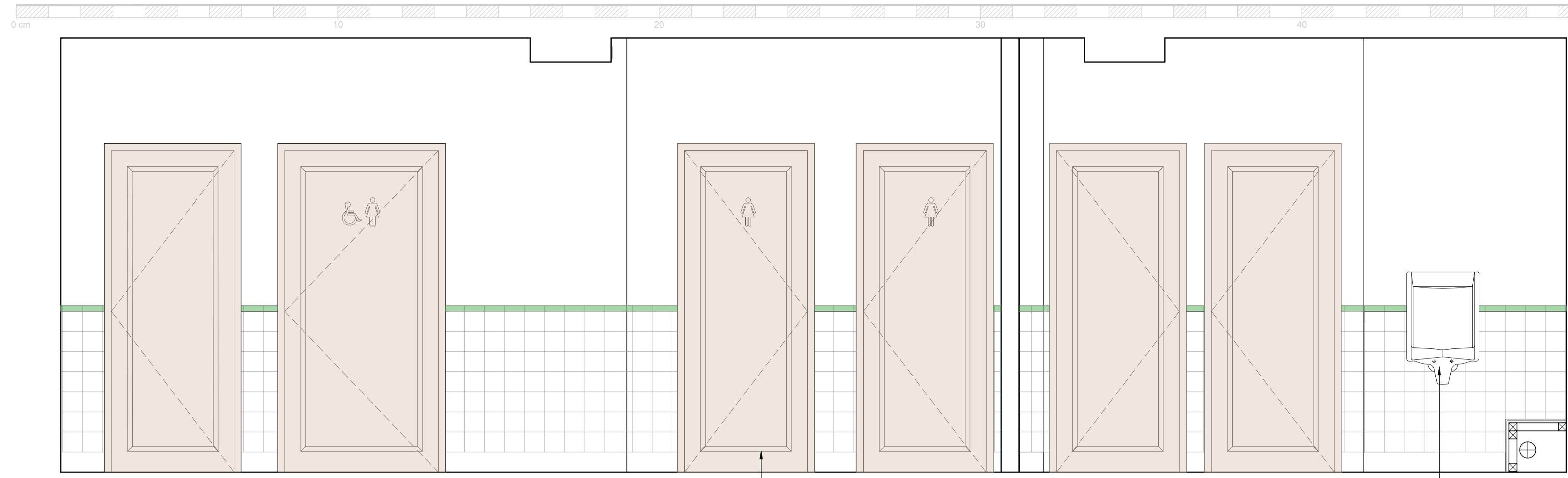


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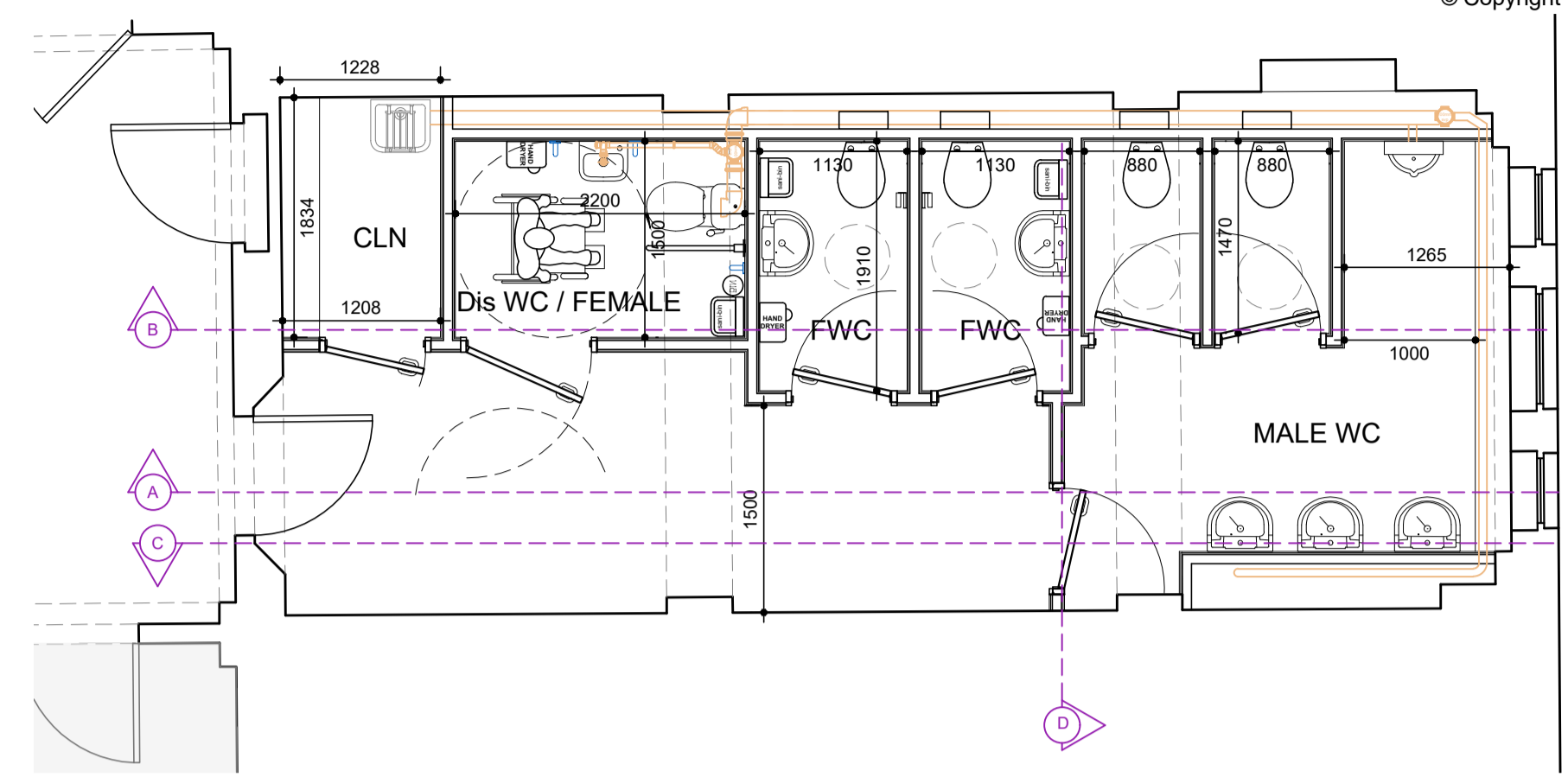
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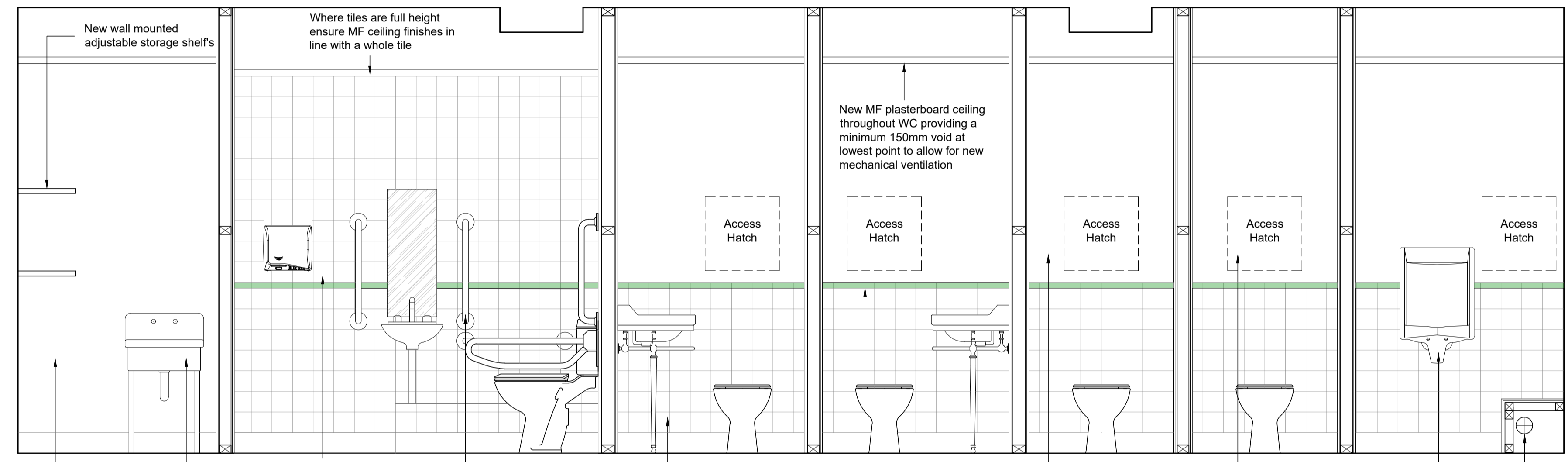
**PROPOSED BATHROOM ELEVATION A**  
SCALE 1:20

All new doors to be solid dark wood to match the existing surrounding doors

New urinal with a fully concealed cistern



**PROPOSED BATHROOM PLAN**  
SCALE 1:50



**PROPOSED BATHROOM ELEVATION B**  
SCALE 1:20

New wall mounted adjustable storage shelves

Where tiles are full height ensure MF ceiling finishes in line with a whole tile

New MF plasterboard ceiling throughout WC providing a minimum 150mm void at lowest point to allow for new mechanical ventilation

Access Hatch

Access Hatch

Access Hatch

Access Hatch

Access Hatch

New cleaners cupboard to receive a painted plasterboard finish

New Alder heavy duty cleaners sink

Wall tiles to be full height in accessible WC

New Doc M accessible WC pack with grab rails and emergency cord

New 'white' ref. DWMT 02 glossy Domus Terroso range 125x125mm (tiles to all walls with 1-2mm grouting gap, refer to specification for further appreciation)

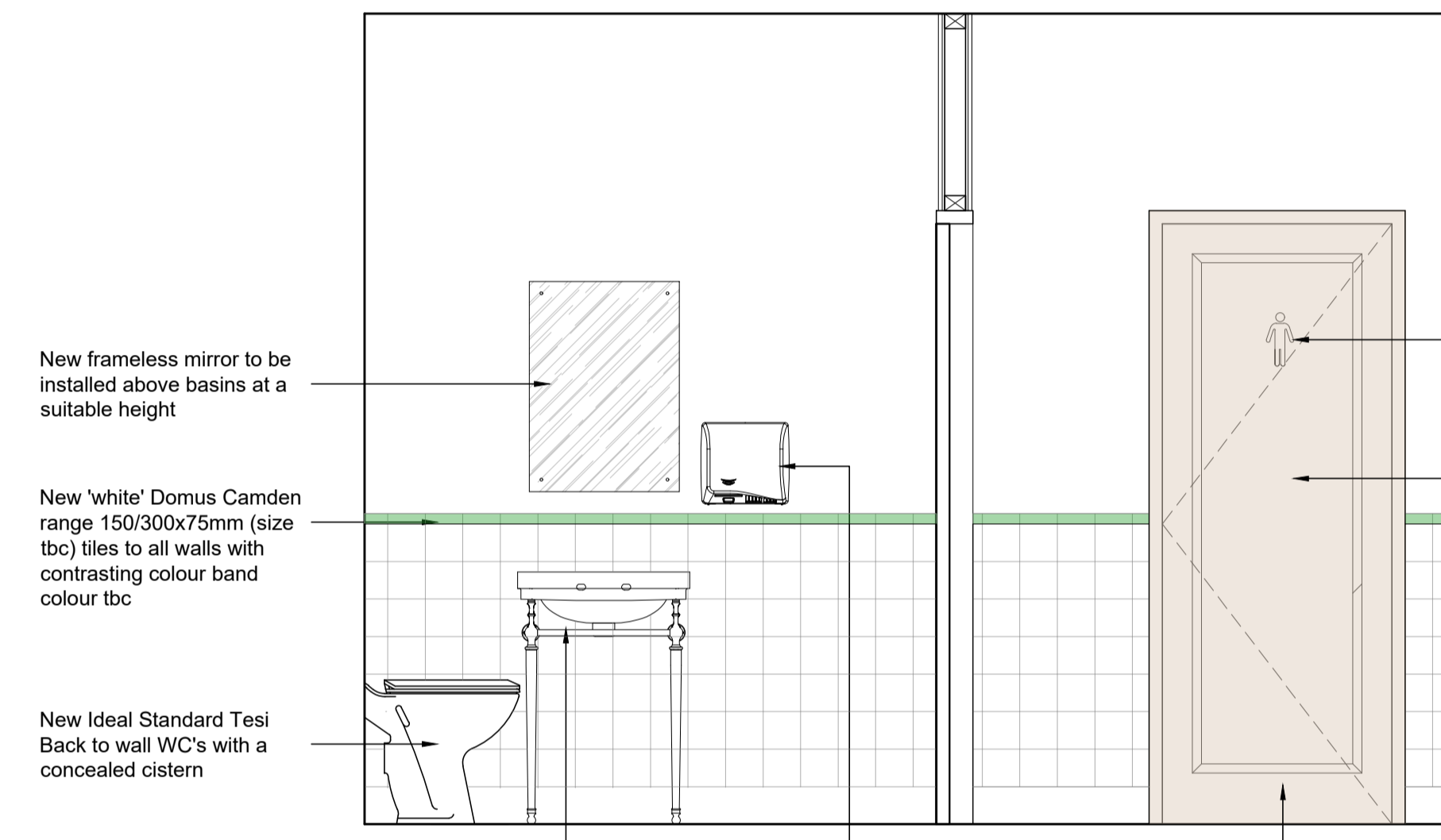
New 'Green' ref. DWMT 06 Glossy Domus Terroso range Bull nose 125x35mm to provide contrasting band

Dulux Pure Brilliant 'White' paint finish above tiling minimum 2 coats

Provide suitable access panel to cistern

New urinal with a fully concealed cistern

New drainage boxing to be confirmed on site to ensure suitable falls



**PROPOSED BATHROOM ELEVATION D**  
SCALE 1:20

New frameless mirror to be installed above basins at a suitable height

New 'white' Domus Camden range 150/300x75mm (size tbc) tiles to all walls with contrasting colour band colour tbc

New Ideal Standard Tesi Back to wall WC's with a concealed cistern

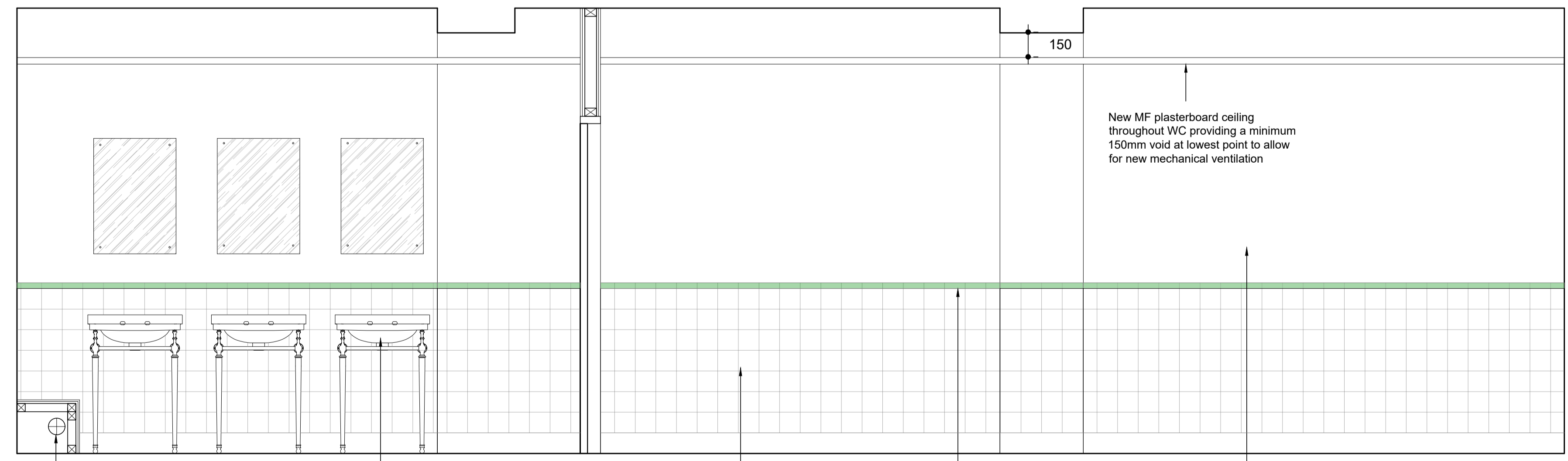
New Burlington Bathrooms Edwardian Round 56cm basin & stand with associated fittings

New hand dryers

All new doors to be solid dark wood to match the existing surrounding doors

Provide and install new signage as specified

All doors for new W/C are to be refurbished and reused from previously demolished rooms 18/19 where ever possible as well as all ironmongery with the exception of new thumb turn locks (tba)



