

21-20A BROWNLOW MEWS LONDON WC1N 2LA

MATERIAL DETAILS

SUMMARY

Condition - No.4

Application ref: 2019/4150/P

“Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details including sections at 1:10 of all windows (including jambs, head and cill), ventilation grills, and external doors;

b) Manufacturer’s specification details of the roof slates (to be submitted to the Local Planning Authority).

The relevant part of the works shall be carried out in accordance with the details thus approved.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.”

Materials

- M-01 Omit Door, Replace with Window
- M-02 Omit Window, Replace with New Door
- M-03 New low-level vent - Rear Flat Roof
- M-04 New Plant Room Gate - Rear Elevation
- M-05 Natural Slate Tiles - Replacement Pitched Roof

Drawings

The materials scheduled above should be read in conjunction with the following elevation drawings included in this pack:

- ST-EX-02-102 - Roof Plan (As Existing) - Revision -
- ST-EX-03-100 - Front Elevation (As Existing) - Revision -
- ST-EX-03-101 - Rear Elevation (As Existing) - Revision -
- ST-EX-03-102 - Side Elevation (As Existing) - Revision -

- ST-PR-02-102 - Roof Plan (As Proposed) - Revision D
- ST-PR-03-100 - Front Elevation (As Proposed) - Revision D
- ST-PR-03-101 - Rear Elevation (As Proposed) - Revision D
- ST-PR-03-102 - Side Elevation (As Proposed) - Revision D

- 20001-ANDW-0001 - Typical Window (As Existing) - Revision P1
- 20003-ANDW-0005 - New Door - Revision P1
- 20003-ANDW-0006 - New Window - Revision P2

- QF9847-GA4 - Plant Enclosure Extract from Noise Survey Report
- QF9847-GA-01 - Plant Enclosure General Arrangement - Revision 02

Full Subframe Security Gate

1.0 MATERIALS

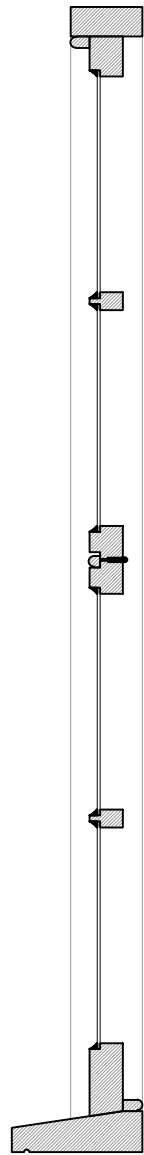
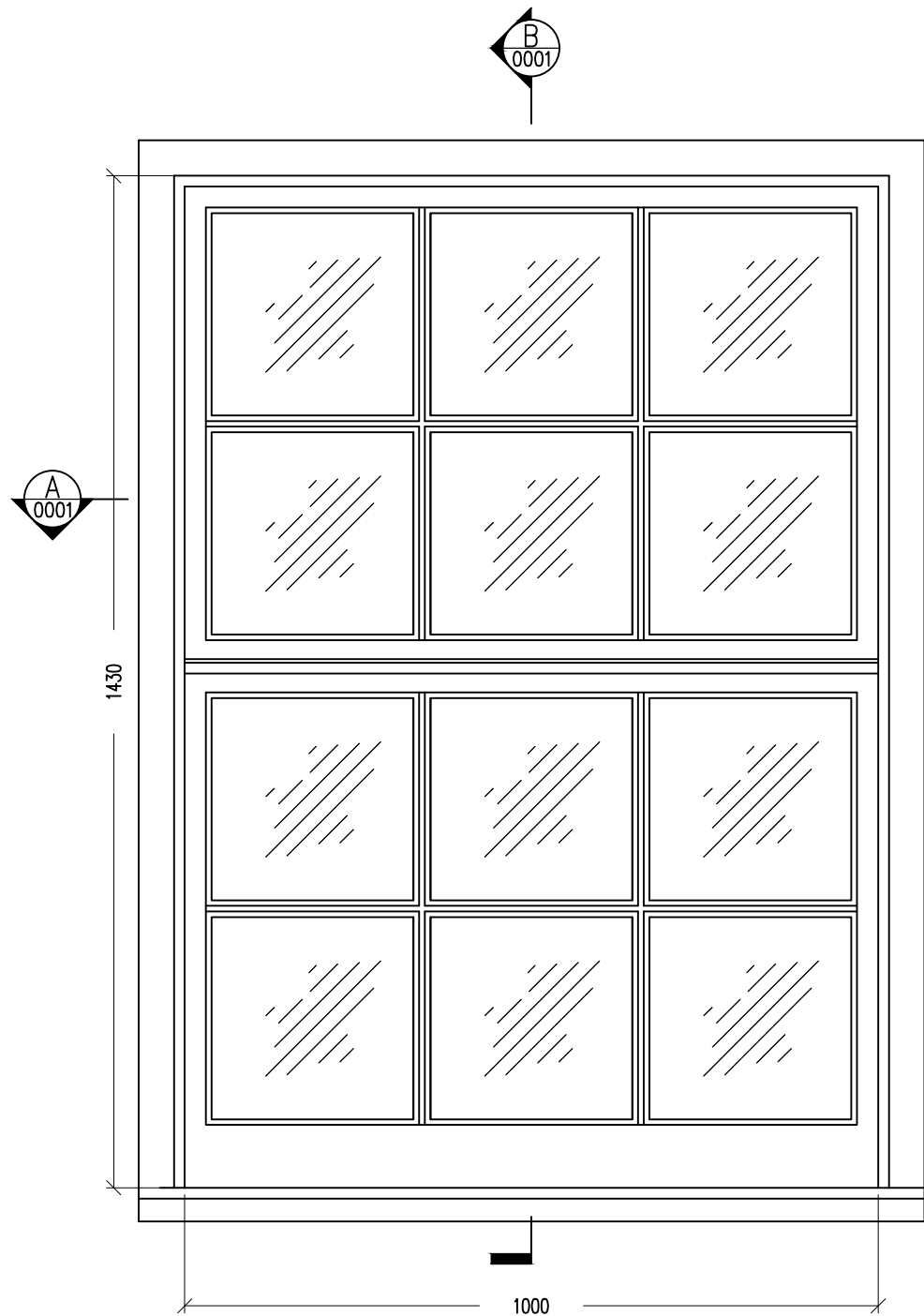
TYPICAL EXISTING WINDOW

