

Delegated Report		Analysis sheet	Expiry Date:	17/08/2020
		N/A	Consultation Expiry Date:	15/08/2020
Officer			Application Number(s)	
Ben Farrant			2020/2787/P	
Application Address			Drawing Numbers	
240 Camden High Street London NW1 8QS			See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Erection of mansard style roof extension and change of use of second floor from ancillary retail space (Use Class A1) to a self-contained flat (Use Class C3).				
Recommendation(s):		Refused		
Application Type:		Full Planning Application		

Conditions or Reasons for Refusal:	Refuse Permission			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	00	No. of objections	00
Summary of consultation responses:	<p>A site notice was displayed between 22/07/2020 and 15/08/2020</p> <p>No responses were received.</p>			
Camden Town Conservation Area Advisory Committee (CAAC)	<p>The Camden Town CAAC responded with the following:</p> <p>“Whilst this property is outside the Camden Town Conservation Area the proposed mansard is objected to because the addition of another storey fundamentally alters the scale of the street which remains very predominantly 2 storeys not 3. The current diminutive scale and strong simple parapet line (with no visible roof / attic storeys) contributes greatly to the character of this iconic street which should not be eroded by such an addition, especially as both party walls will have to be raised prominently to accommodate what would be the first mansard roof extension in this section of the road (between Jamestown Road and the canal).</p> <p>The proposed design of the dormer windows is also objected to - utilising GRP is incorrect in relation to historical precedent and is not appropriate nor sensitive to a building of this period, as is asserted. The dormers are too high, the windows are poorly proportioned and too small within them, and there is too much vertical joinery below the windows. The proportions are thus wrong and do not enhance nor preserve the host dwelling.</p> <p>Whilst not objecting to the principle of residential accommodation above the retail unit this is not the right way to make this conversion.”</p> <p><i>Officer Response: Noted.</i></p>			

Site Description

The application site is a three storey mid-terraced property located on the north-eastern side of Camden High Street. The building contains a commercial unit (Use Class A1) with a full length ground floor rear extension which benefits from a lawful development certificate (ref: 2019/4542/P dated 14/10/2020). The property is not listed, nor is it located within a conservation area. The closest conservation area (Regent's Canal Conservation Area) is located approximately 22m to the north-west of the site, with the closest listed building (Hampstead Road Bridge) some 32m to the north-west. The topography slopes upwards towards the Hampstead Road Bridge, with the properties along Camden High Street stepped to suit.