**PROPOSED BATHROOM ELEVATION C**  
SCALE 1:20

New drainage boxing to be confirmed on site to ensure suitable falls

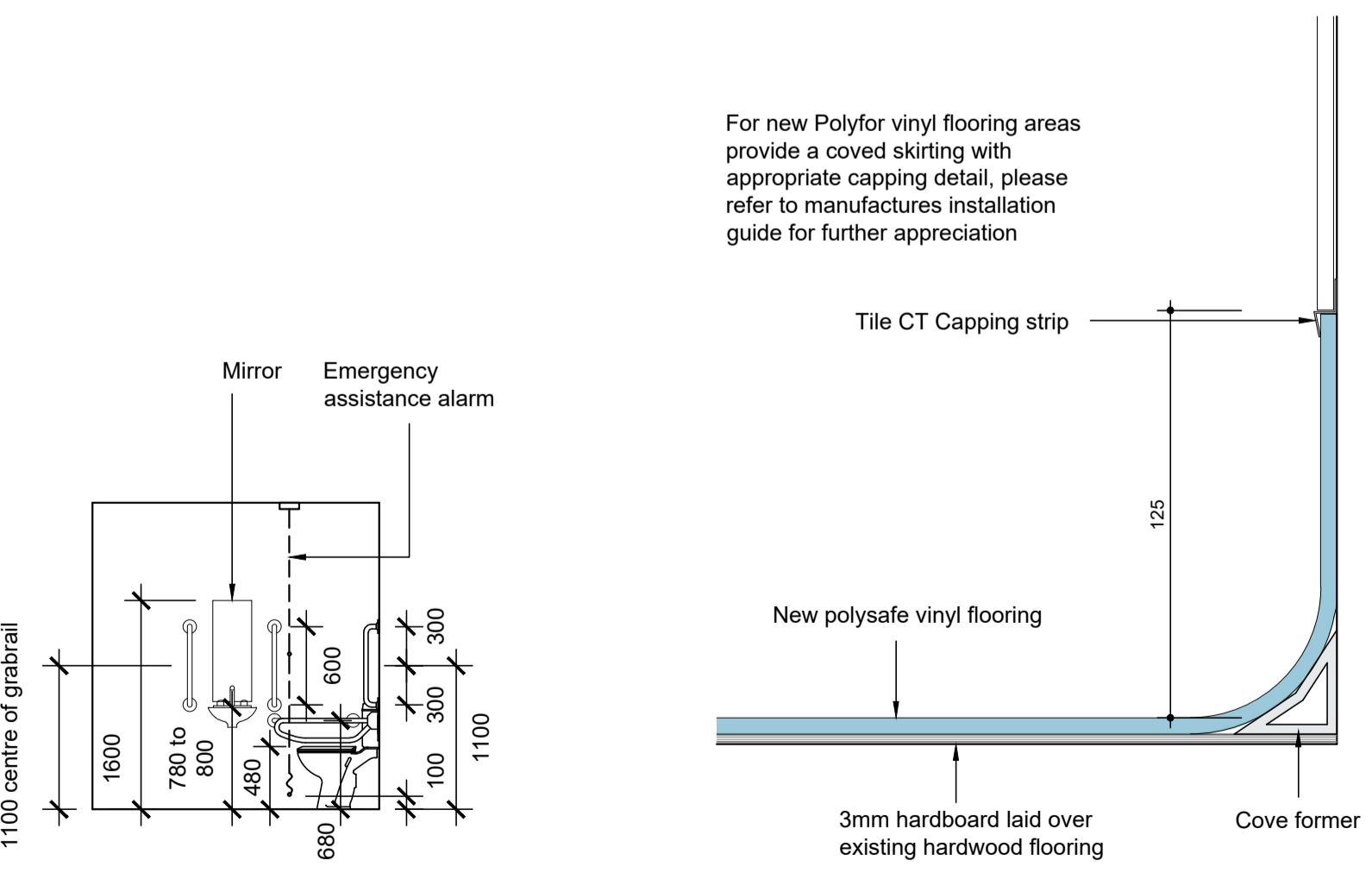
New Burlington Bathrooms Edwardian Round 56cm basin & stand with associated fittings

New 'white' wall Tiles ref. DWMT 02 glossy Domus Terroso range 125x125mm (tiles to all walls with 1-2mm grouting gap,

New 'Green' ref. DWMT 06 Glossy Domus Terroso range Bull nose 125x35mm to provide contrasting band

Dulux Pure Brilliant 'White' paint finish above tiling minimum 2 coats

New MF plasterboard ceiling throughout WC providing a minimum 150mm void at lowest point to allow for new mechanical ventilation



**ACCESSIBLE WC SETTING OUT COVED SKIRTING DETAIL**  
SCALE 1:2

For new Polyfor vinyl flooring areas provide a coved skirting with appropriate capping detail, please refer to manufactures installation guide for further appreciation

Tile CT Capping strip

New polysafe vinyl flooring

3mm hardboard laid over existing hardwood flooring

Cove former

Rev.	Amendment	Date



Client: UNITED GRAND LODGE OF ENGLAND

Project: FREEMASONS HALL  
GREAT QUEEN STREET WC2  
REFURBISHMENT OF LODGE ROOMS

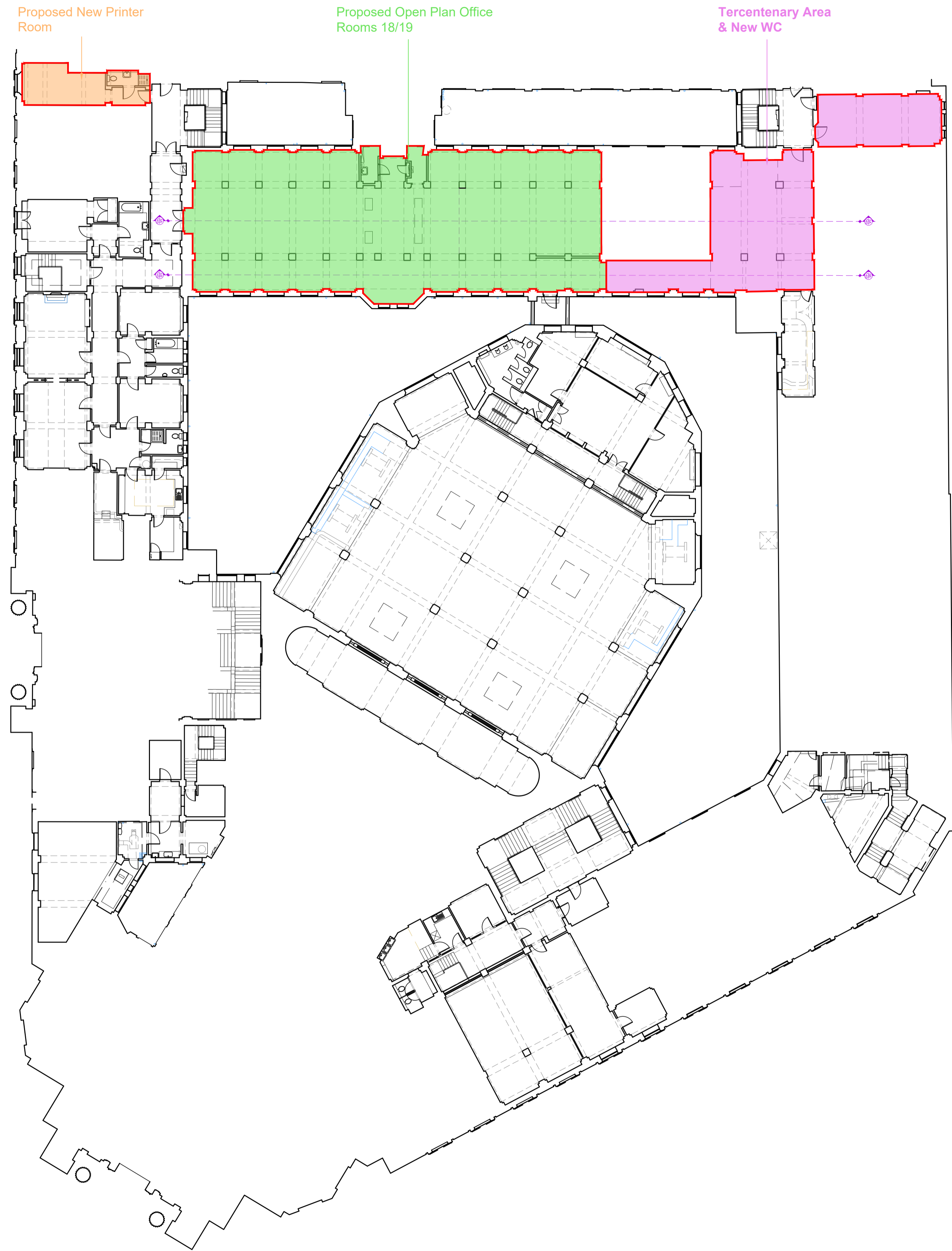
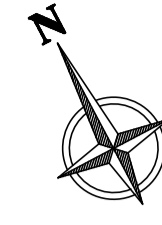
Title: PROPOSED NEW WC  
PLAN & ELEVATIONS

Drawn by: AG Date: 01-07-20

Checked by: DE/RH

Scale @ A1: 1:20/50 Drg. No.: 16911-14

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UPPER GROUND FLOOR /MEZZANINE PLAN  
SCALE 1:200

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Rev.	Amendment	Date
	Planning Issue	



Client **UNITED GRAND LODGE OF ENGLAND**  
 Project **FREEMASONS HALL  
 GREAT QUEEN STREET WC2  
 REFURBISHMENT OF LODGE ROOMS**

Title **SITE LOCATION PLAN**

Drawn by: AG Date: 23-06-20

Checked by: DE/RH

Scale @ A1: 1:200 Drg. No.: 16911-16

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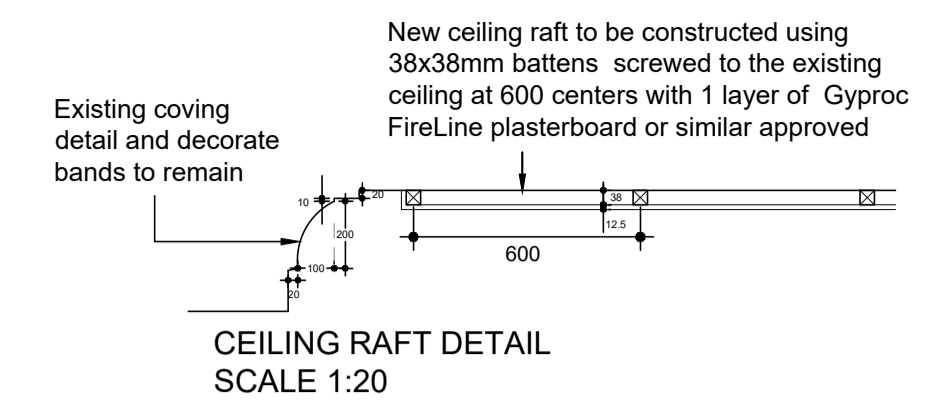
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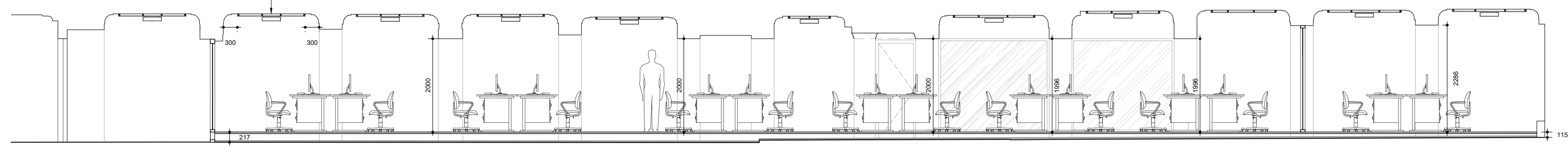
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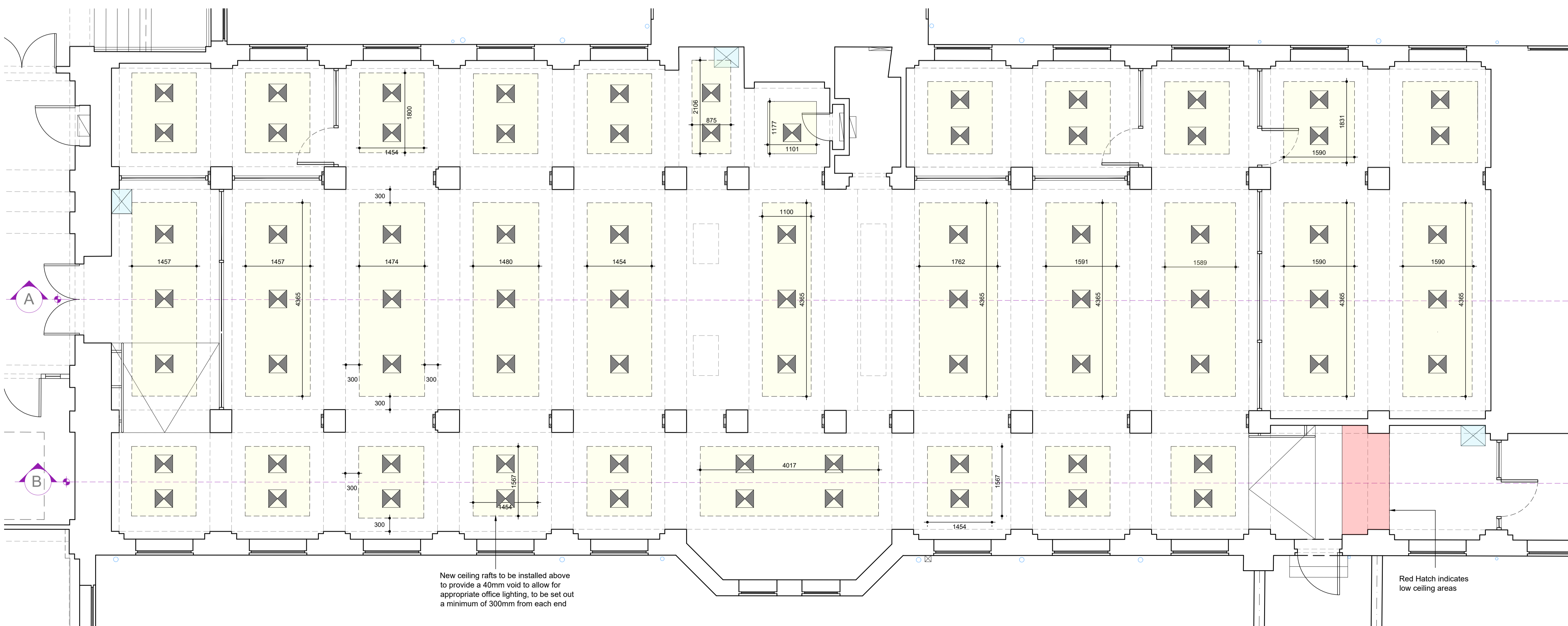
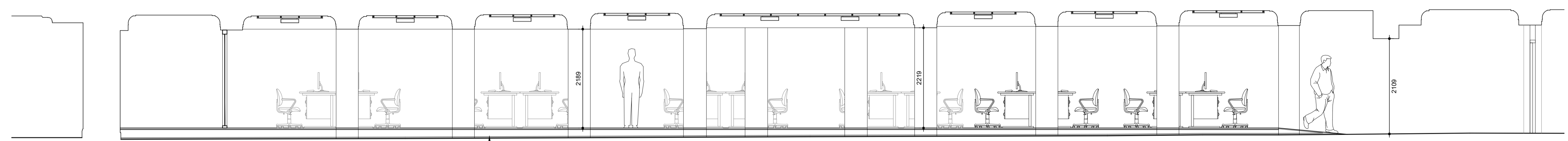
NOTE:  
All ceiling raft and other dimensions to be checked and confirmed on site



New ceiling rafts to be installed above to provide a 38mm void to allow for appropriate office lighting, to be set out a minimum of 300mm from each end



New raised flooring system to new office, to have a minimum of 60mm void to allow for new services