This drawing shows a typical existing window on the ground floor.
All existing windows are single glazed.

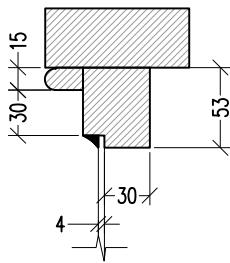
Please refer to the following elevations included in this pack:

ST-EX-03-100 - Front Elevation (As Existing) - Revision -

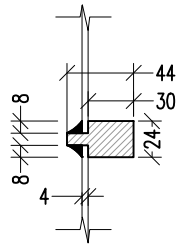
ST-PR-03-100 - Front Elevation (As Proposed) - Revision D



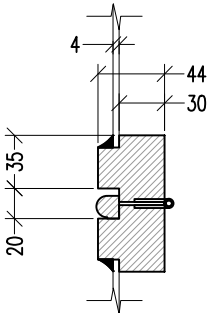
B Section B
0001 1:10



1 Detail 1
0001 1:5



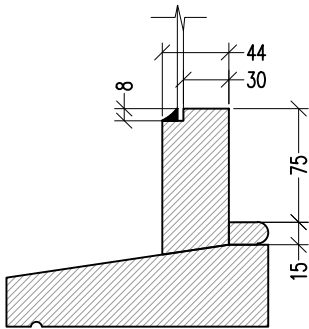
2 Detail 2
0001 1:5



3 Detail 3
0001 1:5



A Section A
0001 1:10



4 Detail 4
0001 1:5

REPLACE EXISTING DOOR WITH WINDOW TO MATCH EXISTING WINDOWS

Planning Requirement:

“a) [submit] Details including sections at 1:10 of all windows (including jambs, head and cill), ventilation grills, and external doors;”

Material Key Reference to Elevations:

M-01

The proposed window is the same as the existing, except it has slim profile double glazed units instead of single glazing. This is required to comply with the Building Regulations. The appointed Approved Inspector requested that all new windows and doors have double glazing to comply with u-value requirements.

