.

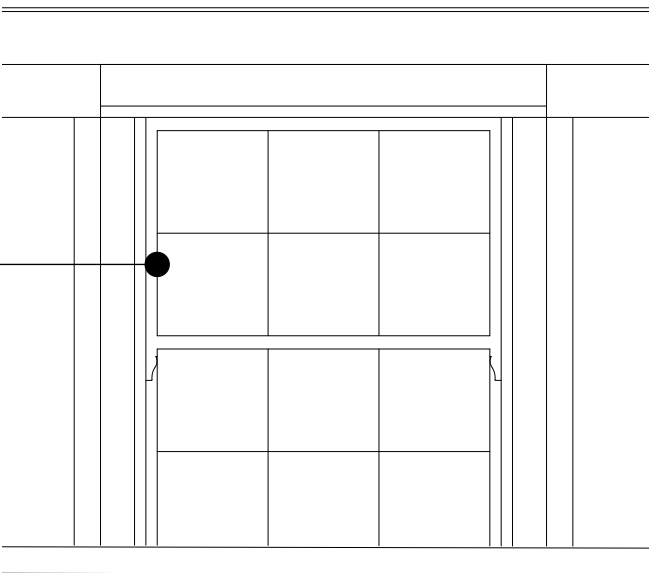
Refer AS 401 for Typical Window Details

Non-original
PVC DGU window system.



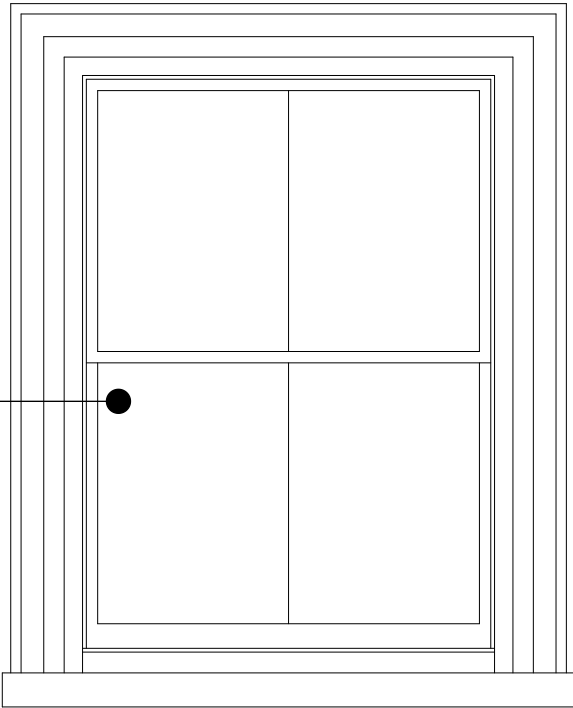
3rd Floor Front Previous Existing Windows

Traditional Designed painted
timber double hung sash
windows fitted with DGU's



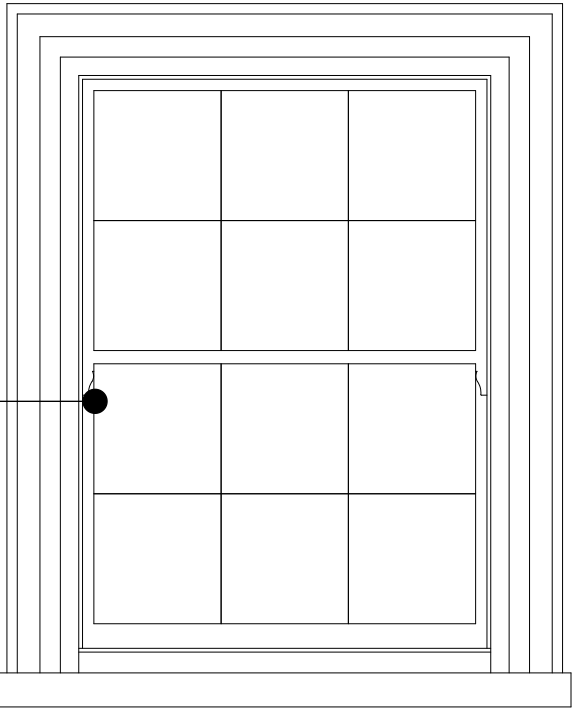
3rd Floor Front As Built Windows

Degraded timber double
hung sash with non-original
fenetration setout window
system.