Planning Issue		
Rev.	Amendment	Date



Client: UNITED GRAND LODGE OF ENGLAND  
Project: FREEMASONS HALL  
GREAT QUEEN STREET WC2  
REFURBISHMENT OF LODGE ROOMS

Title: PROPOSED UPPER GROUND LEVEL ROOMS 18/19 CEILING PLAN

Drawn by: AG Date: 09-07-20

Checked by: DE/RH

Scale @ A1: 1:50/1000 Drg. No.: 16911-12

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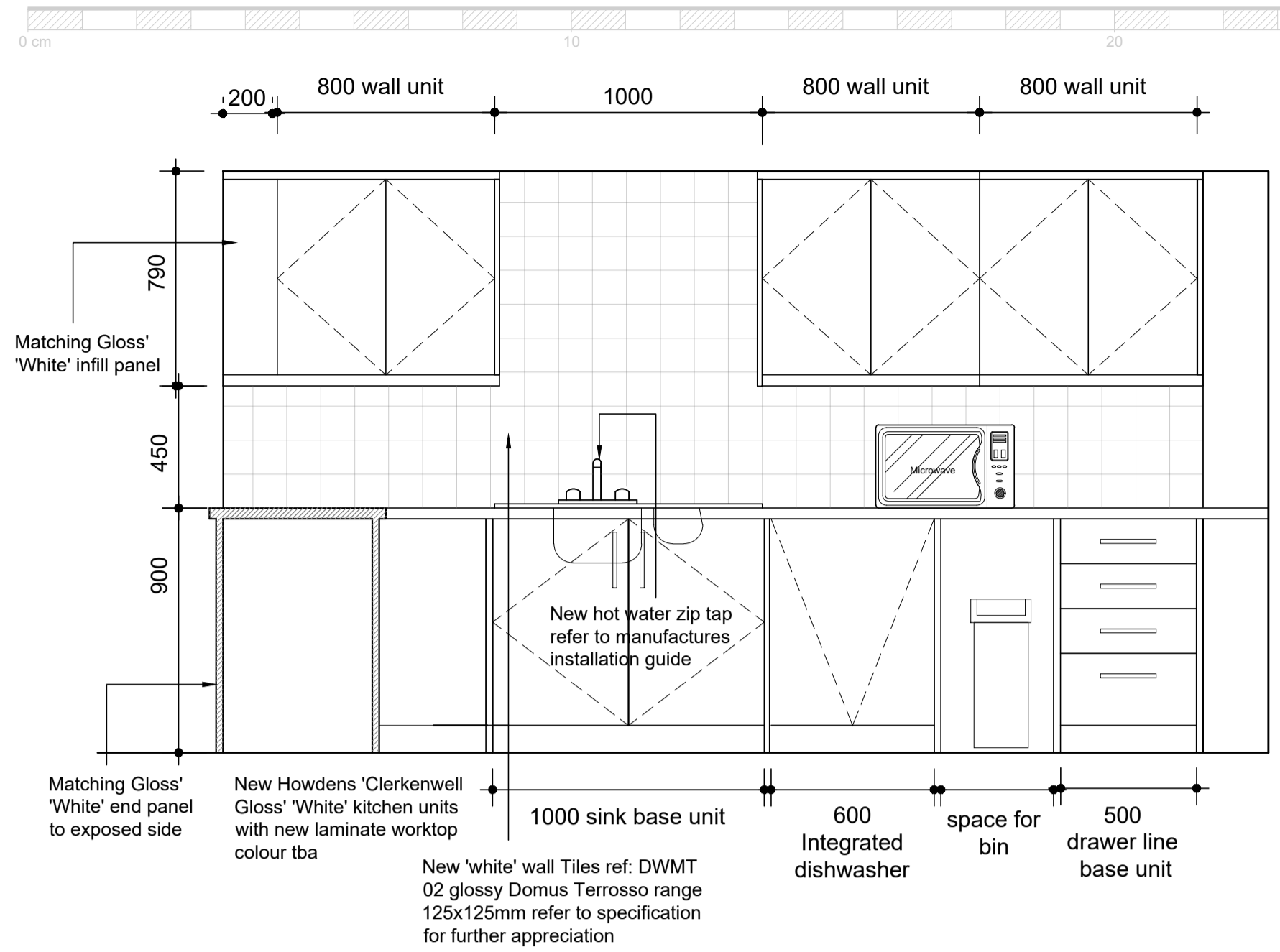
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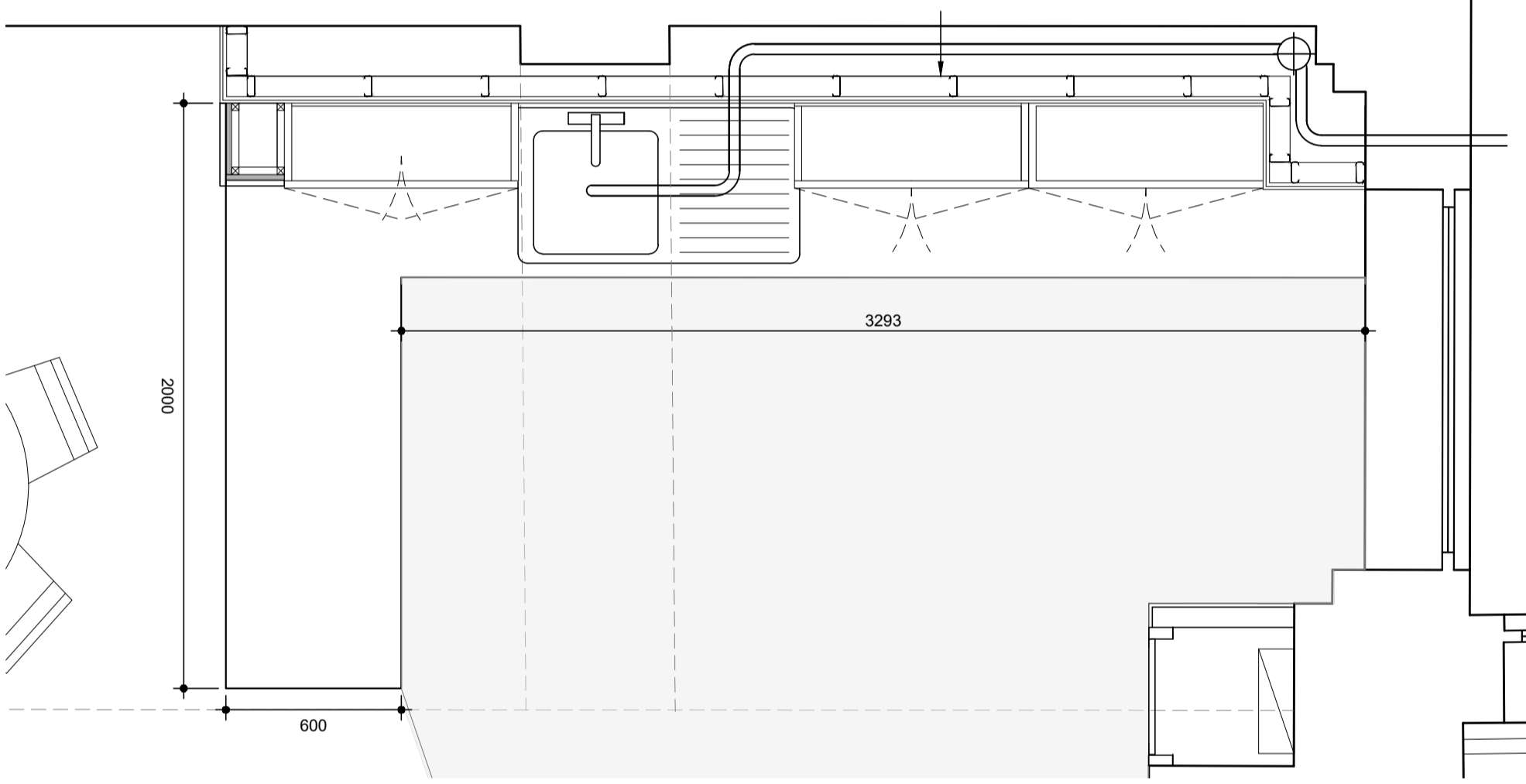
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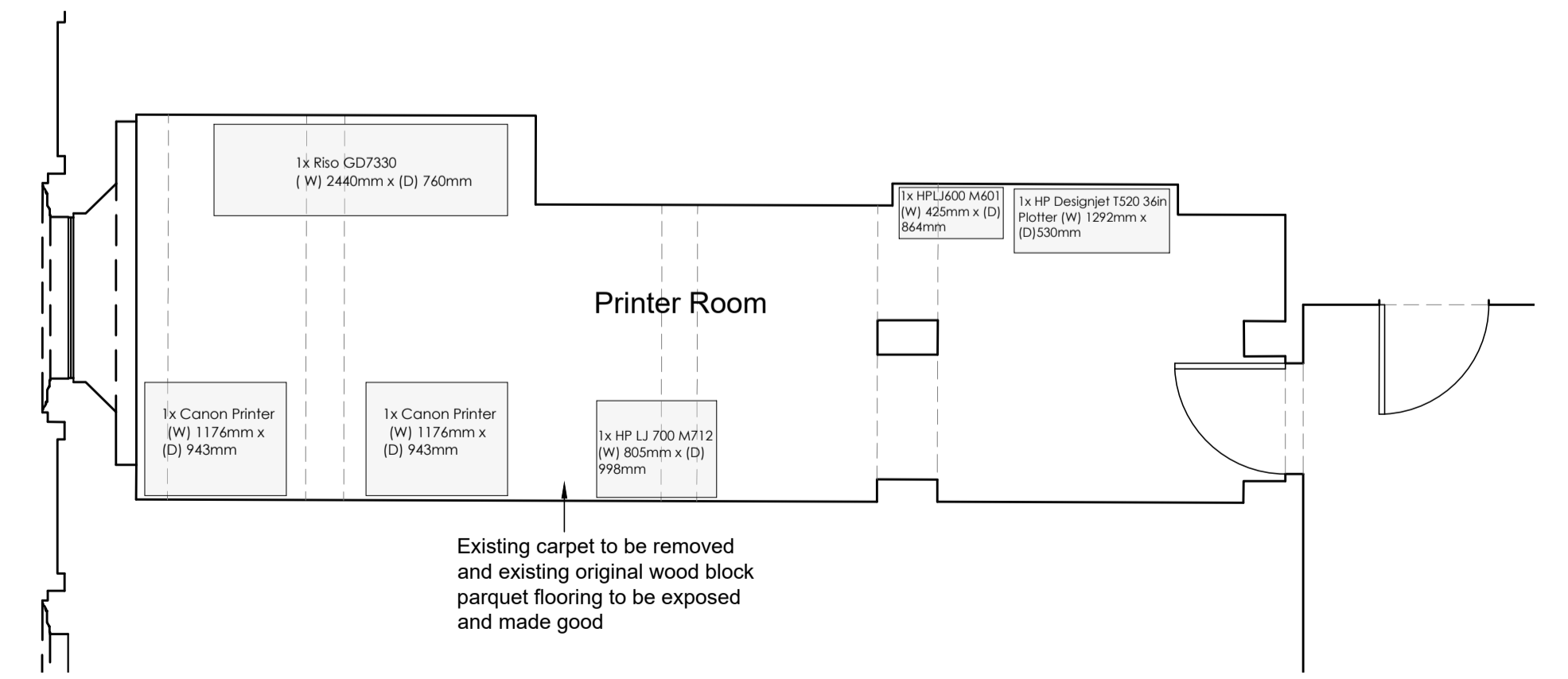


**PROPOSED KITCHEN ELEVATION**  
SCALE 1:20

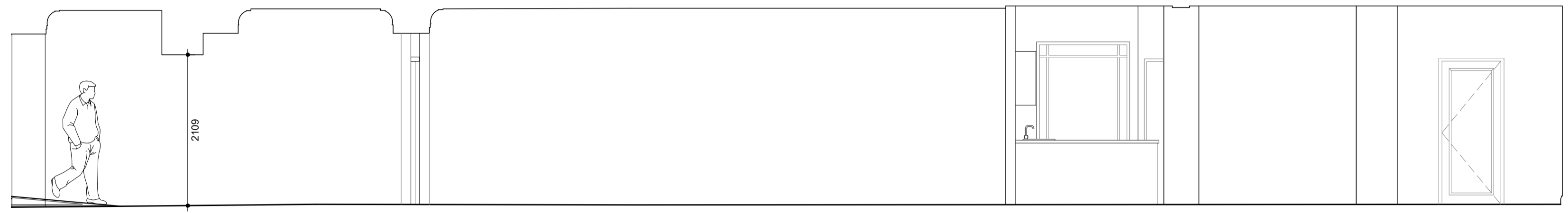
Construct new stud work wall to conceal new gravity assisted drainage route, new drainage route to exit out the external wall and connect into an existing waste system Please refer to Edward Pearce found under section 4 of the Tender documentation for further information



**PROPOSED KITCHEN PLAN**  
SCALE 1:20



**PROPOSED PRINTER ROOM**  
SCALE 1:50

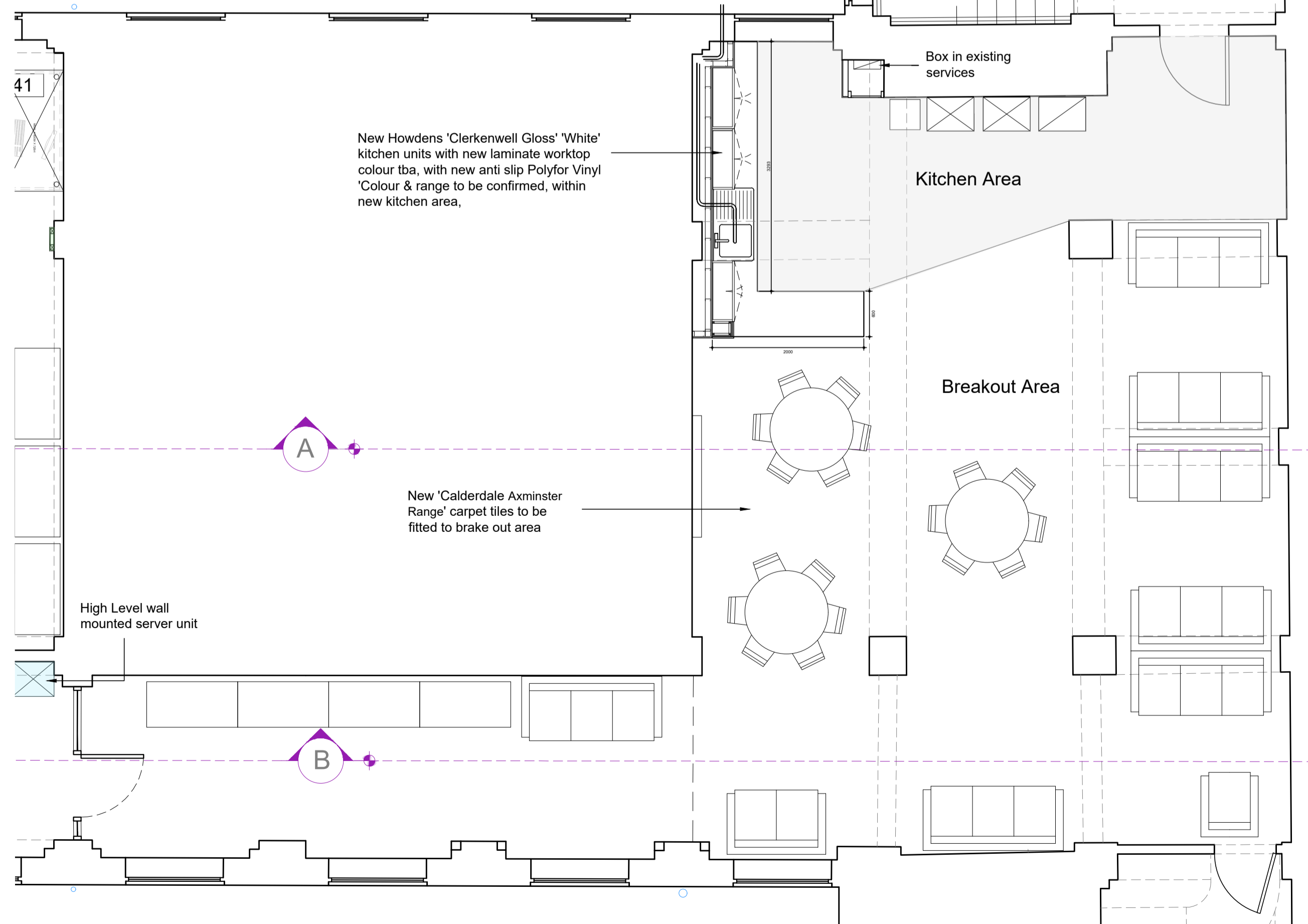


**PROPOSED SECTION B**  
(Continued from Drawing 16911-12)  
SCALE 1:50

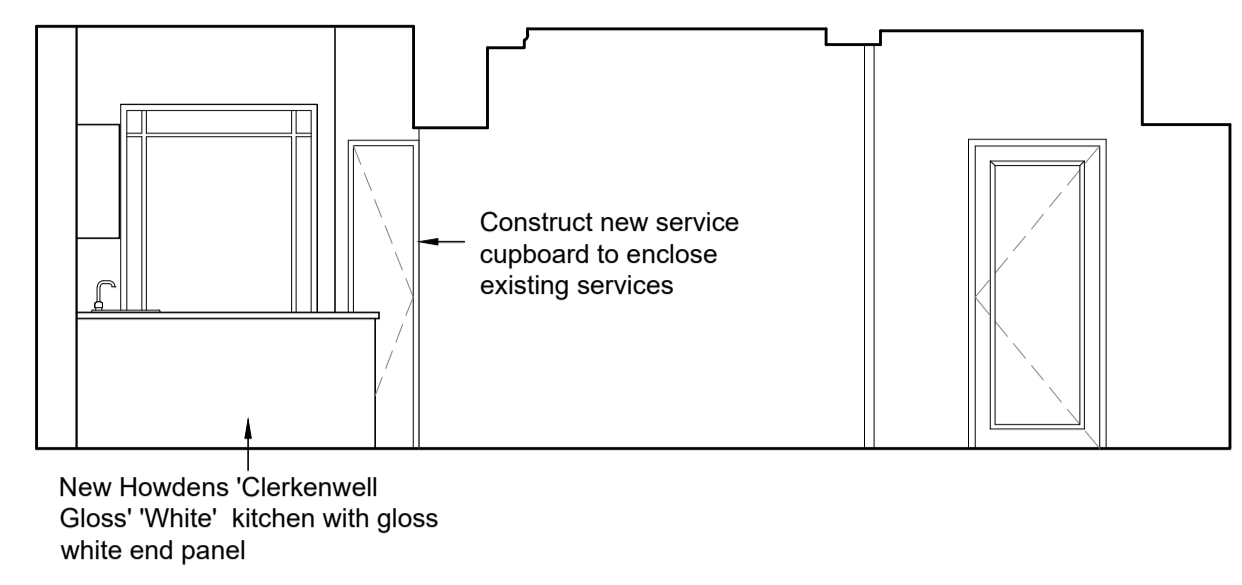
TABLE 2 - COMMON BRANCH DISCHARGE PIPES (UNVENTILATED)

APPLIANCE TO BE CONNECTED	MAX. NO. TO BE CONNECTED	MAX. LENGTH OF BRANCH PIPE (m)	MIN. SIZE OF PIPE (mm)	GRADIENT LIMITS (mm FALL PER m)
WC OUTLET > 80mm	8	15	100	18 to 90
WC OUTLET < 80mm	1	15	75	18 to 90
URINAL - BOWL		3'	50	18 to 90
URINAL - TROUGH		3'	65	18 to 90
URINAL - SLAB		3'	50	18 to 90
WASHBASIN or BIDET	3	1.7	30	18 to 22
		1.1	30	18 to 44
		0.7	30	18 to 87
		3.0	40	18 to 44
		4.0	50	18 to 44

1 SHOULD BE AS SHORT AS POSSIBLE TO PREVENT DEPOSITION  
2 MAY BE REDUCED TO 50% ON LONG BRANCH WHERE SPACE IS RESTRICTED, BUT ONLY IF MORE THAN 1 WC IS CONNECTED  
3 NOT RECOMMENDED WHERE DISPOSAL OF SANITARY TOWELS MAY TAKE PLACE VIA THE WC, AS THERE IS AN INCREASED RISK OF BLOCKAGES  
4 EQUAL URINALS LONGER THAN PERSONS SHOULD HAVE MORE THAN ONE OUTLET



**PROPOSED TERCENTENARY AREA & TOILETS**  
SCALE 1:50



**PROPOSED SECTION A**  
(Continued from Drawing 16911-12)  
SCALE 1:50

Please refer to drawing Ref:16911-14 and specification for finishes and further appreciation

**ABOVE GROUND DRAINAGE**

ABS and UPVC solvent welded waste system. All pipes to be provided with suitable rodding access points in each change in direction. Traps to sanitary fittings are have a minimum 75mm deep water seal SVP's to be taken a minimum of 900mm above the head of any window within 3.0m and provided with a durable cage to the top. 100mm Dia SVP's to have a large radius bend at its base. (min 200mm rad) typical waste pipe sizes.