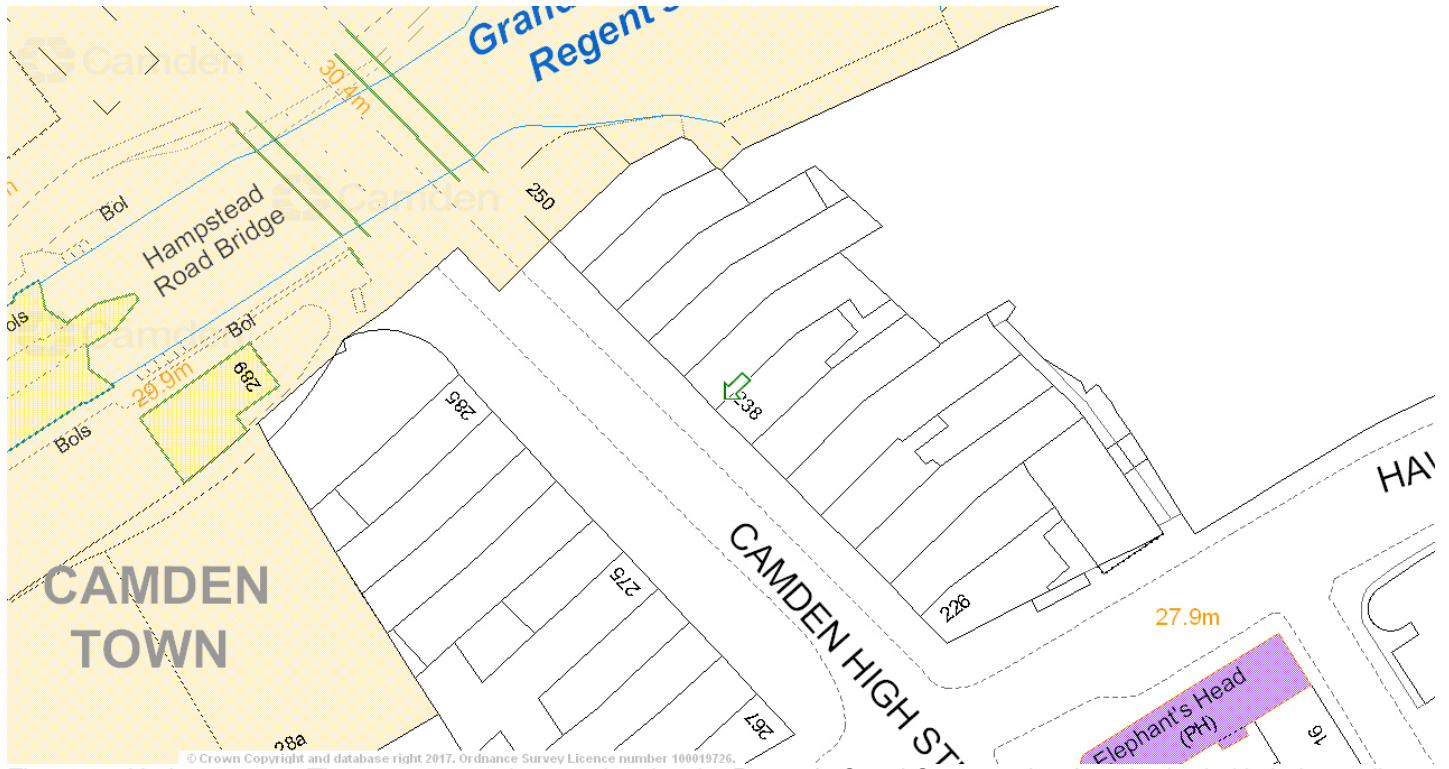


Figure 01: Heritage map – The green arrow denotes the site, the Regent's Canal Conservation Area is shaded in beige, yellow buildings with green outlines represent listed buildings, and the 'Elephant's Head' public house (shaded in purple) is locally listed.

This stretch of the Camden High Street comprises of a row of terraced properties on either side of the street. The properties are commercial in nature at ground floor (and often basement), generally with residential accommodation above. Whilst the properties are generally finished with the unique style of signage associated with Camden High Street, the buildings themselves are generally uniform in their character, comprising three storey terraced properties often finished in London stock brick (or painted brick) with sash windows to the upper floors. The roofs of the buildings are also similarly styled with valley roofs on 16 of the 22 properties in this stretch of Camden High Street. The remaining 6 properties have removed their original valley roofs and replaced with flat roofs. The properties generally have raised party walls at roof level featuring chimney stacks which are visible from street level.

There are two anomalies to this on the north-eastern side of the street toward either end of the terrace, no. 230 has been extended upwards to form another full storey, though there is no planning history for these works. And no. 246 is four storeys (and a different material finish). However aside from these anomalies, the street is generally consistent in its scale, form, and pattern.