Finish:

Painted Timber Window with Glazing and painted lower timber section to match existing entrance door

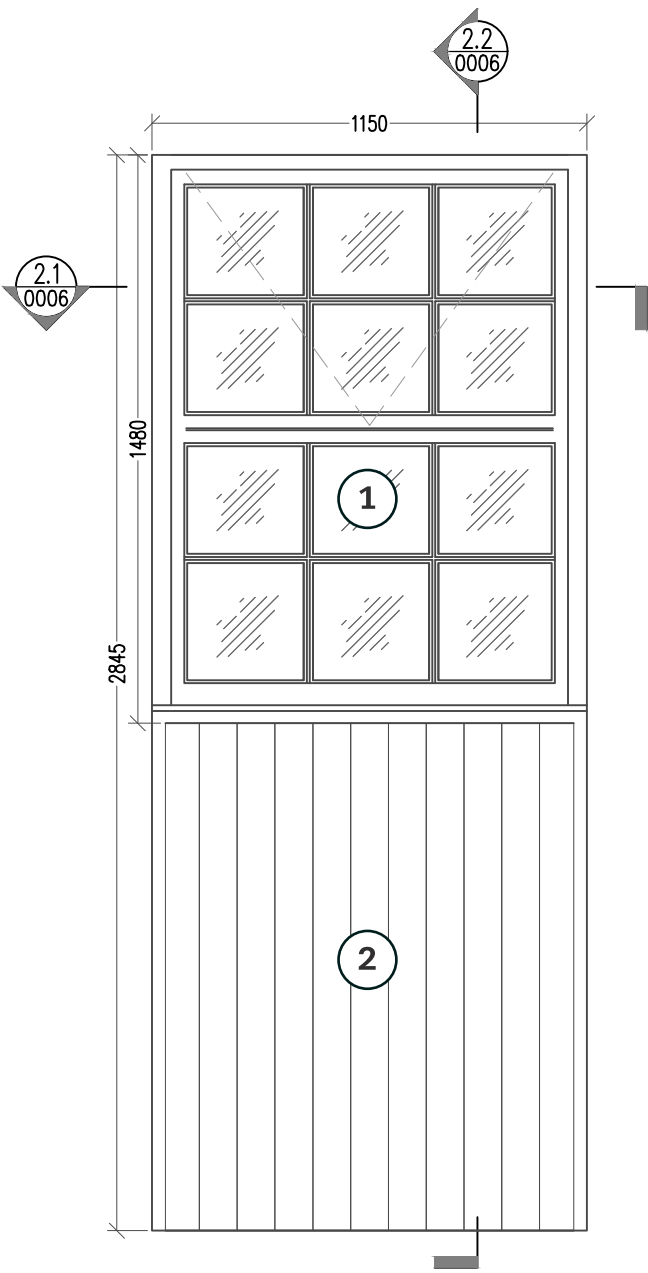
Location:

Front Elevation

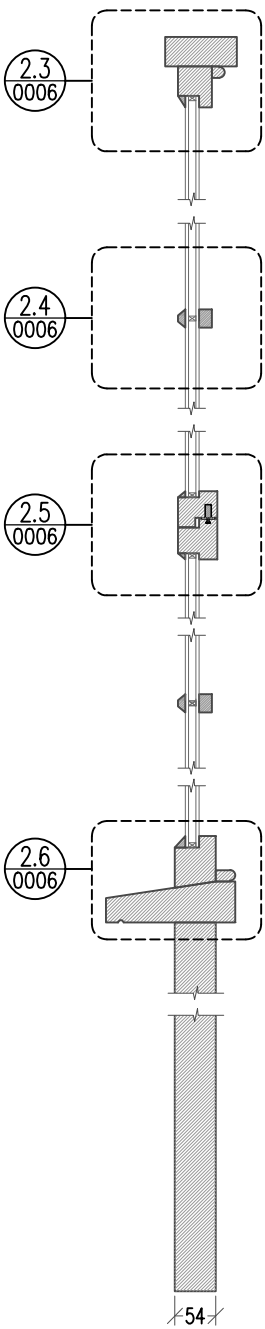
Please refer to the following elevations included in this pack:

ST-EX-03-100 - Front Elevation (As Existing) - Revision -

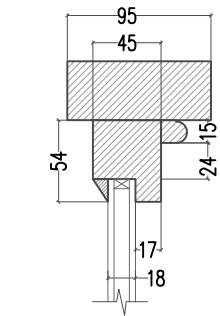
ST-PR-03-100 - Front Elevation (As Proposed) - Revision D