Sinks - 3m for 40mm pipe - 4m for 50mm pipe.  
Washing Machine and Dishwashers - stand pipe 50mm  
Was basin - 1.7m for 32mm pipe - 4m for 40mm pipe  
Bath / shower - 3m for 40mm pipe - 4m for 50mm pipe

If the maximum length given above are exceeded then anti-vac traps are to be used.

The use of collar boss and or double branch is to be used on multiple fitting layouts. Ventilated stub stacks are to be fitted with marley 'durgo' automatic air admittance valves. Any encasement to pipe work to be fitted with suitable access panels at all rodding points.  
Where pipes pass through compartment walls and floors, pipes to be fitted with fire collars or similar approved fitted in accordance with manufactures recommendations, all gaps around pipe work to be infill with intumescent sealant to achieve minimum 1 hours fire resistance [building regulation part b - fire appendix a compartment floor and wall where top storey is over 5m above ground level minimum fire resistance 60 minutes] first foul water connection on the main run to be vented.

Rev.	Amendment	Date



Client: UNITED GRAND LODGE OF ENGLAND  
Project: FREEMASONS HALL  
GREAT QUEEN STREET WC2  
REFURBISHMENT OF LODGE ROOMS

Title: PROPOSED UPPER GROUND LEVEL  
TERCENTENARY, WC & NEW PRINTER ROOM

Drawn by: AG Date: 18-06-20

Checked by: DE/RH

Scale @ A1: 1:20/50/500 Drg. No.: 16911-13

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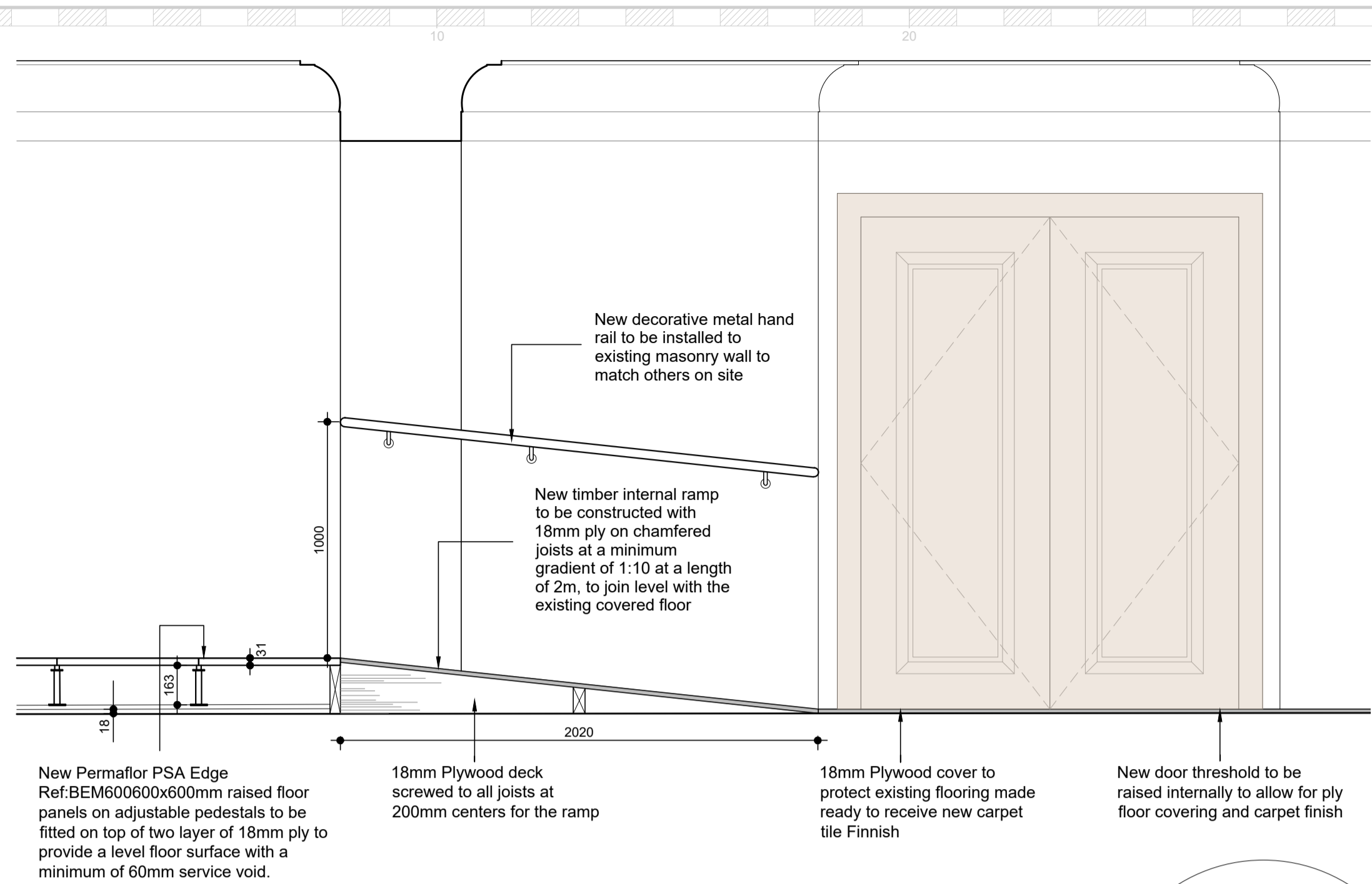


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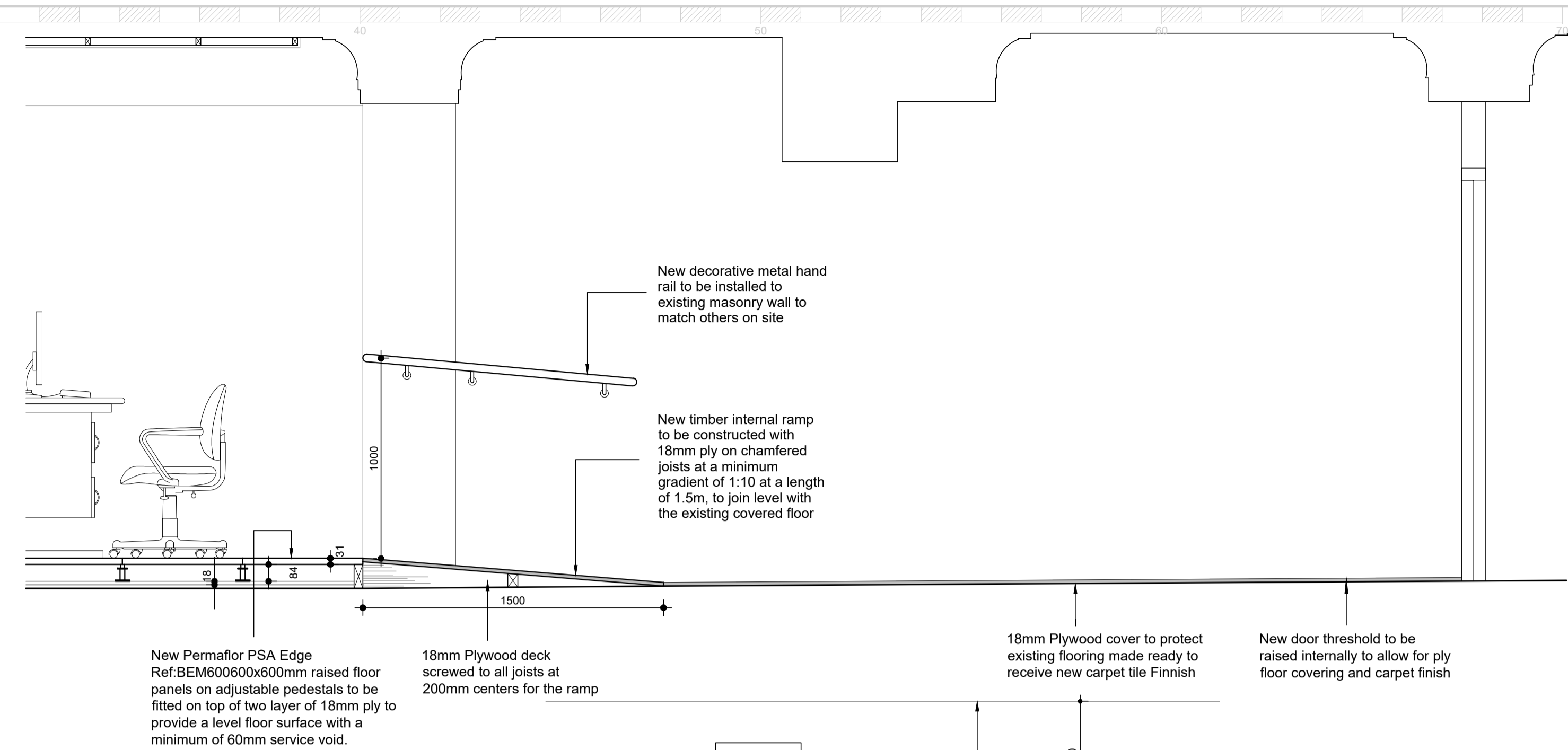
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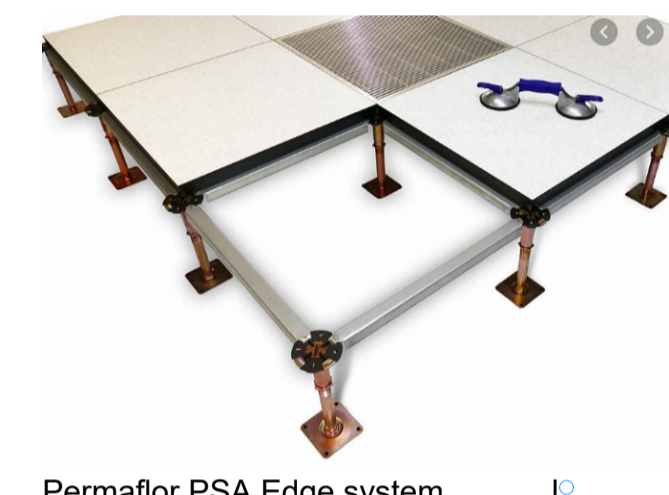
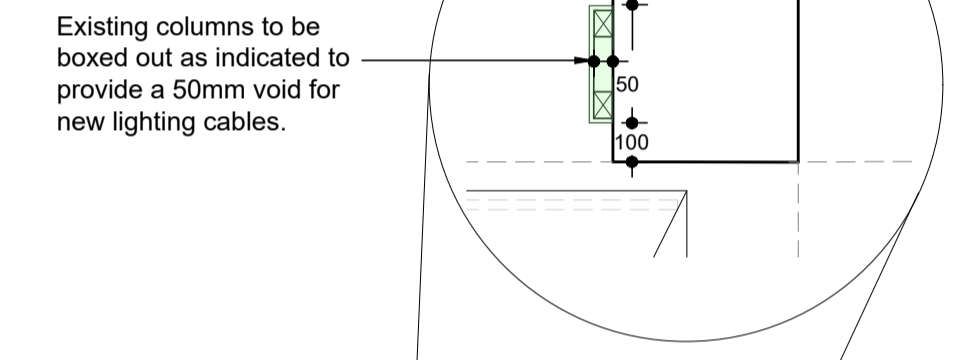
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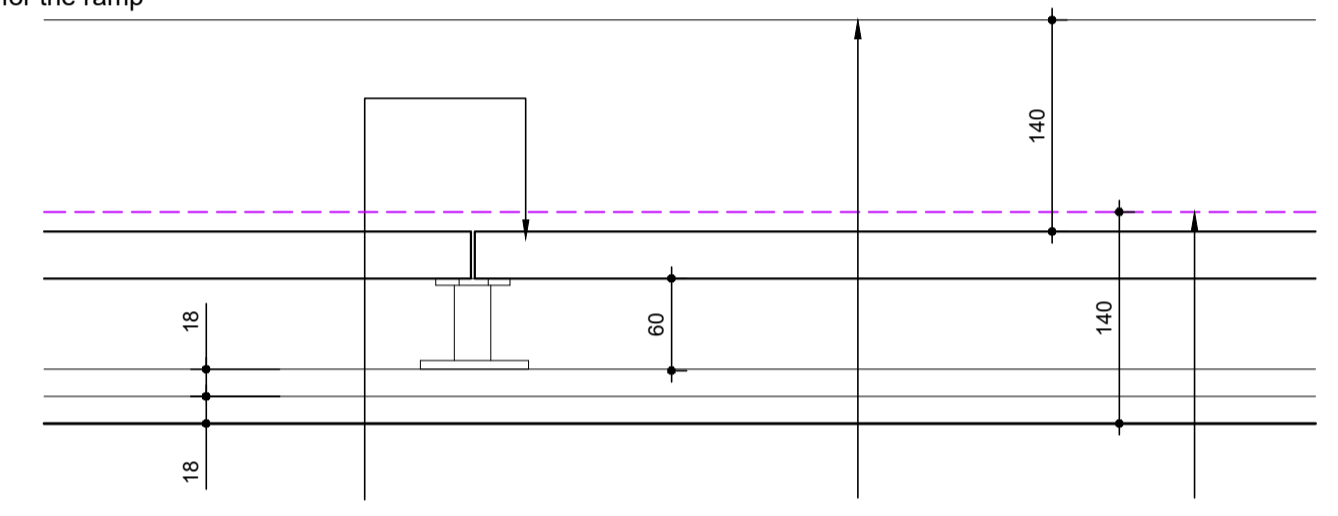
**PROPOSED RAMP SECTION A**  
SCALE 1:20



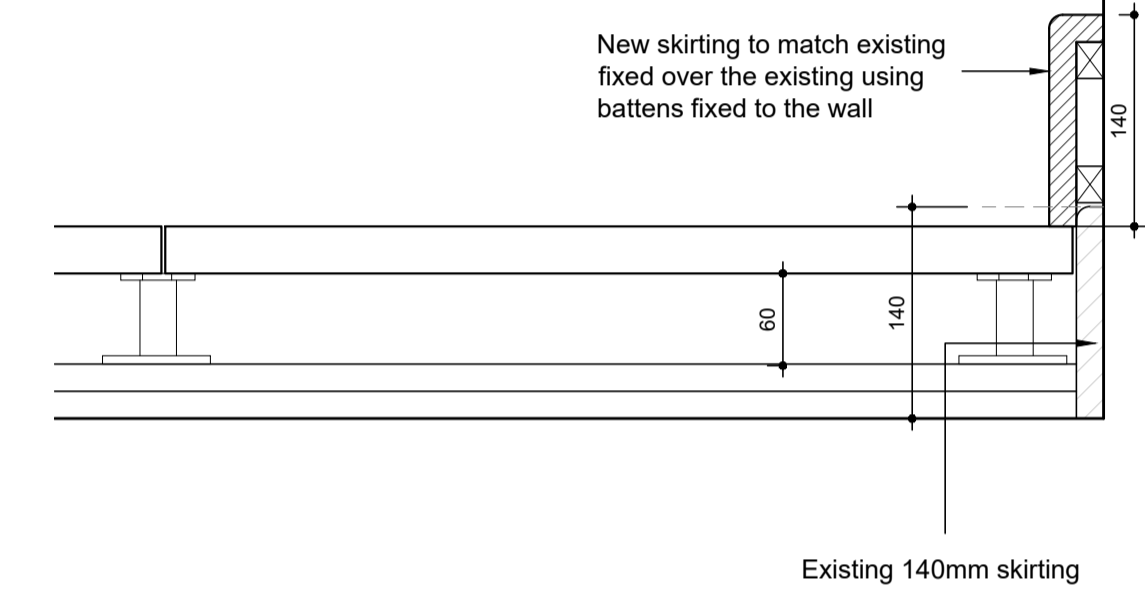
**PROPOSED RAMP SECTION B**  
SCALE 1:20