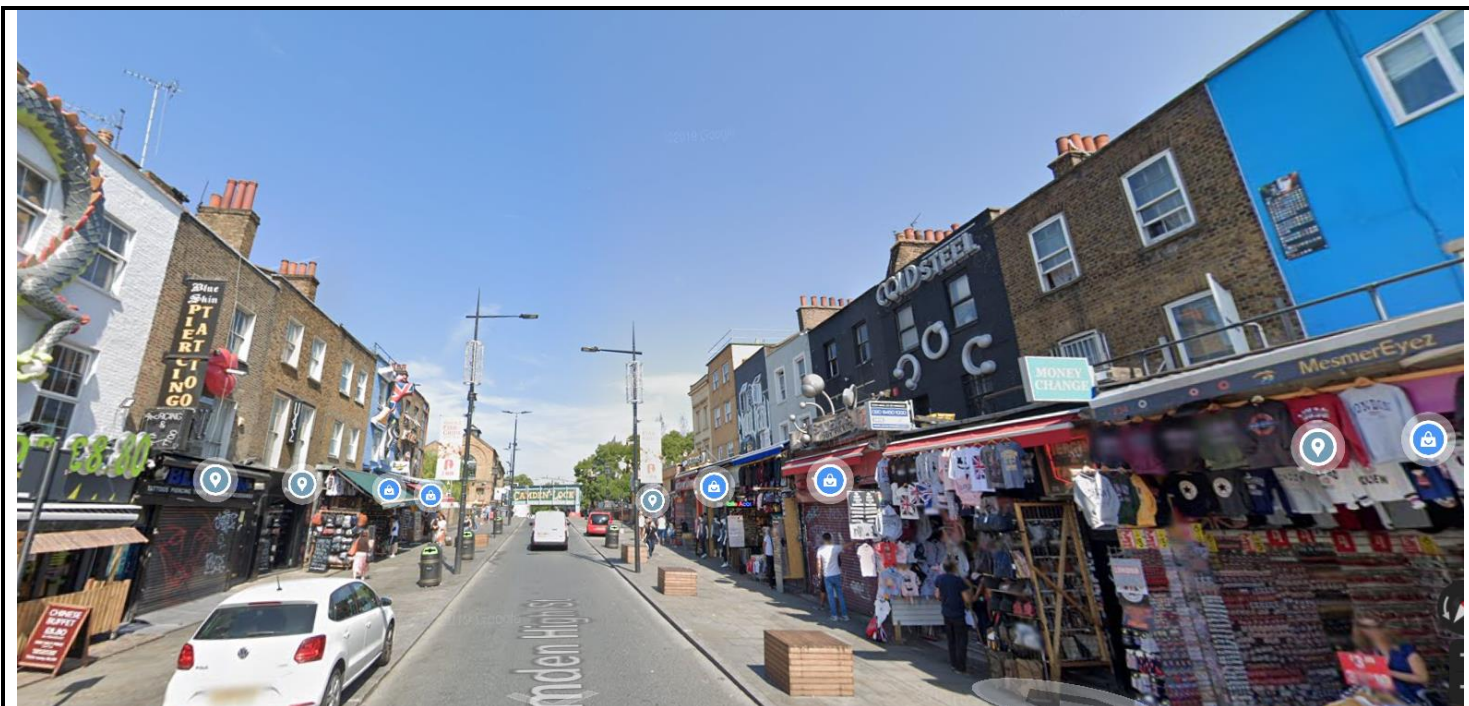


Figure 02: Street view of Camden High Street, application site on the right hand side. Four storey anomaly (no.246) visible in the distance.