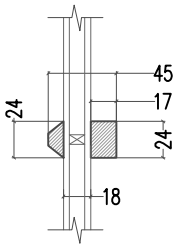
2 Door Elevation
0006 1:20



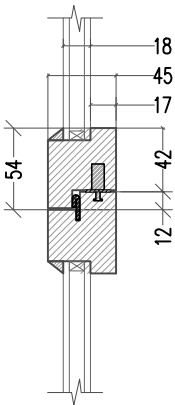
2.2 Door Section 2.2
0006 1:10



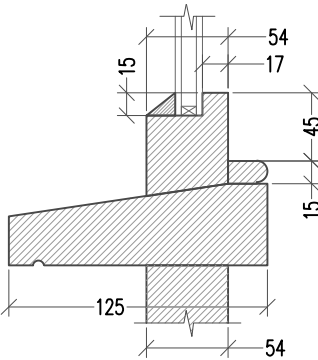
2.3 Detail 2.3
0006 1:5



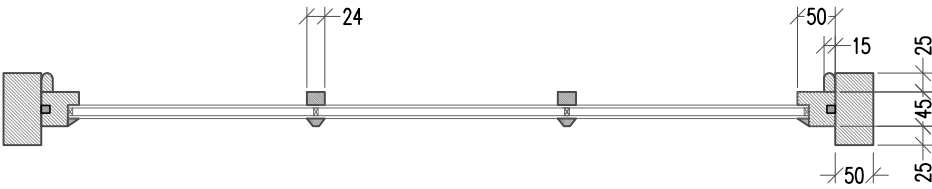
2.4 Detail 2.4
0006 1:5



2.5 Detail 2.5
0006 1:5



2.6 Detail 2.6
0006 1:5



2.1 Door Section 2.1
0006 1:10

Key

- 1 Vertical Timber Boarding to match existing main entrance door
- 2 New double glazed window to match existing

REPLACE EXISTING WINDOW WITH DOOR

Planning Requirement:

“a) [submit] Details including sections at 1:10 of all windows (including jambs, head and cill), ventilation grills, and external doors;”

Material Key Reference to Elevations:

M-02

The proposed window is the same as the existing, except it has slim profile double glazed units instead of single glazing. This is required to comply with the Building Regulations. The appointed Approved Inspector requested that all new windows and doors have double glazing to comply with u-value requirements.

Finish:

Painted Timber Door to match existing main entrance door, with with Glazed vision panel and Painted Timber Side Light Window to match existing