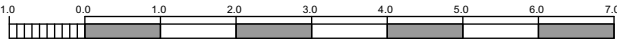
2nd Floor Front Previous Existing Windows

Traditional Designed new
timber double hung sash
windows with orginal
fenetration set-out, fitted
with new DGU's.

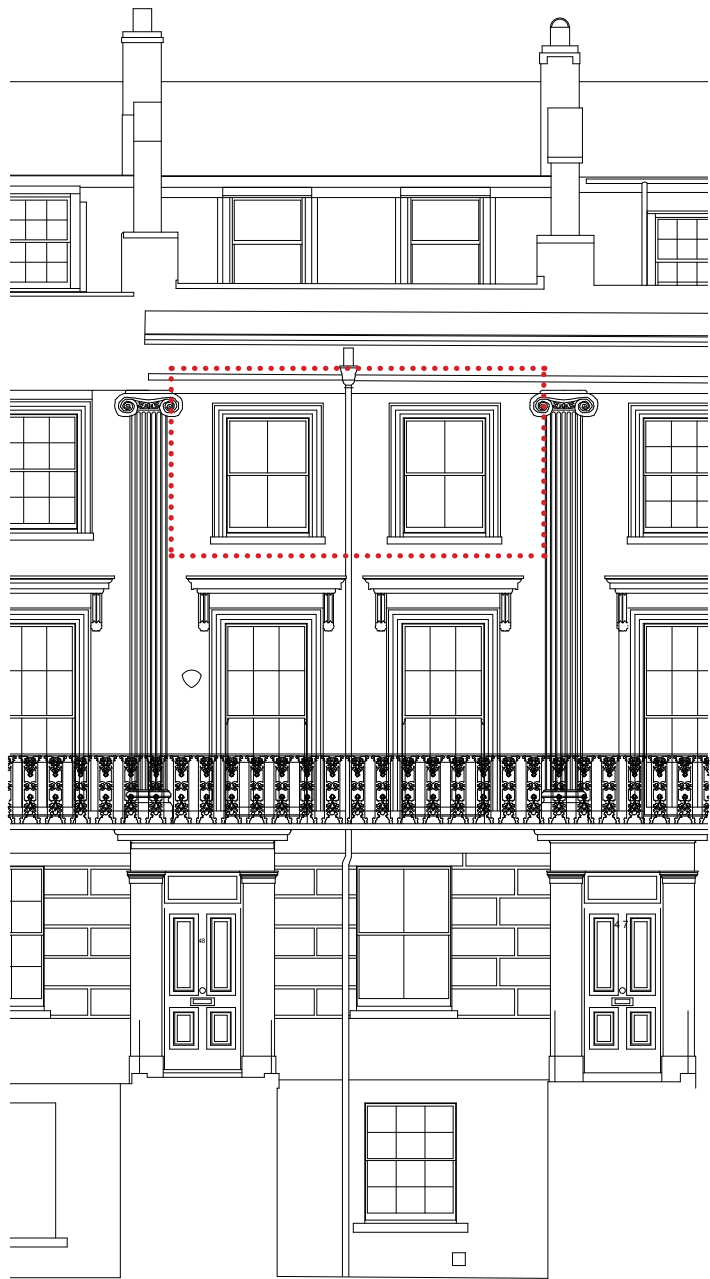


2nd Floor Front As Built Windows

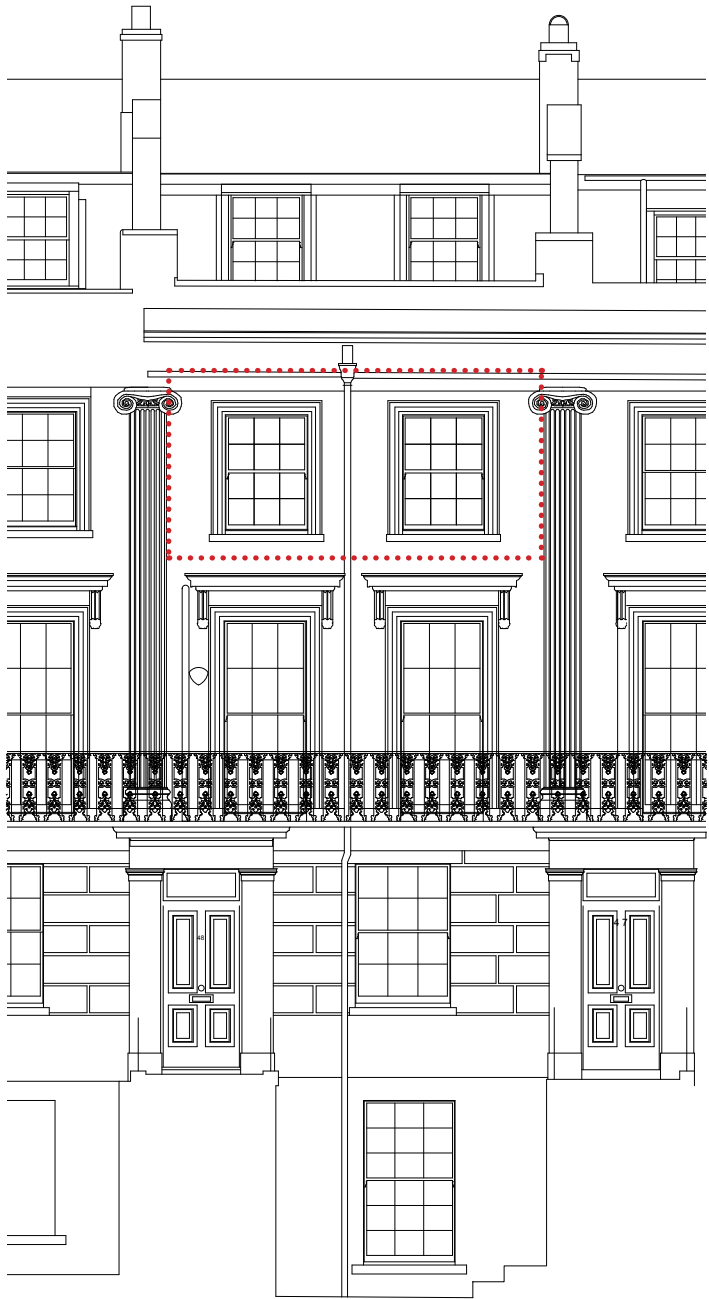
Scale Meters



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PREVIOUS EXISTING FRONT ELEVATION