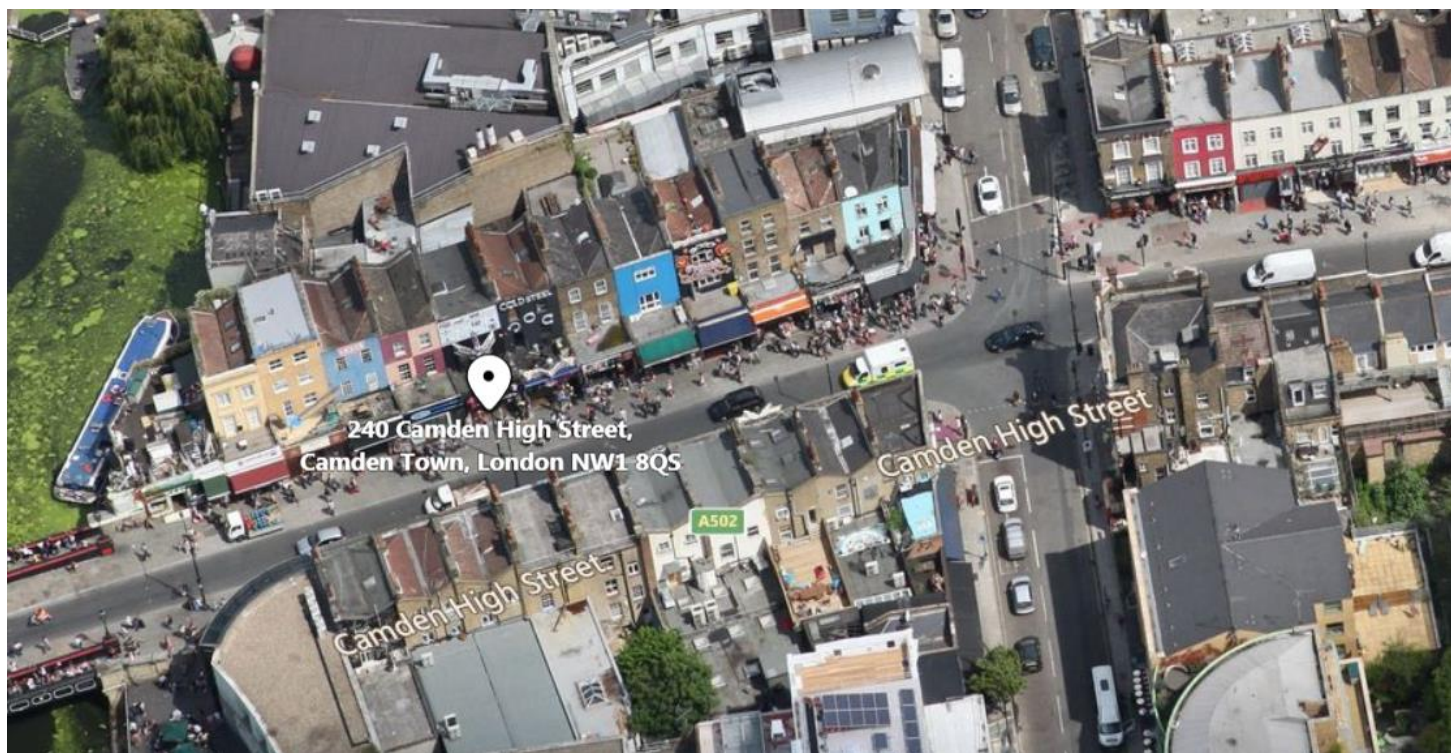


Figure 03: Aerial shot of Camden High Street with a white marker over the application site. Valley roofs are the primary roof form in this stretch, with the remaining (non-original) roofs being flat.

The property is sited within the primary shopping frontage of the internationally renowned Camden Town Centre.

Relevant History

240 Camden High Street (application site)

2020/2071/P - Erection of first floor rear extension (Use Class A1) - **Granted 08/07/2020.**

2019/4542/P - Erection of ground floor rear extension to retail unit (Use Class A1) - **Granted 14/10/2019.**

2003/2850/P - The erection of a rear extension at basement and ground floor level, to provide additional retail floorspace and storage (class A1) for 2 units - **Granted 23/12/2003**.

210 Camden High Street

8701473 - Change of use and works of conversion to provide a 1 bedroom self-contained flat with roof terrace at 1st floor level by means of a rear extension and a 2 bedroom maisonette at 2nd and 3rd floor levels with roof terrace at 2nd floor to rear; erection of a 2 storey rear extension at basement and ground floor to provide additional retail and ancillary storage workshop and administrative office accommodation; alteration of the shop front to form new entrances to shop and flats above as shown on drawing no`s.001 002 003 and as revised on 12th May 1988 - **Granted 12/05/1988**.

230 Camden High Street

No relevant planning history.

246 Camden High Street

8400888 - The erection of a two storey rear extension to the ground floor shop and basement for workshop purposes and the erection of a roof extension for residential purposes as shown on your submitted drawings 021/2 and 021/3 and rear elevation - **Refused 08/10/1984, appeal allowed ref: T/APP/X5210/A/84/023780/P5 dated 02/05/1985**.