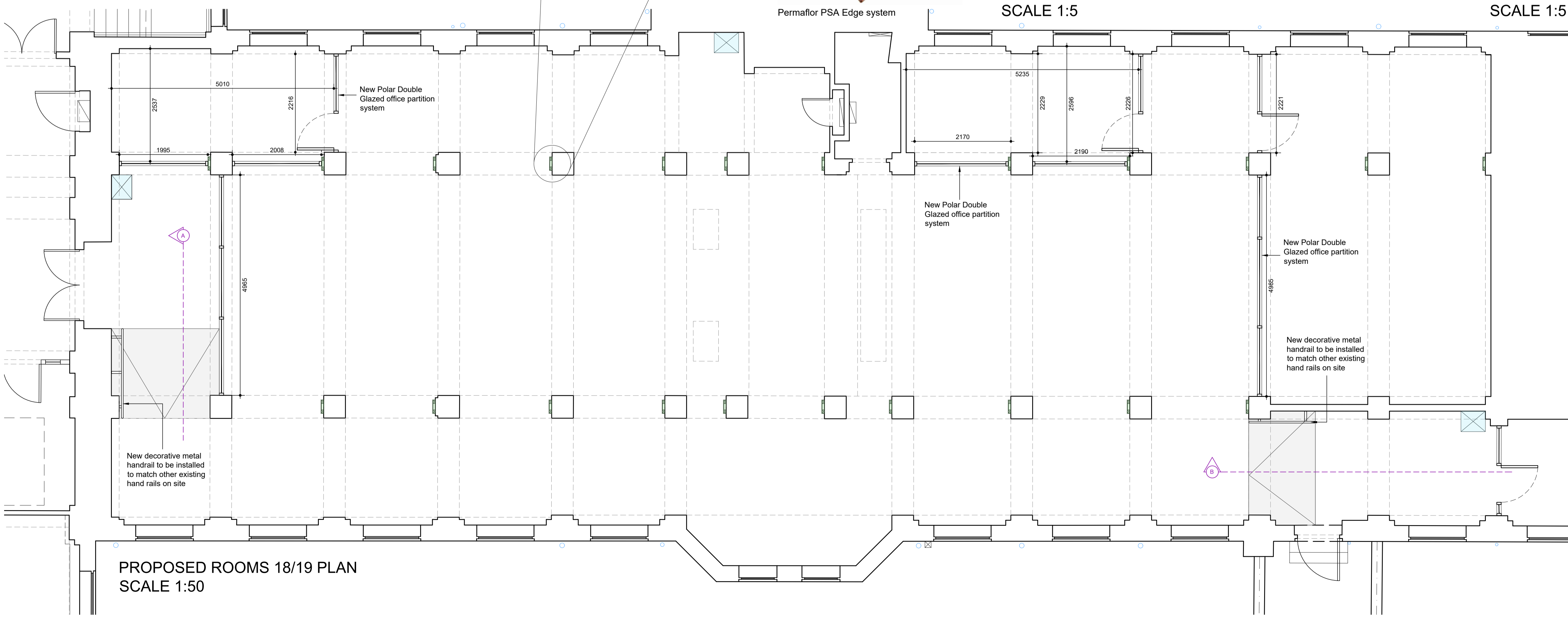
Permaflor PSA Edge system



**PROPOSED FLOOR DETAIL**  
SCALE 1:5



**PROPOSED SKIRTING DETAIL**  
SCALE 1:5



**PROPOSED ROOMS 18/19 PLAN**  
SCALE 1:50

Rev.	Amendment	Planning Issue	Date



Client: UNITED GRAND LODGE OF ENGLAND  
Project: FREEMASONS HALL  
GREAT QUEEN STREET WC2  
REFURBISHMENT OF LODGE ROOMS

Title: PROPOSED UPPER GROUND LEVEL  
ROOMS 18/19 SETTING OUT PLAN

Drawn by: AG Date: 17-06-20

Checked by: DE/RH

Scale @ A1: 1:20/50 Drg. No.: 16911-11

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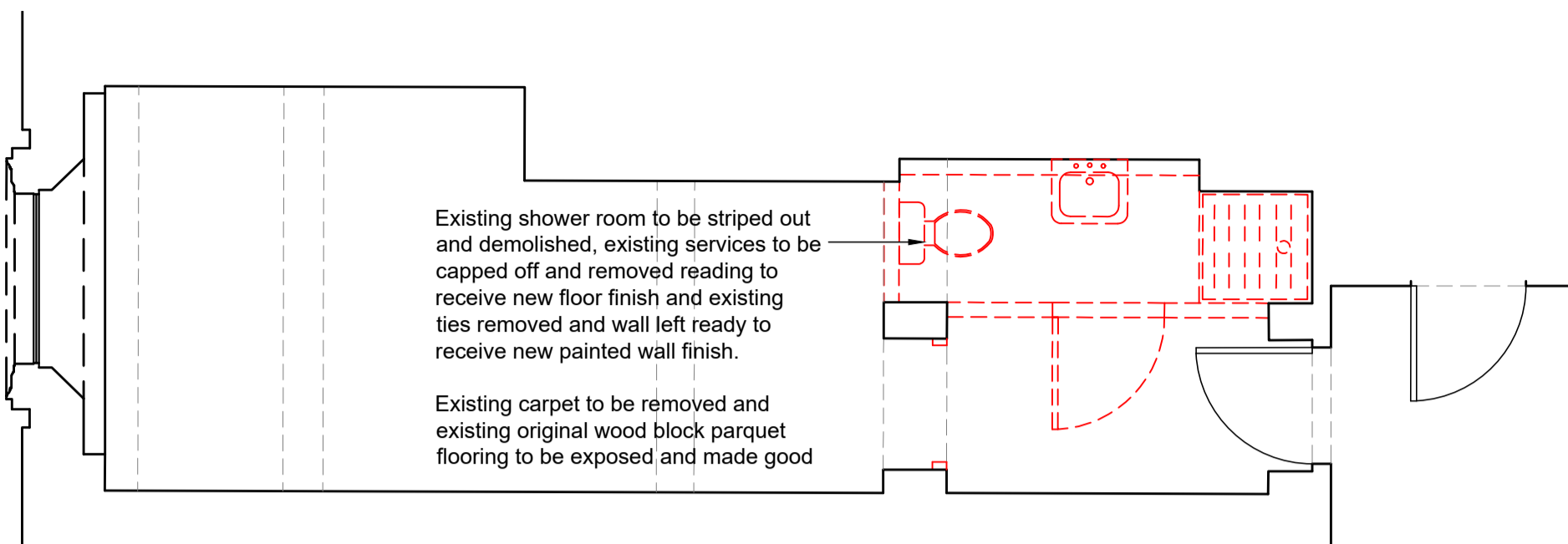
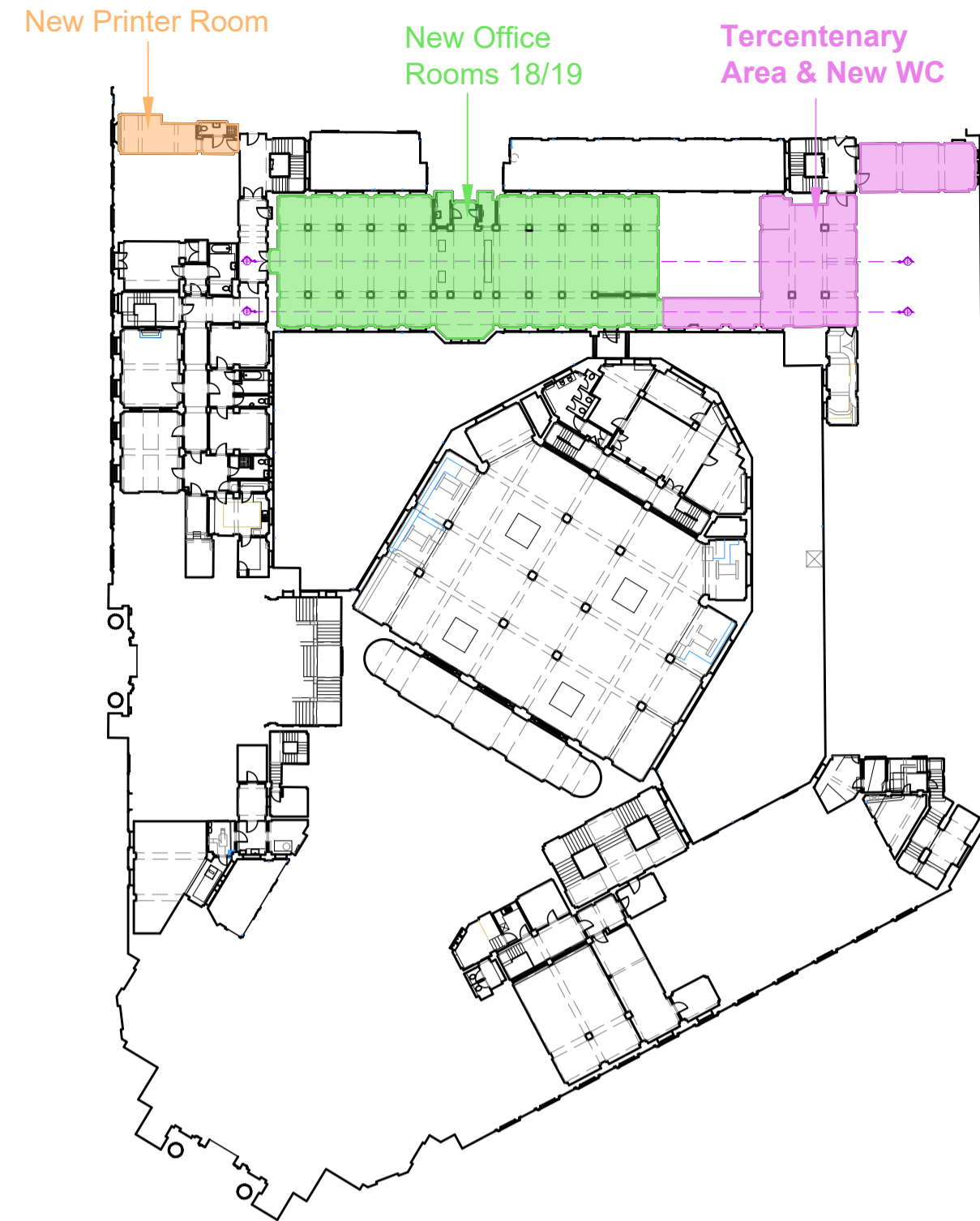
**NOTES:**

LINE TYPE DENOTES ITEMS TO BE REMOVED. ALLOW TO MAKE GOOD ADJACENT SURFACE WHERE FIXING HAS BEEN REMOVED IN WALL / FLOOR ETC.

BEFORE DEMOLITION OF ANY WALLS, CONTRACTOR TO CHECK THEY ARE NON LOAD-BEARING AND ALL SERVICES HAVE BEEN IDENTIFIED AND TERMINATED IN ACCORDANCE WITH THE M&E SPECIFICATION.

ISOLATE SERVICES BACK TO INCOMING HEADS AND REMOVE REDUNDANT SERVICES

REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR FORMING ALL OPENING IN EXISTING FLOORS / CONCRETE RING BEAMS.



**PROPOSED PRINTER ROOM DEMOLITION PLAN**  
(Proposed Work Area 4)  
SCALE 1:50

**MEZZANINE/UPPER GROUND LEVEL PLAN**  
SCALE 1:500

**CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015.**  
ALL THOSE INVOLVED IN THE PROJECT DESIGN, CONSTRUCTION, MAINTENANCE, DEMOLITION AND USE OF THE BUILDING / FACILITIES ARE TO COMPLY WITH THE COM-15 REGULATIONS AND DUTIES THEREIN DESCRIBED

SHOWN ON THE DRAWINGS ARE HAZARDS ASSOCIATED WITH THE WORKS, THE LIST IS NOT CONCLUSIVE AND MAY BE LIABLE TO CHANGE AS THE PROJECT EVOLVES. REFER ALSO TO OTHER CONSULTANTS H&S INFORMATION

**SITE SECURITY & ACCESS MANAGEMENT**  
THE PC TO DISCUSS AND AGREE A SAFE METHOD OF PROTECTING THE WORKERS, OWNERS, OCCUPIERS OR VISITORS TO THE SITE, AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES

**WELFARE PROVISION**  
CONTRACTOR TO PROVIDE WELFARE FACILITIES AS SHOWN IN SCHEDULE 2 OF THE CDM-2015 REGULATIONS INCLUDING: SANITARY CONVENIENCES / WASHING FACILITIES / DRINKING WATER / CHANGING ROOMS & LOCKERS / FACILITIES FOR REST. ALL APPROPRIATE FOR THE SCALE AND NATURE OF THE WORKS

**HAZARDOUS MATERIALS - ASBESTOS.**  
DUE TO THE SURVEY BEING LIMITED TO THOSE AREAS ACCESSIBLE, CAUTION MUST BE GIVEN TO THE FULL EXTENT AND NATURE OF ASBESTOS CONTAMINATION. THE PRINCIPAL CONTRACTOR MUST PUT INTO PLACE A PROTOCOL FOR DEALING WITH CONTAMINATES FOUND DURING THE WORKS THAT ARE NOT LISTED OR IDENTIFIED WITHIN REPORTS

**AVOIDING CONCEALED SERVICES.**  
REVIEW RECORD INFORMATION AND SURVEY FOR SERVICES. ISOLATE SERVICES SUCH AS ELECTRICAL, GAS ETC BEFORE CONSTRUCTION BEGINS. SEE HSE GUIDE ON 'AVOIDING CONCEALED SERVICES AND OVER HEAD POWER LINES'

**DEMOLITION.**  
WORKS TO BE UNDERTAKEN BY A SPECIALIST CONTRACTOR. CAREFULLY RESEARCH, PLAN AND EXECUTE THE WORK. PROVIDE A METHOD STATEMENT ADDRESSING KEY ISSUES SUCH AS:  
FALLS FROM HEIGHTS / INJURY FROM FALLING MATERIALS / UNCONTROLLED COLLAPSE / RISK FROM CONNECTED SERVICES / TRAFFIC MANAGEMENT / HAZARDOUS MATERIALS / NOISE & VIBRATION / FIRE / WORKER INVOLVEMENT

METHOD STATEMENT TO BE AGREED BY PD / CA PRIOR TO WORKS COMMENCING

**STRUCTURAL STABILITY DURING ALTERATIONS DEMOLITION AND DISMANTLING.**  
THE PRINCIPAL CONTRACTOR (PC) SHOULD CAREFULLY PLAN THE WORKS WHICH MUST BE UNDERTAKEN BY COMPETENT PEOPLE.  
PC TO REVIEW ALL AVAILABLE INFORMATION WHEN CONSIDERING THE WORKS

- PC TO:
- 1) SURVEY AND ASSESS EXISTING STRUCTURE TO DETERMINE AND CONFIRM STRUCTURAL PROPERTIES PRIOR TO REMOVAL / ADAPTING.
  - 2) PROVIDE TEMPORARY SUPPORTS AS NECESSARY DESIGNED BY COMPETENT PERSON.
  - 3) PREPARE FULL METHOD STATEMENT INCLUDING SEQUENCING OF WORKS PRIOR TO REMOVAL / ADAPTING.
  - 4) CONSULT WITH DESIGN TEAM / BUILDING CONTROL PRIOR TO COMMENCING WORKS.

**FIRE SAFETY ON CONSTRUCTION SITES.**  
PRINCIPAL CONTRACTOR TO UNDERTAKE A FIRE RISK ASSESSMENT / MANAGEMENT PLAN TO IDENTIFY, REMOVE / REDUCE RISKS ASSOCIATED WITH FIRE SAFETY ON CONSTRUCTION SITES. REFER TO HSE GUIDE hsg 168 'Fire Safety on Construction Sites'

**REGULATORY REFORM (FIRE SAFETY) ORDER 2005**  
THE 'RESPONSIBLE PERSON' WILL BE THE STAKEHOLDER SUCH AS THE BUILDING OWNER, EMPLOYER, MANAGING AGENT, BUILDING OCCUPIER ETC AND WILL BE RESPONSIBLE FOR PREPARING / UPDATING A FIRE RISK ASSESSMENT FOR THE BUILDING, ENSURING THAT THE PREMISES REACH THE REQUIRED STANDARDS AND THAT STAFF / MANAGERS ETC ARE PROVIDED WITH THE ADEQUATE FIRE TRAINING.

**WITH RESPECT TO FLATS THIS WILL RELATE TO AN ASSESSMENT OF THE COMMON AREAS / MEANS OF ESCAPE.**  
A FIRE RISK ASSESSMENT / BUILDING FIRE MANUAL WILL NEED TO BE PROVIDED BY A COMPETENT PERSON PRIOR TO OCCUPATION OF THE BUILDING.