AS BUILT FRONT ELEVATION



Scale Meters

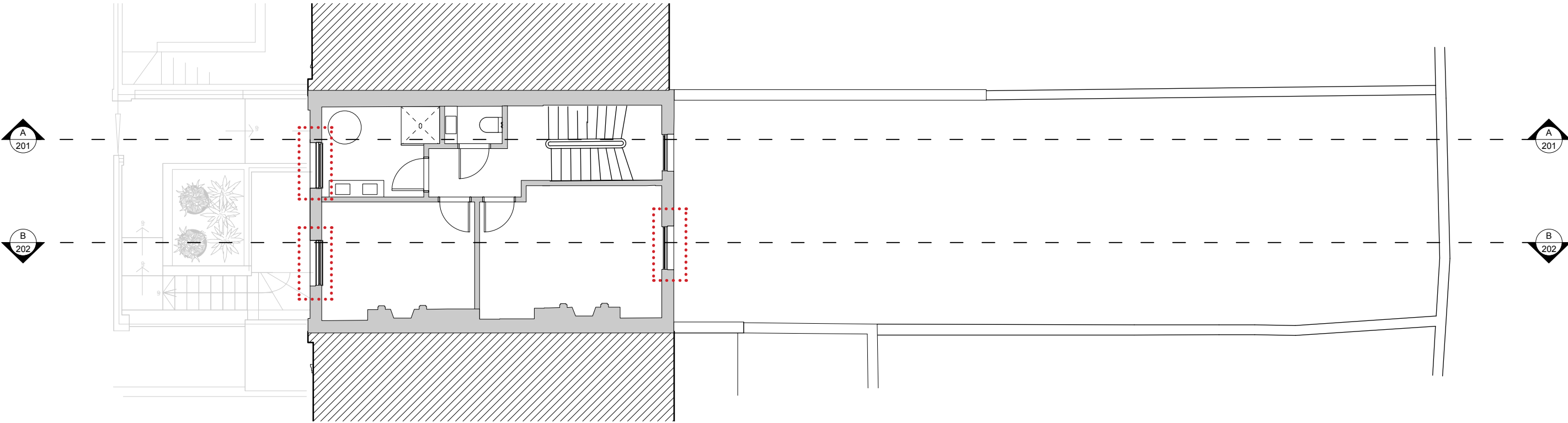
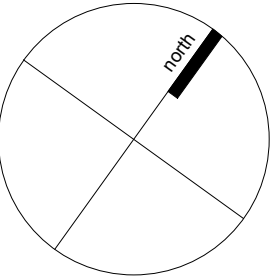


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		CLIENT	UNDERCOVER ARCHITECTURE LTD	SCALE	1:100 @ A3	DRAWING N.	AS 301			

23.

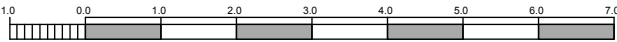
Works	Installation of louvred shutters
Response	There were no shutters on the second floor. The louvered shutters replaced a curtain rail and have been installed onto a demountable frame and therefore, wholly removable. With respect to similar works at other levels, these features ensure aesthetic cohesion across all floors whilst having limited perceptibility more generally. They are therefore appropriate and enhancing to both the functioning and appearance of the property whilst proving of a limited impact upon relevant heritage assets.