Relevant policies

National Planning Policy Framework 2019

Chapter 12 - Achieving well-designed places

Chapter 16 - Conserving and enhancing the historic environment

The London Plan March 2016

Intend to Publish London Plan 2019

Camden Local Plan 2017

A1 - Managing the impact of development

A4 - Noise

D1 - Design

D2 - Heritage

H1 - Maximising housing supply

H4 - Maximising the supply of affordable housing

H6 - Housing choice and mix

H7 - Large and small homes

C5 - Safety and security

C6 - Access for all

T1 - Prioritising walking, cycling and public transport

T2 - Parking and car free development

T3 - Transport infrastructure

T4 - Sustainable movement of goods and materials

TC1 - Quantity and location of retail development

TC2 - Camden's centres and other shopping areas

CC1 - Climate change mitigation

CC2 - Adapting to climate change

CC4 - Air quality

DM1 - Delivery and monitoring

Camden Planning Guidance

CPG Altering and Extending your Home (2019)
CPG Design (2018)
CPG Amenity (2018)
CPG Home Improvements (Draft) (2020)

Regent's Canal Conservation Area Appraisal and Management Plan (2008)

Assessment

1.0. Proposal

- 1.1 Proposed is the erection of a mansard style roof extension. The proposal has been amended since its original submission to reduce the overall height of the dormer (by lowering the existing roof level), setting it further back from the front elevation, and reducing the scale of the dormers. The proposal now protrudes 2m above the existing front parapet. The existing side boundary walls and chimney stack would be demolished and replaced with new boundary walls. These would project 300mm higher than the roof of the proposed mansard, and 1.1m higher than the original walls. The mansard would be set back 1.4m from the rear edge of the front parapet (1.85m back from the front elevation) and would be finished with timber framed windows, with slate tiles and Glass Reinforced Plastic (GRP) dormers.
- 1.2 The extension would house a new 1 bed duplex over the existing second floor and proposed newly formed mansard third floor. The living area would be contained to roof level, with the bedroom and a study at second floor. The second floor would change its use from ancillary commercial space to form this residential accommodation. Access to the duplex would be achieved via an existing staircase within the building, though at ground floor this would require the formation of a separate hallway with dedicated access door onto the street.

2.0 Design

- 2.1 Local Plan policy D1 (Design) states that The Council will seek to secure high quality design in development. The Council will require that development: a. respects local context and character; b. preserves or enhances the historic environment and heritage assets in accordance with policy D2 (Heritage).
- 2.2 Local Plan policy D2 states that The Council will The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings. Whilst the site is not located within a conservation area, it is close to the Regent's Canal Conservation Area. The property is visible on the approach to the Regent's Canal Conservation Area from the iconic Camden High Street. The proposal is considered to have a limited impact on the setting of the conservation area.
- 2.3 CPG Home Improvements (Draft 2020), notes that in adding a further storey to a building, applicants should be aware of the prominence of the roof to appreciate what impact an additional roof level would have on the streetscene and wider area.
- 2.4 CPG Altering and Extending your Home states that (para.4.2) roof alterations or additions are likely to be unacceptable in a number of circumstances including where:
- There is an unbroken run of valley roofs;
 - Complete terraces or groups of buildings have a roof line that is largely unimpaired by alterations or extensions, even when a proposal involves adding to the whole terrace or group as a co-ordinated design;