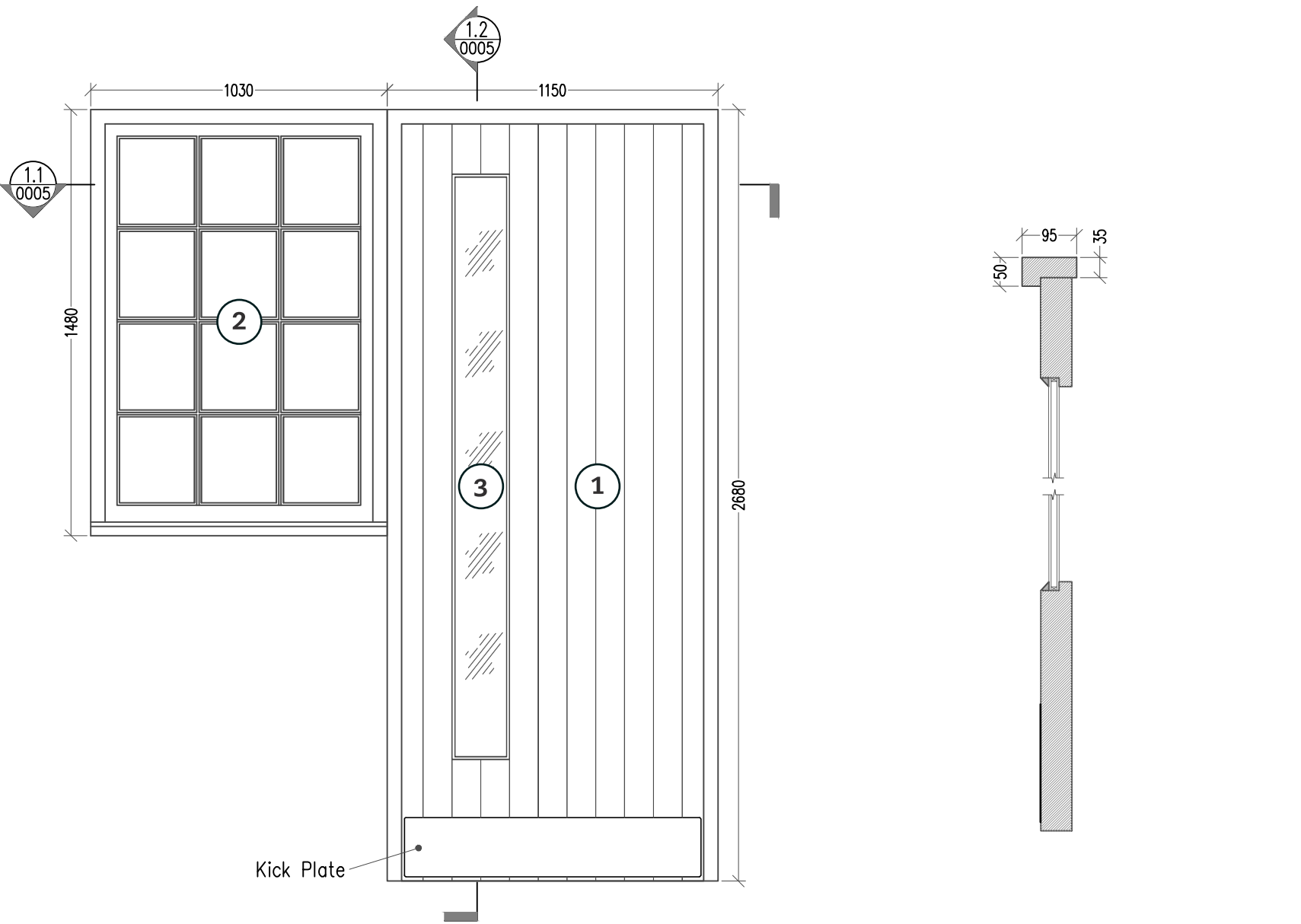
Location:

Front Elevation

Please refer to the following elevations included in this pack:

ST-EX-03-100 - Front Elevation (As Existing) - Revision -

ST-PR-03-100 - Front Elevation (As Proposed) - Revision D



1 Door Elevation
0005 1:20

1.2 Door Section 1.2
0005 1:10

Key

1

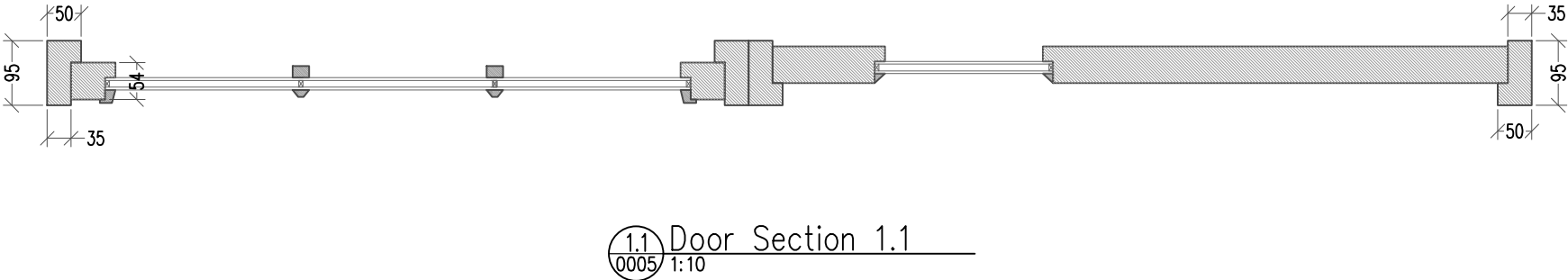
Vertical Timber Boarding to match existing main entrance door

2

New double glazed (slim profile) window to match existing

3

Fire escape glass vision panel



1.1 Door Section 1.1
0005 1:10

NEW ROOF PENETRATION TO SECOND FLOOR FLAT ROOF

Planning Requirement:

“a) [submit] Details including sections at 1:10 of all windows (including jambs, head and cill), ventilation grills, and external doors;”

Material Key Reference to Elevations:

M-03

Finish:

Louvred Turret - PPC (polyester powder coated) Aluminium RAL 7021 (Grey to match flat roof and slate roof)