BEFORE	AFTER
	



AS BUILT SECOND FLOOR PLAN



Scale Meters



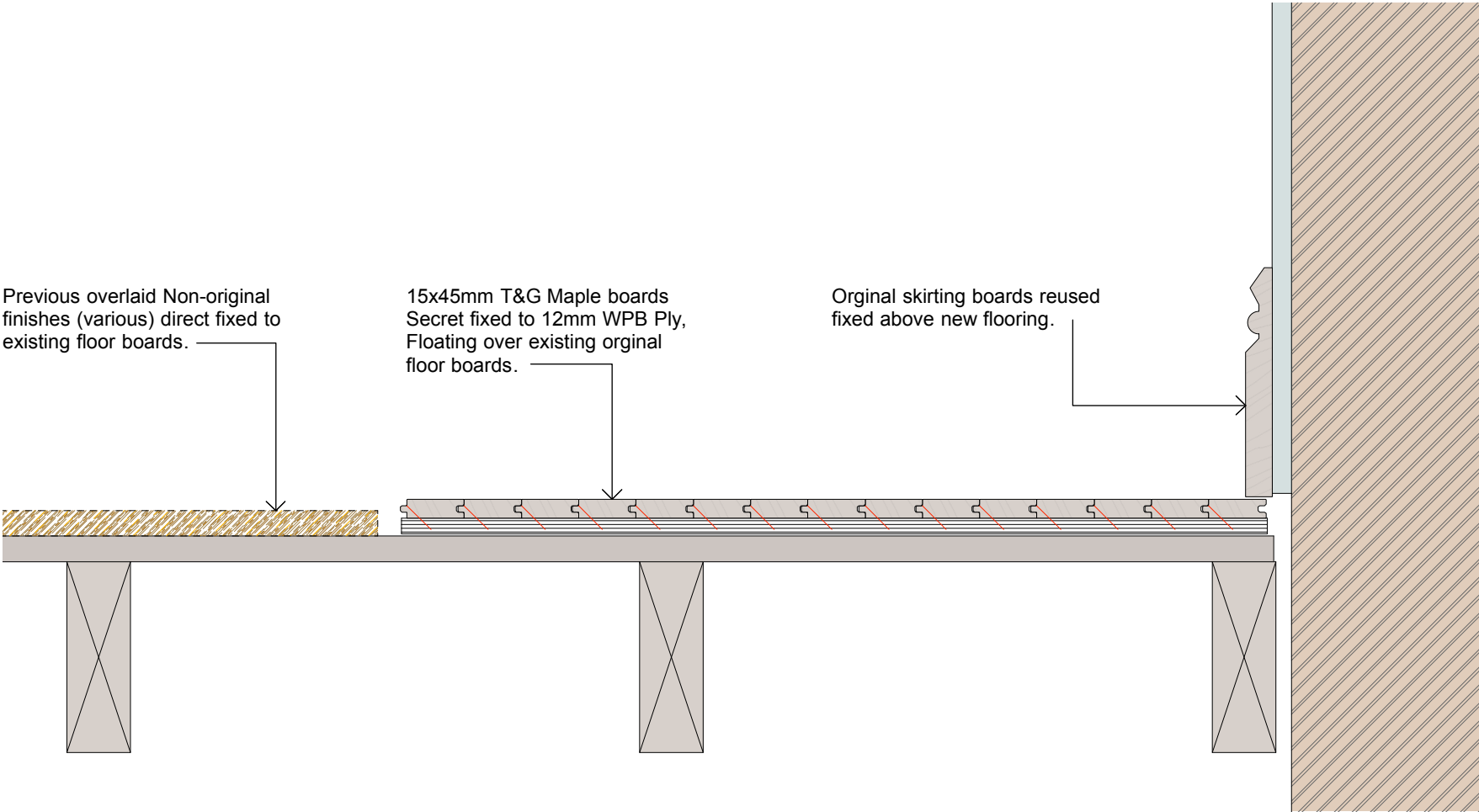
<div>UNDERCOVER</div> <div>ARCHITECTURE LTD</div>	<div>The Studio 48 Mornington Terrace, NW1 7RT</div> <div>T: +44 20 7388 7698 E: info@undercoverarchitecture.com</div>		PROJECT TITLE	48 MORNINGTON TERRACE LONDON, NW1 7RT	DATE	SEPTEMBER 2020	DRAWING TITLE	AS BUILT SECOND FLOOR PLAN	REVISION	AS BUILT	<div>This drawing is the copyright of Undercover Architecture Ltd and may not be copied, altered or reproduced in anyway or passed to a third party without written authority. All dimensions are subject to site survey and site verification. Do not scale.</div>
			CLIENT	UNDERCOVER ARCHITECTURE LTD	SCALE	1:100 @ A3	DRAWING N.	AS 104			

24.

Works	Replacement flooring
Response	Works are wholly reversible and being unattached do not materially affect special interest. The original floor boards are still present with the new floating timber floor laid over.





BEFORE	AFTER
	

24.



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				ARCHITECTURE LTD							

Works	The removal of the plaster ceilings and wall plaster and exposed brick
Response	These works were implemented as a direct result of severe decay – owing to copper tanks in roof leaking etc. Whilst stabilising the property, original brick work has been revealed; inherently better revealing the significance of the host structure.

BEFORE	AFTER
<div></div>	<div></div>