- Buildings designed as a complete composition where its architectural style would be undermined by any addition at roof level; or
 - Where the scale and proportions of the building would be overwhelmed by additional extension.
- 2.5 With specific reference to mansard designs, CPG Altering and Extending your Home states that mansards will be generally considered an acceptable form of development where they 'are an established feature within a group of buildings or townscape'.
- 2.6 The CPG provides further guidance for valley or butterfly roofs, as would have been constructed on the application site originally. Unfortunately this architectural feature has been removed and replaced with a flat roof (though there is no planning history for this) and so this guidance is no longer directly applicable to this site.
- 2.7 Whilst the proposed side section (plan no. CHS/PM/007B) seeks to demonstrate that the addition would not be visible from the public realm, it is considered that it would be entirely visible from the pavement on the south-western side of Camden High Street as well as in longer views along the street looking both north and south.
- 2.8 The strong and simple parapet line (with no visible roof additions) contributes greatly to the character and appearance of this iconic street. The addition would serve to erode this character and fundamentally alter the character and appearance of this property, serving to undermine the composition and architectural style of the building and adjoining terrace.
- 2.9 The raising of the party walls would add further to the prominence of the proposed addition which would serve to cause harm to the character and appearance of the property and surrounding area. The addition would intrude upon this largely unimpaired roofline, in which mansards do not form an established part of the character. The proposal would undermine the architectural style of the property and terrace, failing to accord with the aforementioned policies and CPGs.
- 2.10 The use of GRP is also considered to be unacceptable, representing a poor quality material on a property located in a prime section of the iconic Camden High Street. The material is not sensitive to the host building or surrounding historic context.
- 2.11 Whilst the Planning Statement submitted with the application highlights precedents of similar development within the area (notably at nos. 210, 230 and 246), it has been established within the site description and planning history sections of this report that these represent anomalies in a street with an otherwise uniform character. No. 210 was approved a significant time ago (1988) under a different policy context, and nos. 230 and 246 have no planning history. They are clearly anomalies in the vicinity and do not represent a part of the established character of development. In any event, each case is determined on its individual planning merits, and the proposal made here for the reasons given above, is considered to be unacceptable in principle.
- 2.12 The mansard addition, by reason of its siting, scale, design and material finish, is considered to represent an uncharacteristic, unsympathetic and harmful addition to the host property, adjoining terrace, and surrounding area contrary to policy D1 (Design) of the Camden Local Plan, and refusal is warranted on this basis.
- 2.13 It is noted that the proposed front elevation (ref: CHS/PM/001A) is inaccurate and does not show the proposed front access door. The floorplan shows that the door an outward opening door would open outwards into Camden High St. This would impede the public highway, which is unacceptable according to Highways Act 1980 Section 153.

3.0 Change of use

- 3.1 The provision of a one bedroom duplex over the existing second floor and proposed newly formed mansard third floor would help to maximise the housing potential of this site in compliance with the aims of policy H1 of the local plan. Though it is acknowledged that one-bed market houses are a low priority housing type as established within policy H7. It is further noted that the proposal would require the loss of commercial floorspace, both at second floor (currently ancillary A1 space) as well as at ground floor to form a new corridor to access the duplex.
- 3.2 No evidence has been submitted to demonstrate that the second floor is currently unusable as commercial floorspace. However, it is acknowledged that the site has been largely extended, consuming the entire rear curtilage at ground floor level as well as benefitting from the first floor and basement levels. The second floor represents an area of 33.8sq. m, with the newly formed corridor at ground floor consuming 6.1sq. m. It would leave approximately 190sq. m of commercial floorspace at ground, basement and first floor levels. It is considered that the proposal would retain a significant level of commercial floorspace on site, and would retain an active frontage. The loss of this floorspace would not harm the function, character or success of the commercial unit or its contribution towards the wider town centre. As such, the land use principle is therefore considered to be acceptable in principle in this instance.

4.0 Standard of accommodation

- 4.1 The Technical Housing Standards - Nationally Described Space Standard (2015) document specifies a minimum floor area of 58sq. m (GIA) for a two storey 1 bed (2 bedspace) unit. The proposed unit would have a floor area of 60sq. m GIA across the second and mansard floors, thereby meeting this standard. The proposed bedroom would exceed the minimum space standard of 11.5sq. m for a double occupancy bedroom, and more than 75% of the GIA of the unit would have a minimum internal height of 2.3m. The unit would be dual aspect with good access to daylight and sunlight. Whilst external amenity space would not be provided, given the town centre location of the property and constraints of the site, this is considered to be acceptable in this instance.
- 4.2 However, the plans show a shared access and core between the residential unit and first floor commercial floorspace. The plans show that both spaces would be accessed from the newly formed front access door, and would utilise the same stair core. This is considered to be an unacceptable arrangement, being detrimental to the amenities of the future occupiers of the residential unit, presenting noise, logistical, and safety/security concerns. For this reason, the proposal is considered to be unacceptable.