**FIRE RISK ASSESSMENT (REFER TO**  
[www.gov.uk/workplace-fire-safety-your-responsibilities/fire-risk-assessments](http://www.gov.uk/workplace-fire-safety-your-responsibilities/fire-risk-assessments))

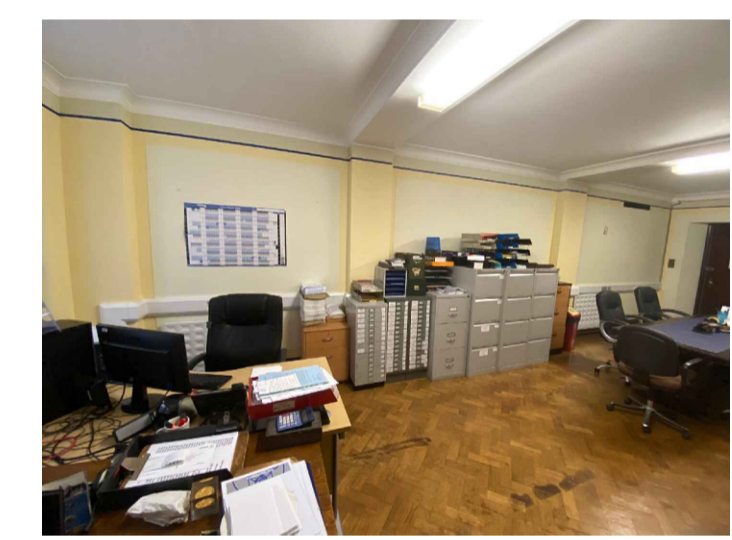
**BUILDING FIRE MANUAL (DETAILING FIRE PRECAUTIONS ARRANGEMENT) AND SHOULD INCLUDE (WHERE APPROPRIATE) THE BASIC INFORMATION SHOWN BELOW, INCLUDING PLANS WHERE NECESSARY:**

- ESCAPE ROUTES.
- COMPARTMENTATION AND SEPARATION.
- FIRE DOORS AND DOORS WITH RELEVANT HARDWARE.
- LOCATION OF FIRE ALARMS AND DETECTION EQUIPMENT, EMERGENCY LIGHTING, FIRE EXTINGUISHERS, DRY / WET RISERS, FIRE SUPPRESSION INSTALLATIONS AND SO FORTH.
- SPECIFICATIONS OF ANY FIRE SAFETY EQUIPMENT INCLUDING MAINTENANCE / TESTING SCHEDULES.
- ANY ASSUMPTIONS IN THE DESIGN OF FIRE SAFETY ARRANGEMENTS.
- SAFE OCCUPANCY LEVEL(S).
- ANY PROVISION TO EVACUATE DISABLED PERSONS.
- COMMISSIONING CERTIFICATES FOR FIRE ALARMS, EMERGENCY LIGHTING, SUPPRESSION INSTALLATIONS ETC.

ONCE THE BUILDING IS IN USE, THE BUILDING MANAGEMENT REGIME SHOULD BE MAINTAINED AND ANY VARIATIONS IN THE REGIME SHOULD BE SUBJECT TO A SUITABLE RISK ASSESSMENT. FAILURE TO TAKE PROPER MANAGEMENT RESPONSIBILITY MAY RESULT IN THE PROSECUTION OF THE RESPONSIBLE PERSON UNDER LEGISLATION SUCH AS THE REGULATORY (FIRE SAFETY) ORDER 2005.



**PROPOSED BREAKOUT ROOM & TOILETS**  
(Proposed Work Area 3)  
SCALE 1:50



Remove existing trunking and redundant serviced and radiators

Allow to remove any redundant trunking and electrical services and leave ready to receive new flooring and wall decoration as per specification

Rev.	Amendment	Date



Client: UNITED GRAND LODGE OF ENGLAND  
Project: FREEMASONS HALL  
GREAT QUEEN STREET WC2  
REFURBISHMENT OF LODGE ROOMS

Title: PROPOSED  
UPPER GROUND LEVEL DEMOLITION PLAN  
TERCENTENARY, WC & NEW PRINTER ROOM

Drawn by: AG Date: 17-06-20

Checked by: DE/RH

Scale @ A1: 1:500/50 Drg. No.: 16911-07

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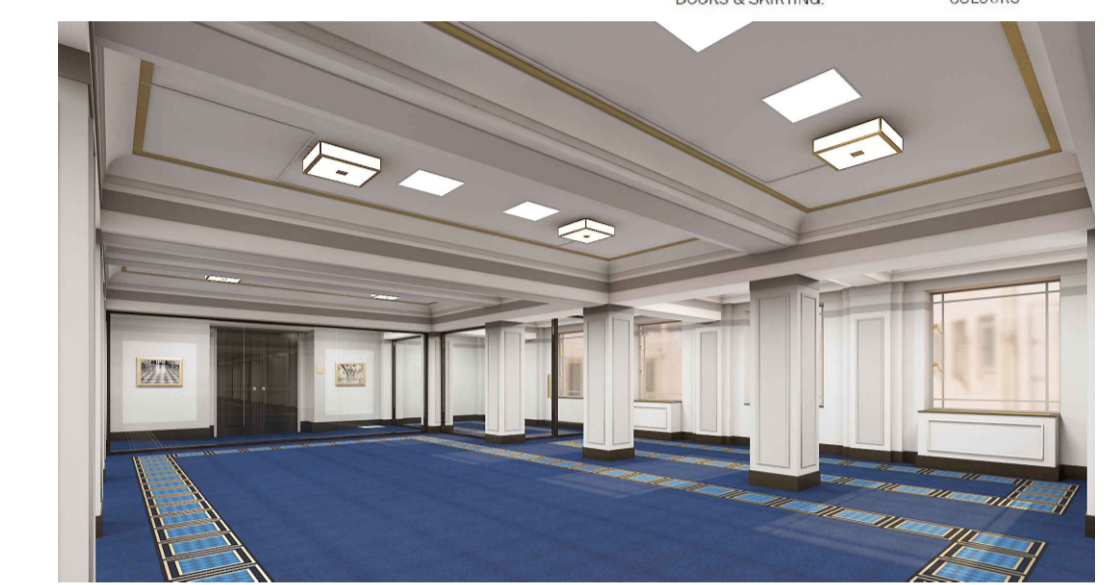
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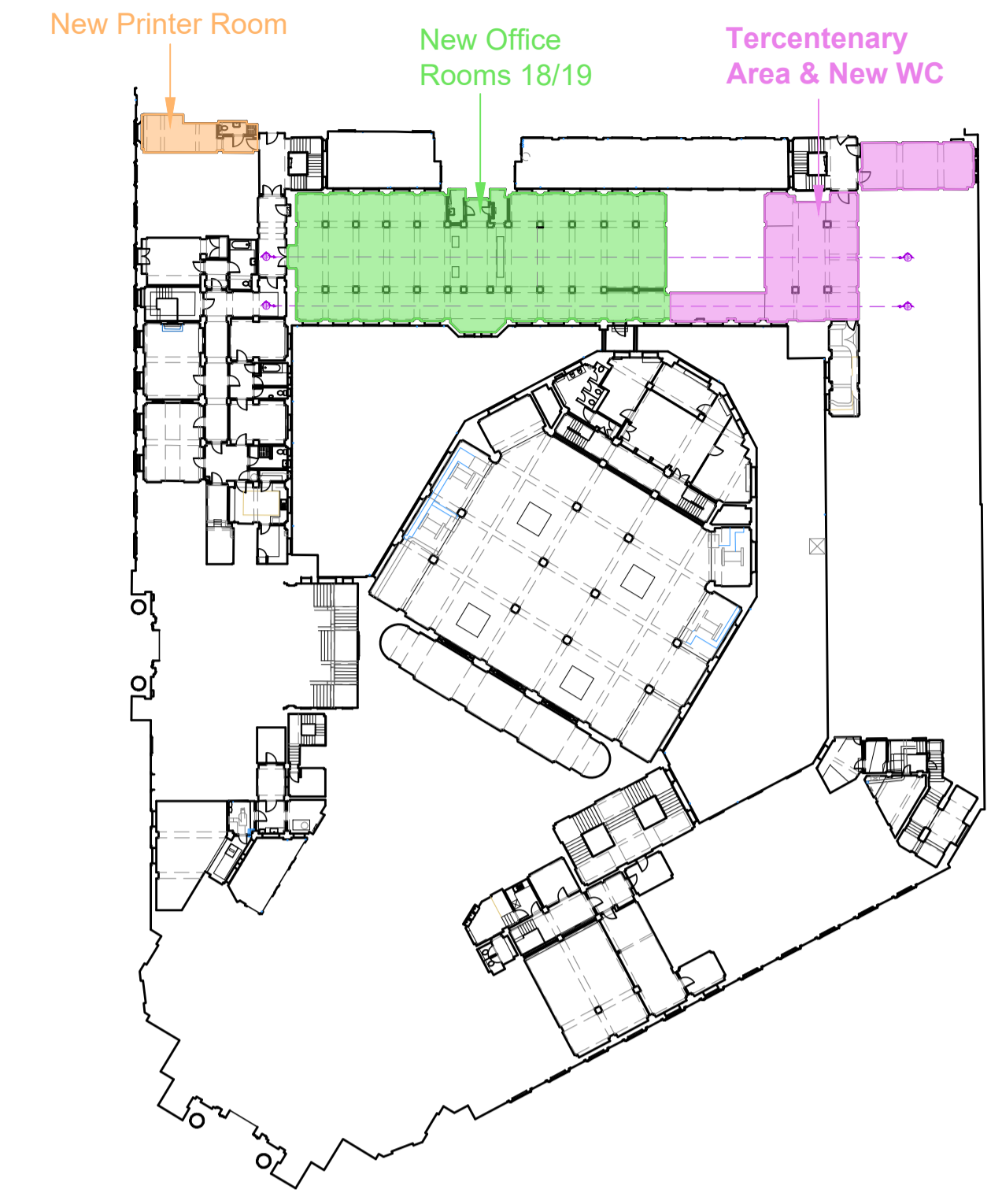
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Following the demolition of the existing lodge rooms make good surrounding walls and redecorate to match existing band details in the colour's specified with stained hardwood timber skirting's

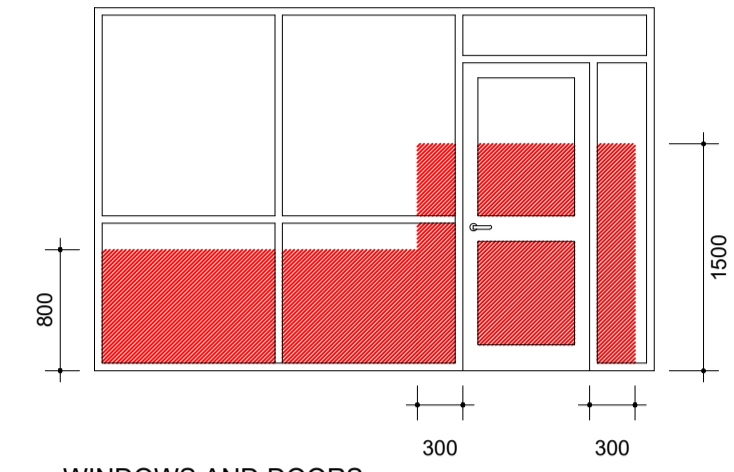


PROPOSED CONCEPT IMAGE OF FINISHED OFFICE



MEZZANINE/UPPER GROUND LEVEL PLAN  
SCALE 1:500

Laminated safety glass to all "CRITICAL LOCATIONS" (800mm from FFL in windows, and 1500mm in doors, or in a side panel close to either edge of door)

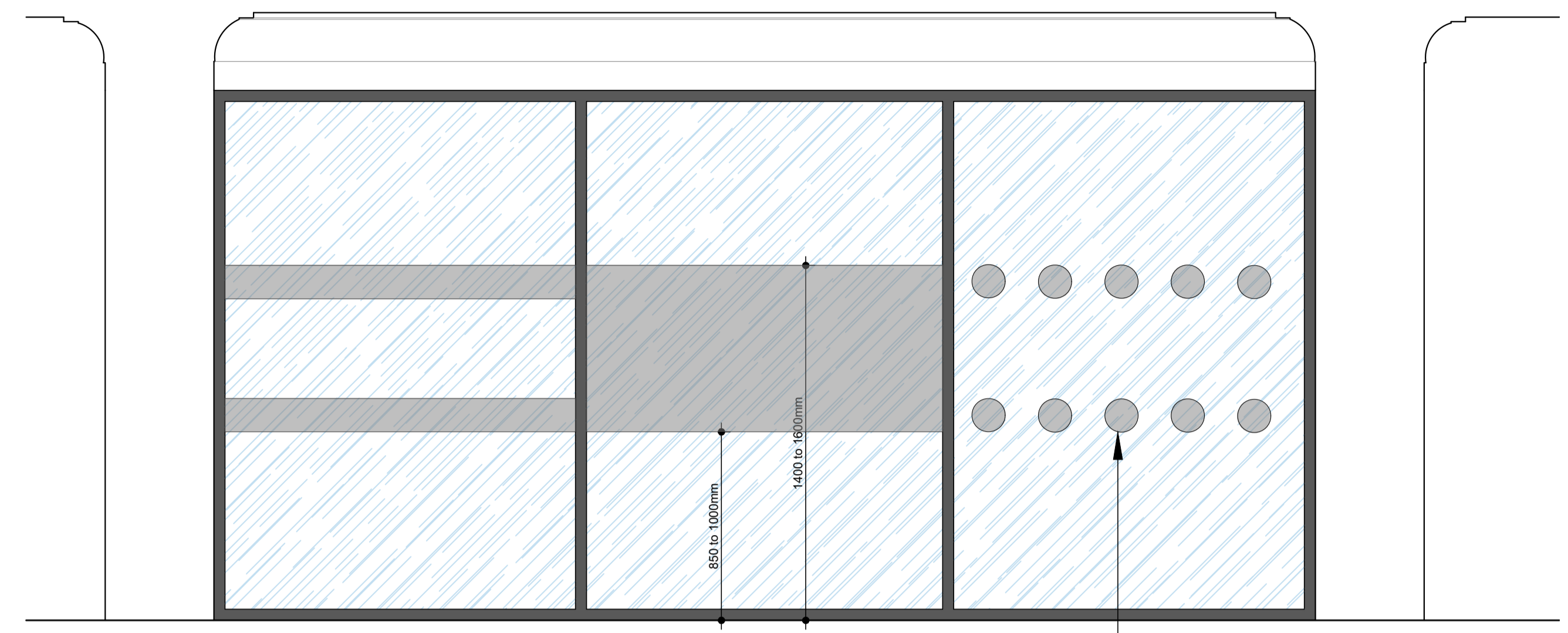


WINDOWS AND DOORS

Provide safety glass to all "CRITICAL LOCATIONS" (800mm from FFL in windows, and 1500mm in doors, or in a side panel close to either edge of door). Location of Window controls to comply with section N3 of the building regulations. ( see diagram 7).

WINDOWS (PROTECTION FROM COLLISION)

In accordance with the Building Regulations 1991-PART K4, all parts of windows, skylights etc, that are below 2.0m above floor level and can project internally, or externally more than about 100mm horizontally into spaces which are used by people moving in or about the building, should be fitted with dis-engagable window restrictors limiting the opening action of the windows. Windows adjacent landscaping etc which gives protection from collision may be disregarded. Replacement of existing windows that cannot meet the standards are to be agreed with the local authority prior to order.

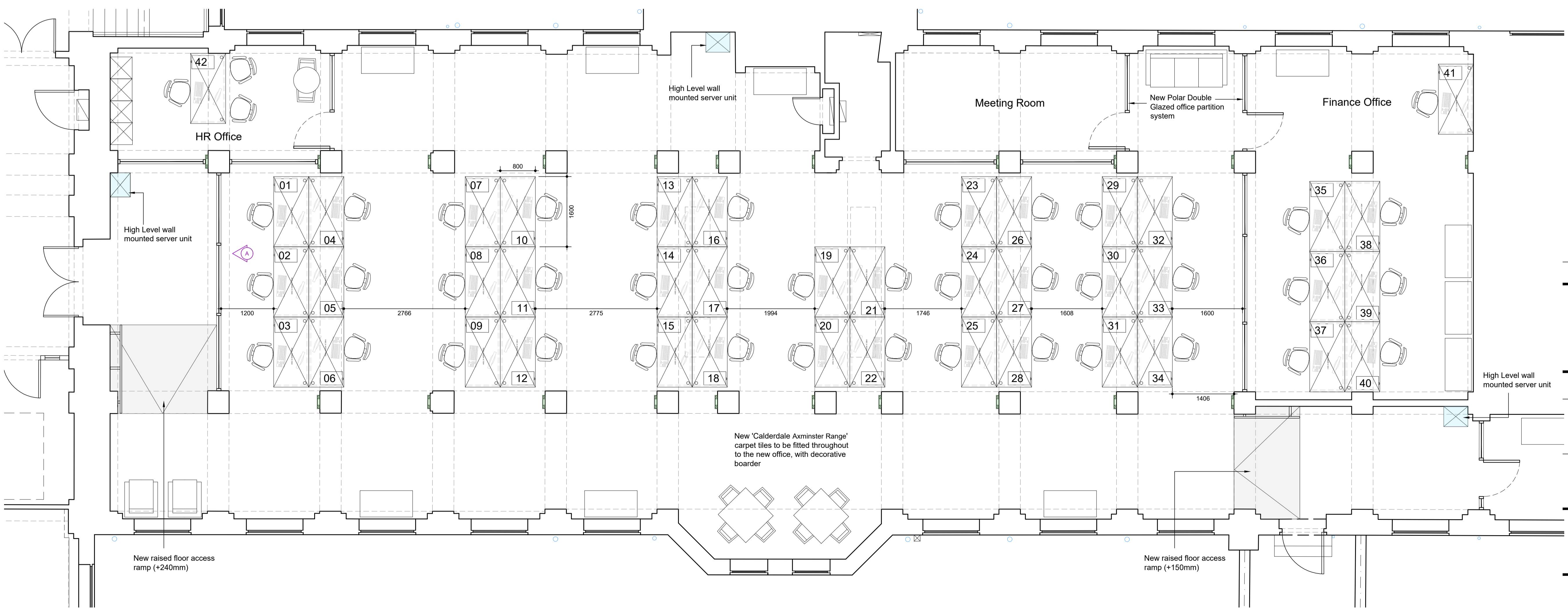


New Polar Double Glazed office partition system refer to specification for further details

ELEVATION A  
SCALE 1:20

New glazing manifestations will be required to prevent collisions in all critical glazing locations which include large uninterrupted areas of transparent glazing which form, or are part of the internal or external walls and doors of shops, showrooms, offices etc.