Location:

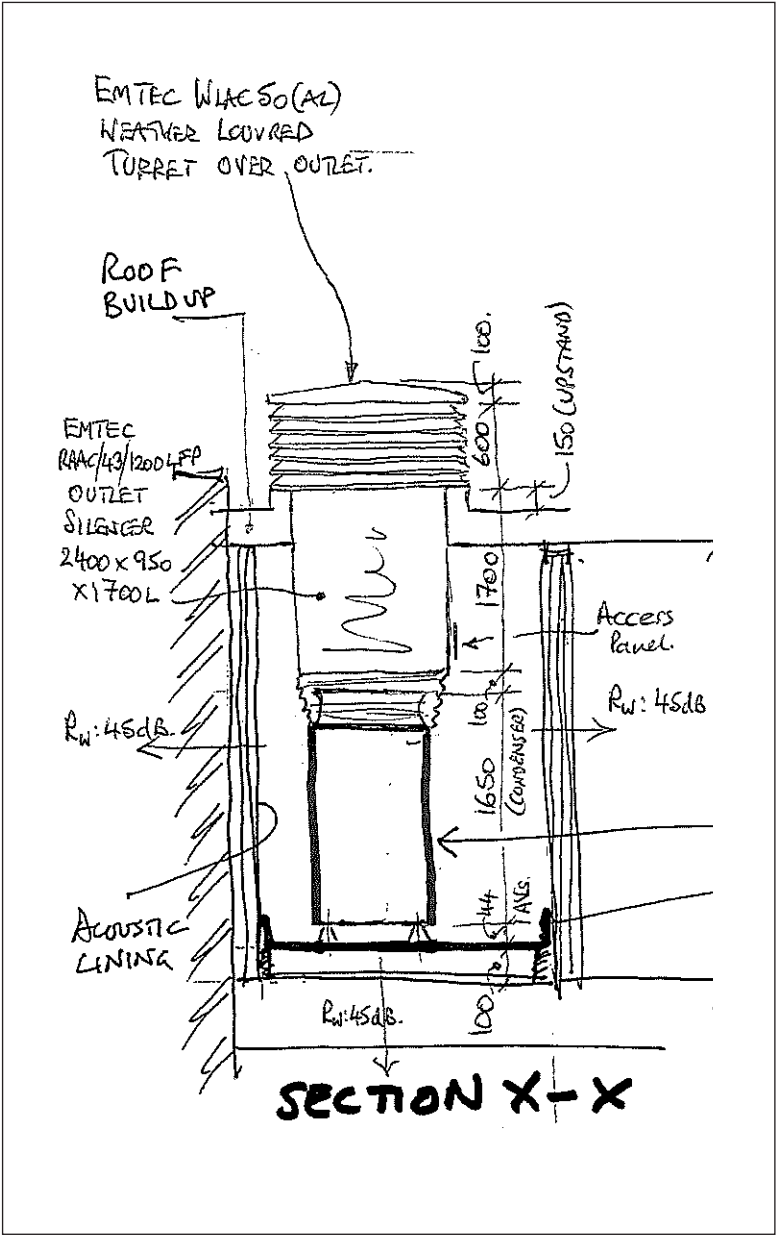
Main Flat Roof

Please refer to the following drawings included in this pack:

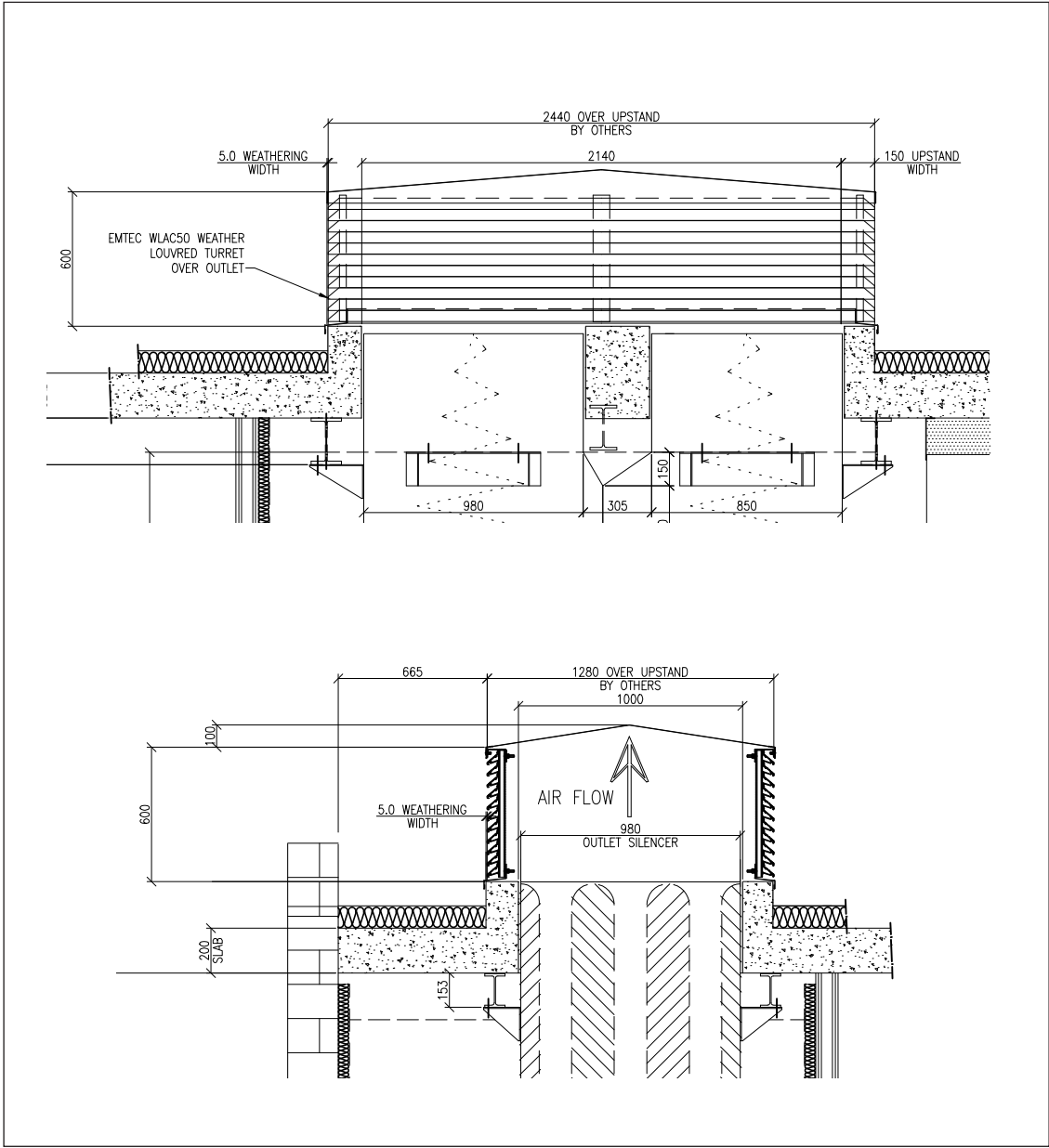
- ST-EX-02-102 - Roof Plan (As Existing) - Revision -
- ST-EX-03-101 - Rear Elevation (As Existing) - Revision -
- ST-EX-03-102 - Side Elevation (As Existing) - Revision -

- ST-PR-02-102 - Roof Plan (As Proposed) - Revision D
- ST-PR-03-101 - Rear Elevation (As Proposed) - Revision D
- ST-PR-03-102 - Side Elevation (As Proposed) - Revision D

- QF9847-GA4 - Plant Enclosure Extract from Noise Survey Report
- QF9847-GA-01 - Plant Enclosure General Arrangement - Revision 02



Previously Submitted Drawing (Refer to Noise Report)



Final Proposed Design

REPLACE EXISTING FIRST FLOOR REAR ELEVATION ACCESS DOOR

Planning Requirement:

“a) [submit] Details including sections at 1:10 of all windows (including jambs, head and cill), ventilation grills, and external doors;”

Material Key Reference to Elevations:

M-04

The proposed gate is required to allow air intake for the plant condensers, as outlined in the previously submitted planning application documents. It replaces an existing access door required for maintaining the flat roof area and rooflights.