5. Impact on neighbours

- 5.1 Policy A1 seeks to ensure that the amenity of neighbouring properties is protected. It states that planning permission will not be granted for development that causes harm to the amenity of occupiers and neighbours in terms of loss of daylight, sunlight, outlook and privacy.
- 5.2 The external alterations would be contained within the existing perimeter of the building, adding a mansard roof. It is considered that the proposed development would not unduly impact on occupiers of surrounding units in terms of daylight, sunlight or outlook. The introduction of residential accommodation to this building would unlikely result in additional levels of noise, or vibration. The level of glazing proposed is typical of residential accommodation and would not result in unduly harmful levels of light overspill. Whilst a degree of overlooking is inevitable with

roof extensions, given the degree of overlooking proposed this is considered not to result in harm to neighbouring occupiers.

5.3 Given the above, the proposal is considered to comply with policy A1 of the Camden Local Plan.

6. Transport and refuse

6.1 Policy T2 of the Local Plan expects new residential development to be car-free to facilitate sustainability, help promote alternative, more sustainable methods of transport and stop the development from creating additional parking stress and congestion, which is particularly important given the parking stress in this area and PTAL of 6b (best). Had the application been recommended for approval, a S106 would be required to remove parking permits of future residents. Given the context of the recommendation this consequently forms a further reason for refusal of the application, although an informative will also specify that without prejudice to any future application or appeal, this reason for refusal could be overcome by entering into a legal agreement in the context of a scheme acceptable in all other respects.

6.2 Policy T1 of the Local Plan requires cycle storage that is covered and secure, and 1 space should be provided for this 1 bed duplex. The proposed plans do not indicate cycle storage and given the constraints of the site, this could not be accommodated on site. As such, the Council could accept a financial contribution towards Bike Hangar spaces. The cost of one Bike Hangar is £3,800, which provides 6 long-stay cycle parking spaces. This development would need to provide 1 space, therefore a total of £633.33 would be sought. This would be secured by S106 agreement if the application was recommended for approval. As with the 'car free' clause, this represents a further reason for refusal, though without prejudice to any future application or appeal, this reason for refusal could be overcome by entering into a legal agreement.

6.3 Typically a construction management plan (CMP) would not be necessary for a development of this type/scale. However, the development is adjacent to Camden High Street, one of the busiest town centres in the borough, therefore a CMP would need to be secured to minimize the impact on the highway infrastructure and neighbouring community. The Council would seek to secure a CMP implementation support contribution of £3,136 and a Construction Impact Bond of £7,500 as section 106 planning obligations in accordance with Policy A1, if a subsequent planning application were to be approved. The Council has a CMP pro-forma which must be used once a Principal Contractor has been appointed. The CMP, in the form of the pro-forma, would need to be approved by the Council prior to any works commencing on site. As above, given the context of the recommendation this consequently forms a further reason for refusal of the application, although an informative will also specify that without prejudice to any future application or appeal, this reason for refusal could be overcome by entering into a legal agreement in the context of a scheme acceptable in all other respects.

6.4 Policy CC5 of the Local Plan requires the adequate storage of waste and recycling, with further detail outlined in CPG Design. No waste storage details are shown on the plans for the proposed residential unit, as such, further details would have been required by condition should approval have been recommended on this site.

7. Affordable housing

7.1 As the level of residential accommodation provided on site would not exceed 100sq. m, the proposal would not represent an affordable housing contribution in compliance with policy H4 of the Camden Local Plan.

8. Recommendation

8.1 Refuse planning permission