New glazing manifestations can be in the form of a band or broken down into various forms such as broken or solid lines, patterns or company logos between 850mm to 1000mm and 1400mm to 1600mm above the floor level, client to confirm style/design



PROPOSED ROOMS 18/19 PLAN  
SCALE 1:50

Rev.	Amendment	Date
	Planning Issue	



Client UNITED GRAND LODGE OF ENGLAND  
Project FREEMASONS HALL GREAT QUEEN STREET WC2 REFURBISHMENT OF LODGE ROOMS

Title PROPOSED UPPER GROUND LEVEL ROOMS 18/19

Drawn by: AG Date: 17-06-20

Checked by: DE/RH

Scale @ A1: 1:50/1000 Drg. No.: 16911-10

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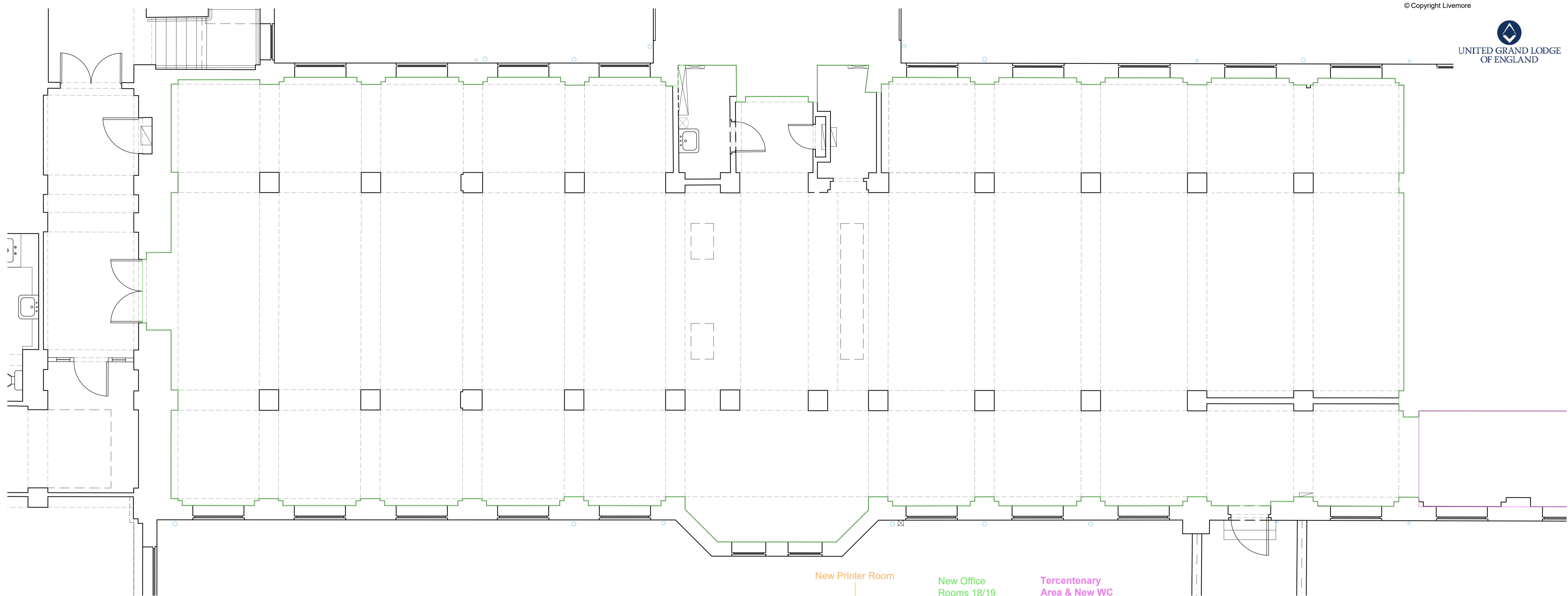
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EXISTING ROOMS 18/19  
(New Open Plan Office)  
SCALE 1:50

New Printer Room  
New Office Rooms 18/19  
Tercentenary Area & New WC



MEZZANINE/UPPER GROUND LEVEL PLAN  
SCALE 1:500



Planning Issue		
Rev.	Amendment	Date



Client UNITED GRAND LODGE OF ENGLAND  
Project FREEMASONS HALL  
GREAT QUEEN STREET WC2  
REFURBISHMENT OF LODGE ROOMS

Title EXISTING  
UPPER GROUND LEVEL  
ROOMS 18/19

Drawn by: AG Date: 17-06-20

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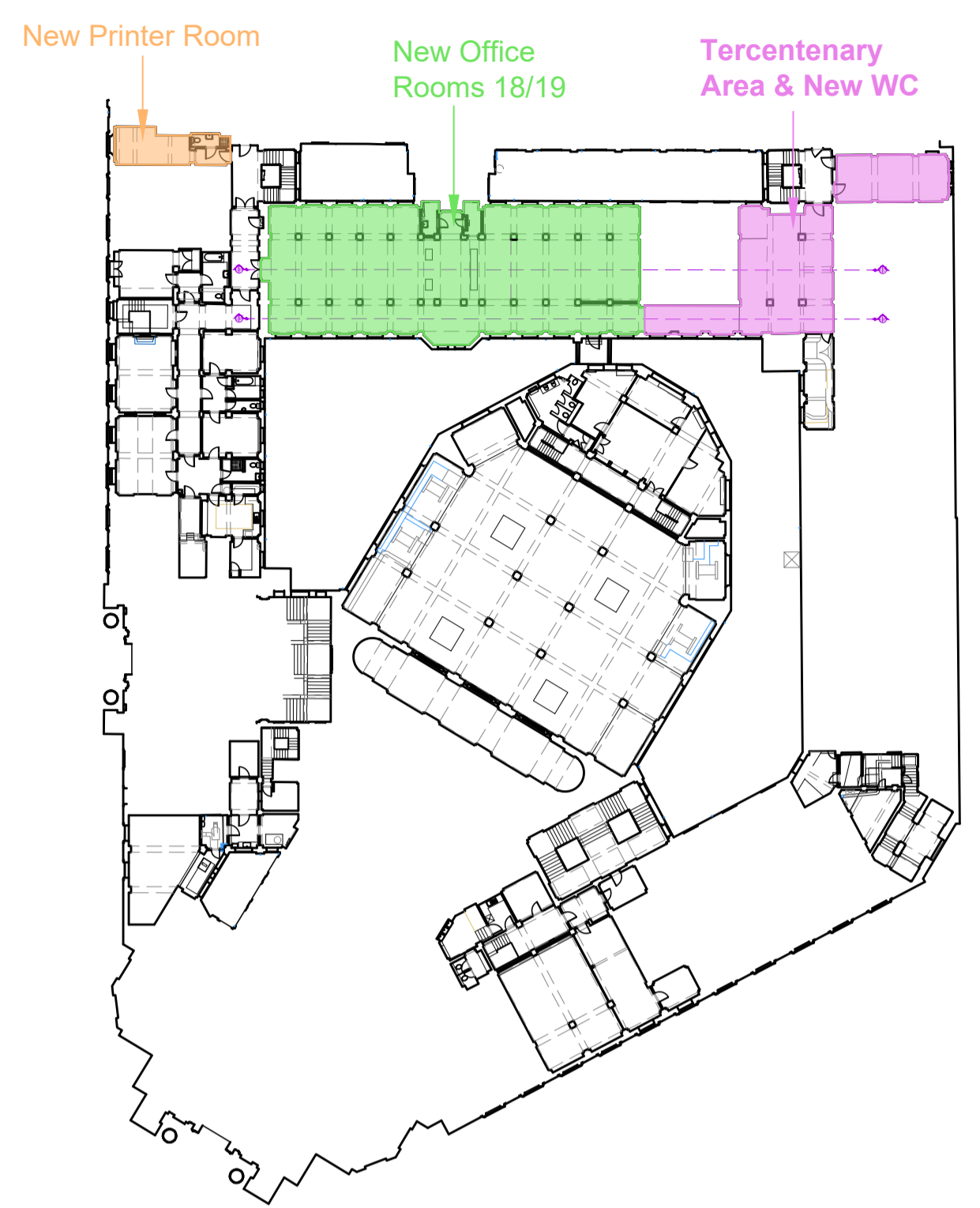




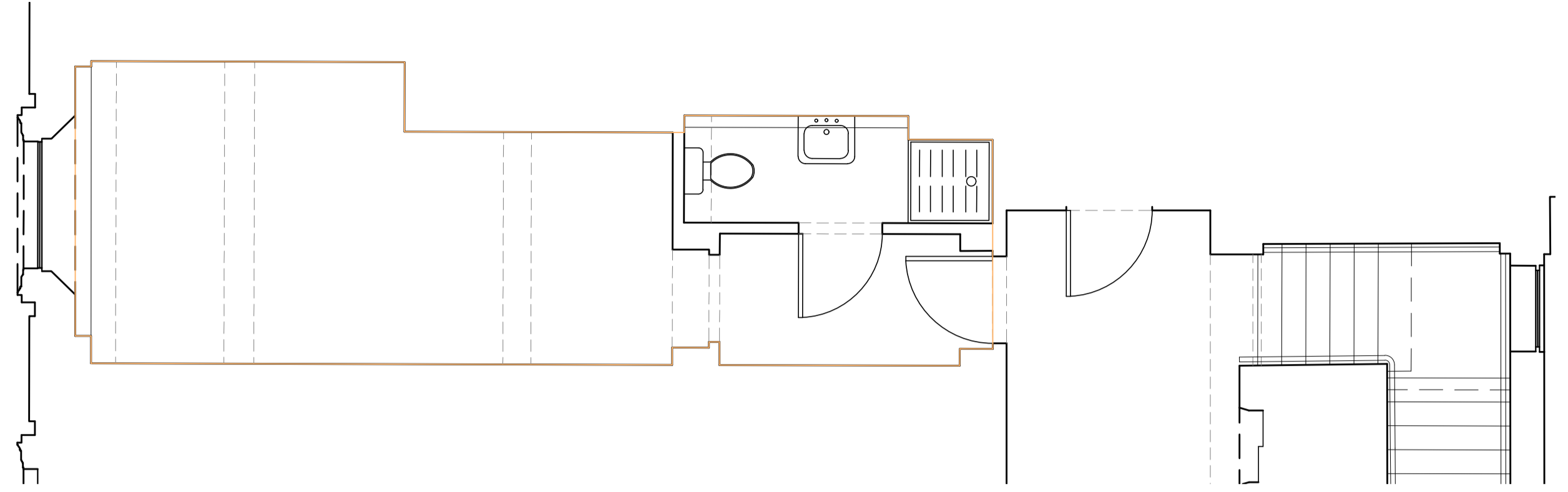
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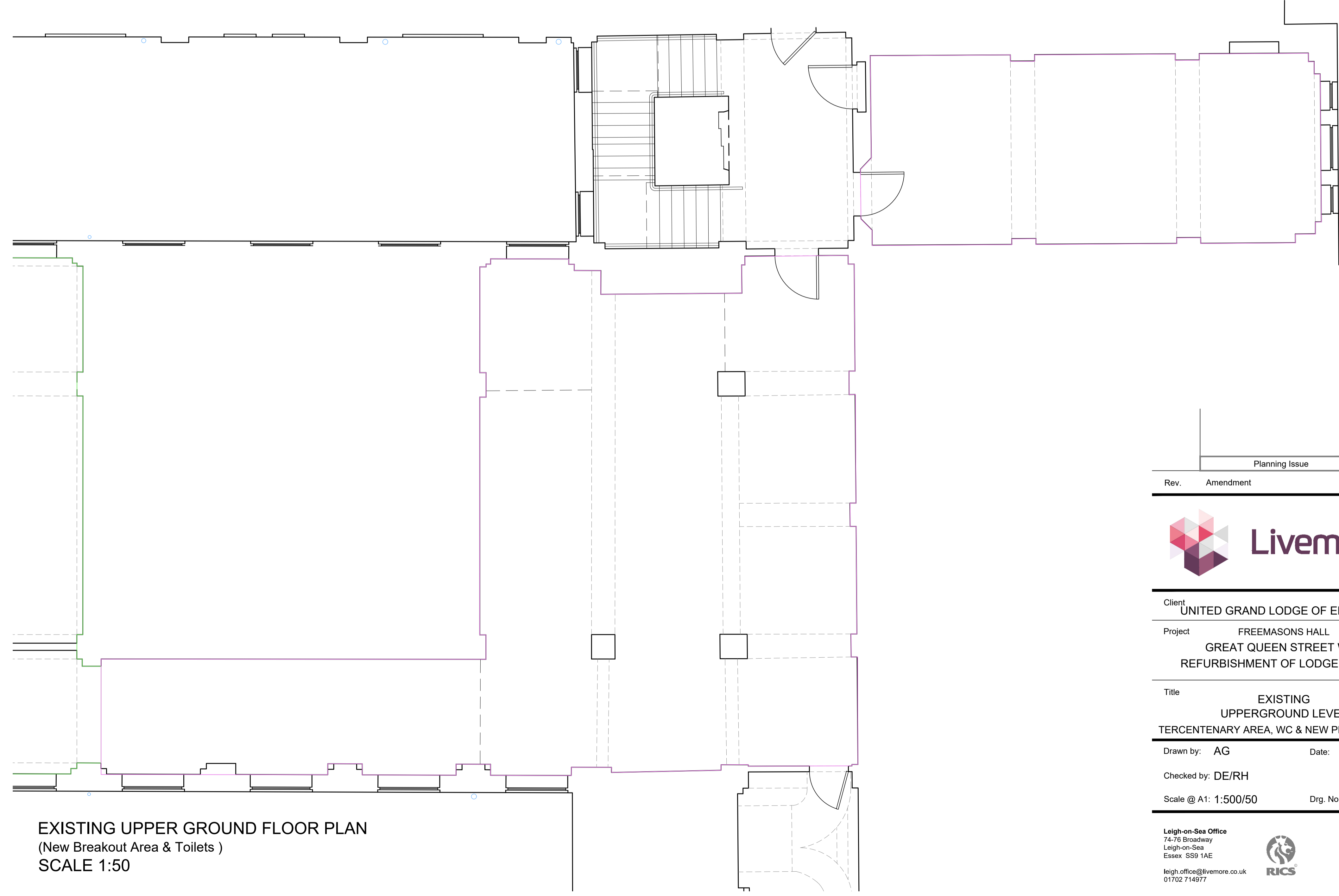
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MEZZANINE/UPPER GROUND LEVEL PLAN  
SCALE 1:500



EXISTING PLAN  
(Proposed New Printer Room)  
SCALE 1:50



EXISTING UPPER GROUND FLOOR PLAN  
(New Breakout Area & Toilets )  
SCALE 1:50



Rev.	Amendment	Date
	Planning Issue	



Client: UNITED GRAND LODGE OF ENGLAND  
 Project: FREEMASONS HALL  
 GREAT QUEEN STREET WC2  
 REFURBISHMENT OF LODGE ROOMS

Title: EXISTING  
 UPPERGROUND LEVEL  
 TERCENTENARY AREA, WC & NEW PRINTER ROOM

Drawn by: AG Date: 17-06-20

Checked by: DE/RH

Scale @ A1: 1:500/50 Drg. No.: 16911-04

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New Printer Room  
New Office Rooms 18/19  
Tercentenary Area & New WC



MEZZANINE/UPPER GROUND LEVEL PLAN  
SCALE 1:500

**CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015**

ALL THOSE INVOLVED IN THE PROJECT DESIGN, CONSTRUCTION, MAINTENANCE, DEMOLITION AND USE OF THE BUILDING / FACILITIES ARE TO COMPLY WITH THE CDM-15 REGULATIONS AND DUTIES THEREIN DESCRIBED

SHOWN ON THE DRAWINGS ARE HAZARDS ASSOCIATED WITH THE WORKS. THE LIST IS NOT CONCLUSIVE AND MAY BE LIABLE TO CHANGE AS THE PROJECT EVOLVES. REFER ALSO TO OTHER CONSULTANTS H&S INFORMATION

**SITE SECURITY & ACCESS MANAGEMENT**  
THE PC TO DISCUSS AND AGREE A SAFE METHOD OF PROTECTING THE WORKERS, OWNERS, OCCUPIERS OR VISITORS TO THE SITE, AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES

**WELFARE PROVISION**  
CONTRACTOR TO PROVIDE WELFARE FACILITIES AS SHOWN IN SCHEDULE 2 OF THE CDM-2015 REGULATIONS INCLUDING: SANITARY CONVENIENCES / WASHING FACILITIES / DRINKING WATER / CHANGING ROOMS & LOCKERS / FACILITIES FOR REST. ALL APPROPRIATE FOR THE SCALE AND NATURE OF THE WORKS

**REGULATORY REFORM (FIRE SAFETY) ORDER 2005**  
THE 'RESPONSIBLE PERSON' WILL BE THE STAKEHOLDER SUCH AS THE BUILDING OWNER, EMPLOYER, MANAGING AGENT, BUILDING OCCUPIER ETC AND WILL BE RESPONSIBLE FOR PREPARING / UPDATING A FIRE RISK ASSESSMENT FOR THE BUILDING, ENSURING THAT THE PREMISES REACH THE REQUIRED STANDARDS AND THAT STAFF / MANAGERS ETC ARE PROVIDED WITH THE ADEQUATE FIRE TRAINING.

WITH RESPECT TO FLATS THIS WILL RELATE TO AN ASSESSMENT OF THE COMMON AREAS / MEANS OF ESCAPE. A FIRE RISK ASSESSMENT / BUILDING FIRE MANUAL WILL NEED TO BE PROVIDED BY A COMPETENT PERSON PRIOR TO OCCUPATION OF THE BUILDING.

FIRE RISK ASSESSMENT (REFER TO [www.gov.uk/workplace-fire-safety-your-responsibilities/fire-risk-assessments](http://www.gov.uk/workplace-fire-safety-your-responsibilities/fire-risk-assessments))

BUILDING FIRE MANUAL (DETAILING FIRE PRECAUTIONS ARRANGEMENT) AND SHOULD INCLUDE (WHERE APPROPRIATE) THE BASIC INFORMATION SHOWN BELOW, INCLUDING PLANS WHERE NECESSARY:

- ESCAPE ROUTES.
- COMPARTMENTATION AND SEPARATION.
- FIRE DOORS AND DOORS WITH RELEVANT HARDWARE.
- LOCATION OF FIRE ALARMS AND DETECTION EQUIPMENT, EMERGENCY LIGHTING, FIRE EXTINGUISHERS, DRY / WET RISERS, FIRE SUPPRESSION INSTALLATIONS AND SO FORTH.
- SPECIFICATIONS OF ANY FIRE SAFETY EQUIPMENT INCLUDING MAINTENANCE / TESTING SCHEDULES.
- ANY ASSUMPTIONS IN THE DESIGN OF FIRE SAFETY ARRANGEMENTS.
- SAFE OCCUPANCY LEVEL(S).
- ANY PROVISION TO EVACUATE DISABLED PERSONS.
- COMMISSIONING CERTIFICATES FOR FIRE ALARMS, EMERGENCY LIGHTING, SUPPRESSION INSTALLATIONS ETC.

ONCE THE BUILDING IS IN USE, THE BUILDING MANAGEMENT REGIME SHOULD BE MAINTAINED AND ANY VARIATIONS IN THE REGIME SHOULD BE SUBJECT TO A SUITABLE RISK ASSESSMENT. FAILURE TO TAKE PROPER MANAGEMENT RESPONSIBILITY MAY RESULT IN THE PROSECUTION OF THE RESPONSIBLE PERSON UNDER LEGISLATION SUCH AS THE REGULATORY (FIRE SAFETY) ORDER 2005.

**HAZARDOUS MATERIALS - ASBESTOS.**  
DUE TO THE SURVEY BEING LIMITED TO THOSE AREAS ACCESSIBLE. CAUTION MUST BE GIVEN TO THE FULL EXTENT AND NATURE OF ASBESTOS CONTAMINATION. THE PRINCIPAL CONTRACTOR MUST PUT INTO PLACE A PROTOCOL FOR DEALING WITH CONTAMINATES FOUND DURING THE WORKS THAT ARE NOT LISTED OR IDENTIFIED WITHIN REPORTS

**AVOIDING CONCEALED SERVICES.**  
REVIEW RECORD INFORMATION AND SURVEY FOR SERVICES. ISOLATE SERVICES SUCH AS ELECTRICAL, GAS ETC BEFORE CONSTRUCTION BEGINS. SEE HSE GUIDE ON 'AVOIDING CONCEALED SERVICES AND OVER HEAD POWER LINES'

**DEMOLITION WORKS** TO BE UNDERTAKEN BY A SPECIALIST CONTRACTOR. CAREFULLY RESEARCH, PLAN AND EXECUTE THE WORK. PROVIDE A METHOD STATEMENT ADDRESSING KEY ISSUES SUCH AS:  
FALLS FROM HEIGHTS / INJURY FROM FALLING MATERIALS / UNCONTROLLED COLLAPSE / RISK FROM CONNECTED SERVICES / TRAFFIC MANAGEMENT / HAZARDOUS MATERIALS / NOISE & VIBRATION / FIRE / WORKER INVOLVEMENT

METHOD STATEMENT TO BE AGREED BY PD / CA PRIOR TO WORKS COMMENCING

**STRUCTURAL STABILITY DURING ALTERATIONS DEMOLITION AND DISMANTLING.**  
THE PRINCIPAL CONTRACTOR (PC) SHOULD CAREFULLY PLAN THE WORKS WHICH MUST BE UNDERTAKEN BY COMPETENT PEOPLE. PC TO REVIEW ALL AVAILABLE INFORMATION WHEN CONSIDERING THE WORKS

- PC TO:
- 1) SURVEY AND ASSESS EXISTING STRUCTURE TO DETERMINE AND CONFIRM STRUCTURAL PROPERTIES PRIOR TO REMOVAL / ADAPTING.
  - 2) PROVIDE TEMPORARY SUPPORTS AS NECESSARY DESIGNED BY COMPETENT PERSON.
  - 3) PREPARE FULL METHOD STATEMENT INCLUDING SEQUENCING OF WORKS PRIOR TO REMOVAL / ADAPTING.
  - 4) CONSULT WITH DESIGN TEAM / BUILDING CONTROL PRIOR TO COMMENCING WORKS.

**FIRE SAFETY ON CONSTRUCTION SITES.**  
PRINCIPAL CONTRACTOR TO UNDERTAKE A FIRE RISK ASSESSMENT / MANAGEMENT PLAN TO IDENTIFY, REMOVE / REDUCE RISKS ASSOCIATED WITH FIRE SAFETY ON CONSTRUCTION SITES. REFER TO HSE GUIDE hsg 168 'Fire Safety on Construction Sites'

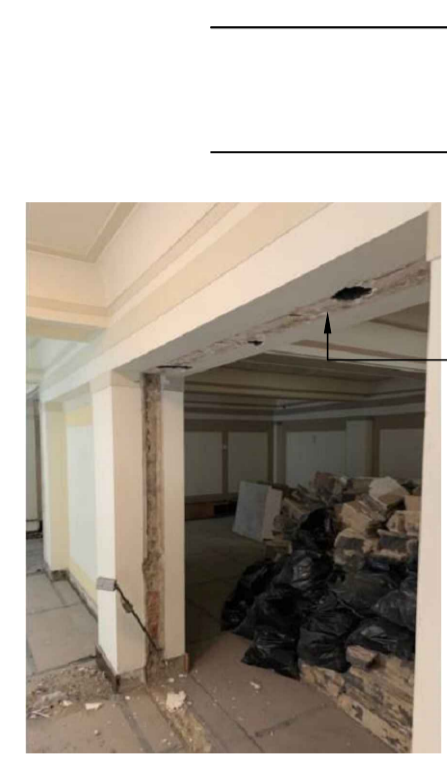
NOTES: - - - - -

LINE TYPE DENOTES ITEMS TO BE REMOVED. ALLOW TO MAKE GOOD ADJACENT SURFACE WHERE FIXING HAS BEEN REMOVED IN WALL / FLOOR ETC.

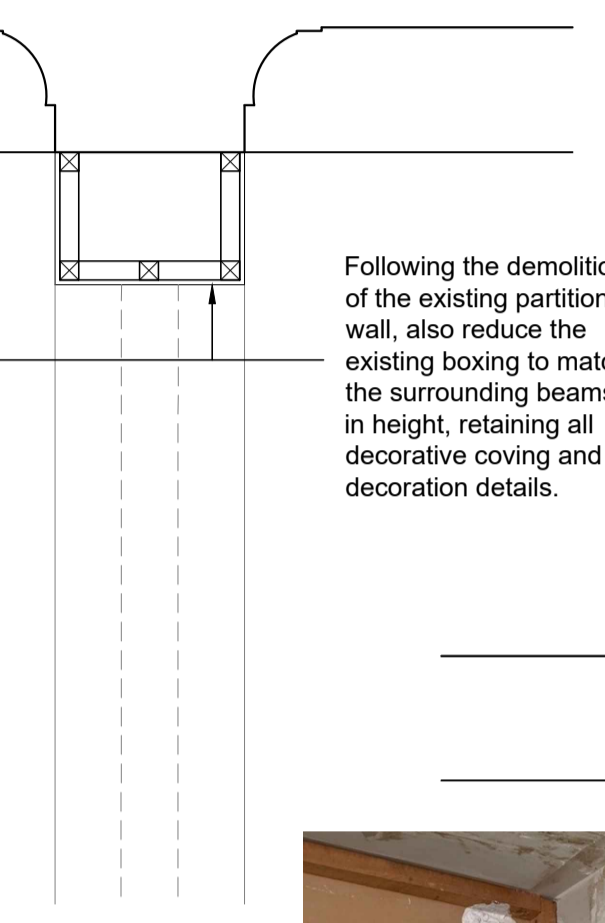
BEFORE DEMOLITION OF ANY WALLS, CONTRACTOR TO CHECK THEY ARE NON LOAD-BEARING AND ALL SERVICES HAVE BEEN IDENTIFIED AND TERMINATED IN ACCORDANCE WITH THE M&E SPECIFICATION.

ISOLATE SERVICES BACK TO INCOMING HEADS AND REMOVE REDUNDANT SERVICES

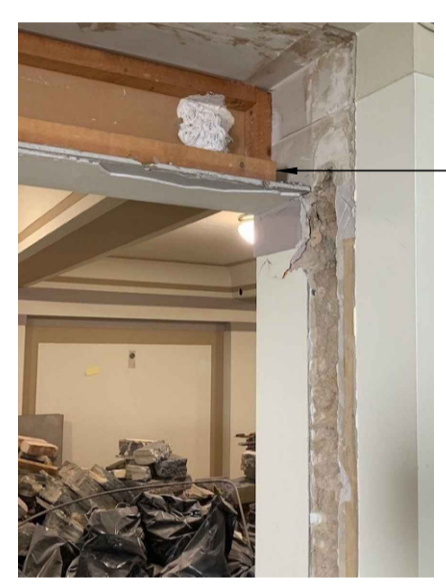
REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR FORMING ALL OPENING IN EXISTING FLOORS / CONCRETE RING BEAMS.



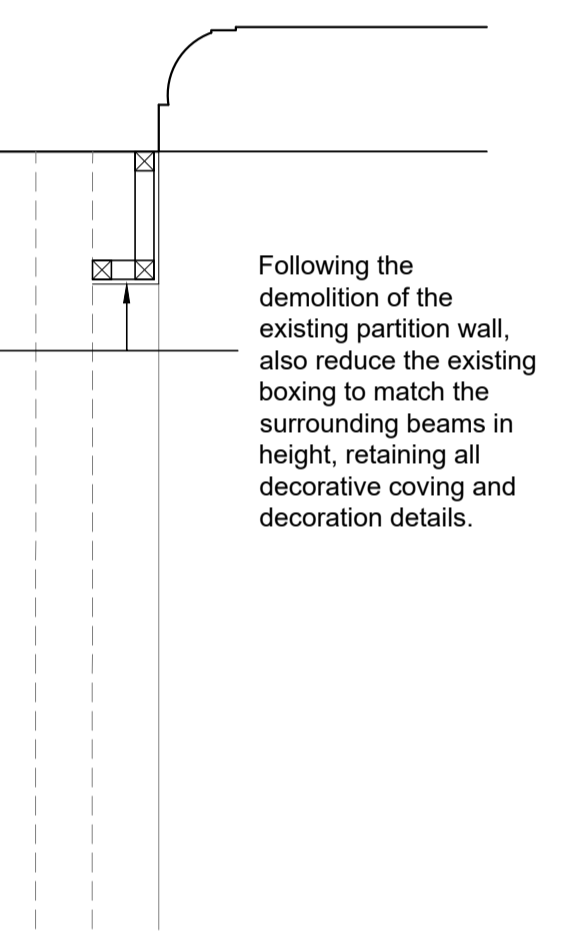
SECTION A  
SCALE 1:20



Following the demolition of the existing partition wall, also reduce the existing boxing to match the surrounding beams in height, retaining all decorative coving and decoration details.



SECTION B  
SCALE 1:20



Following the demolition of the existing partition wall, also reduce the existing boxing to match the surrounding beams in height, retaining all decorative coving and decoration details.

Existing cleaners room partition, door and fittings to be removed and existing services capped off and stripped out

Following the strip out of the existing rooms the existing boxing around the beams indicated are to be reduced to match the surrounding beams (refer to sections A&B)

MEZZANINE DEMOLITION PLAN  
(18/19 New Open Plan Office)  
SCALE 1:50

Rev.	Amendment	Date



Client: UNITED GRAND LODGE OF ENGLAND  
Project: FREEMASONS HALL  
GREAT QUEEN STREET WC2  
REFURBISHMENT OF LODGE ROOMS

Title: PROPOSED  
UPPER GROUND LEVEL  
ROOMS 18/19 DEMOLITION PLAN

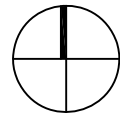
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Checked by: DE/RH

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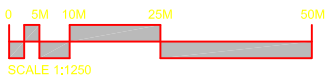
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rev date details

by



**CLIENT** United Grand Lodge of England  
**PROJECT** Freemasons Hall, 60 Great Queen Street  
**DRAWING** Site Location Plan

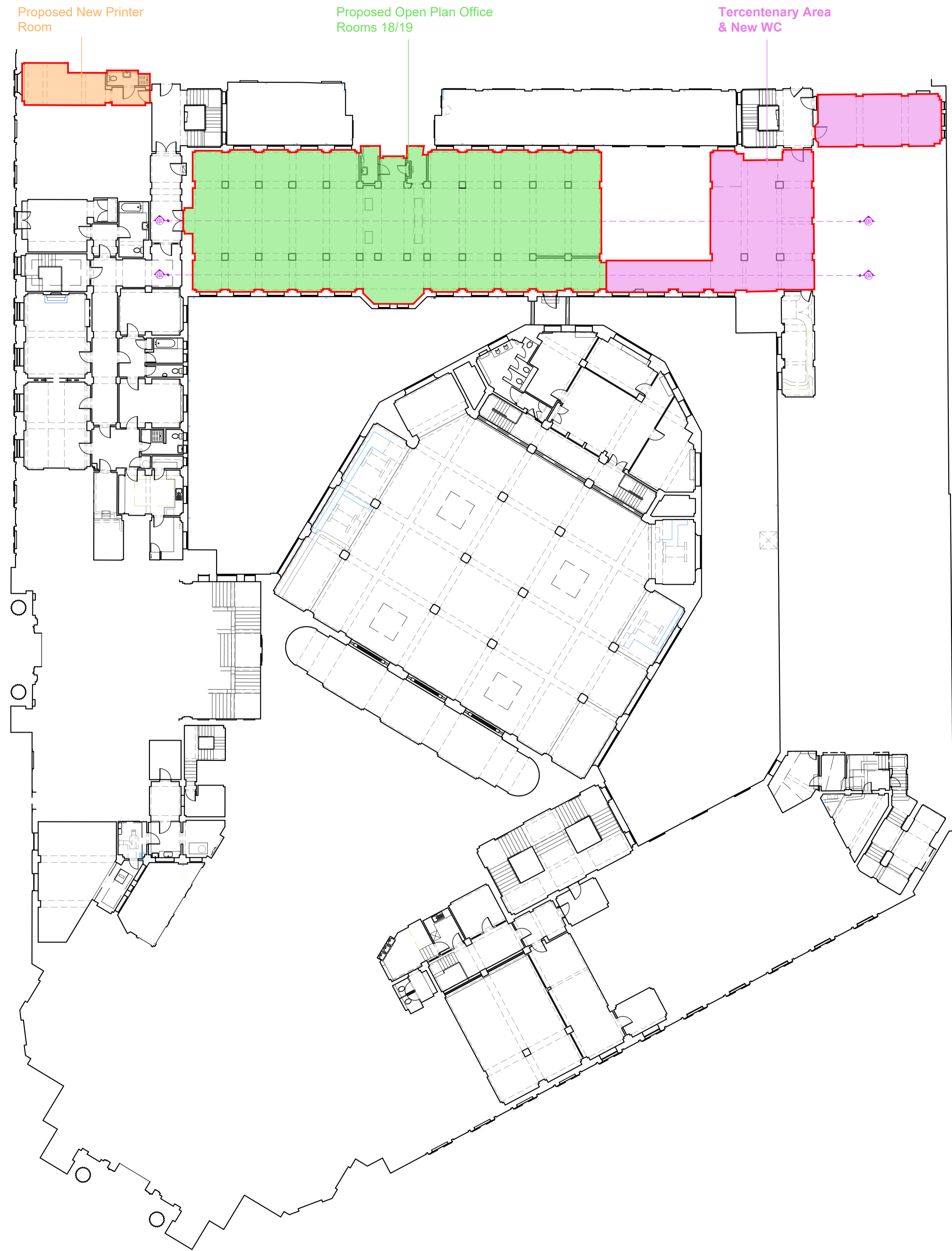
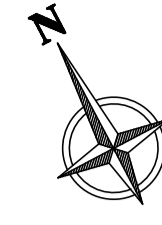
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**SCALE** @ A4 1:1250  
**DATE** Mar 16

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**DRAWING No.** 001  
**REV**



UPPER GROUND FLOOR /MEZZANINE PLAN  
SCALE 1:200

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Rev.	Amendment	Date
	Planning Issue	



Client **UNITED GRAND LODGE OF ENGLAND**  
 Project **FREEMASONS HALL  
 GREAT QUEEN STREET WC2  
 REFURBISHMENT OF LODGE ROOMS**

Title **SITE LOCATION PLAN**

Drawn by: AG Date: 23-06-20

Checked by: DE/RH

Scale @ A1: 1:200 Drg. No.: 16911-16

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