Finish:

PPC (polyester powder coated) Black

Location:

Rear Elevation First Floor

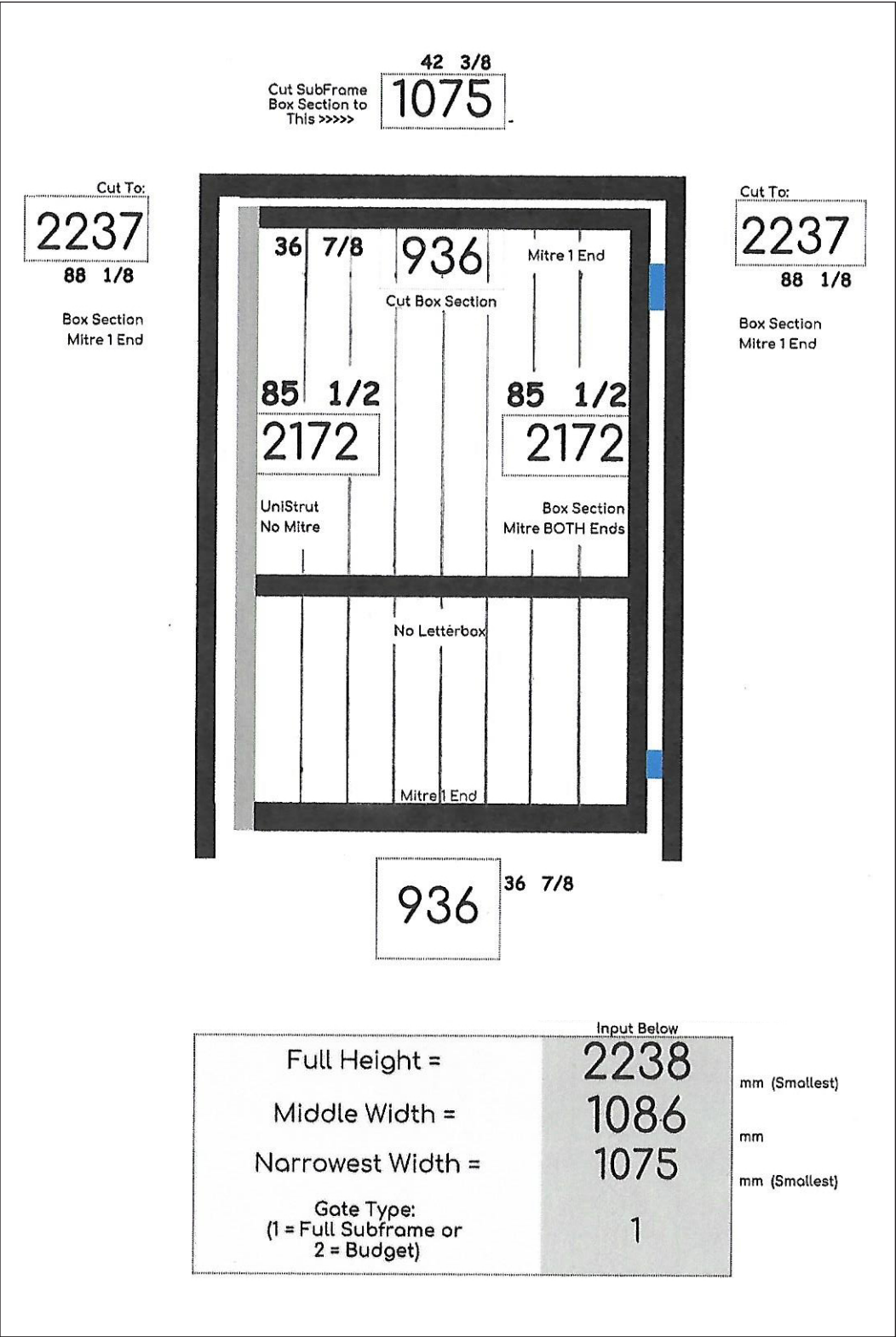
Please refer to the following drawings included in this pack:

ST-EX-03-101 - Rear Elevation (As Existing) - Revision -

ST-PR-03-101 - Rear Elevation (As Proposed) - Revision D

QF9847-GA4 - Plant Enclosure Extract from Noise Survey Report
QF9847-GA-01 - Plant Enclosure General Arrangement - Revision 02

Full Subframe Security Gate



Detail Drawing of Plant Room Access Gate with Free Air Openings for Air Intake



Example Image of Plant Room Access Gate with Free Air Openings for Plant Air Intake



Existing Access Door

NEW PITCHED ROOF TO MATCH EXISTING,
ALL IN SLATE TILES

Planning Requirement:

“b) [submit] Manufacturer’s specification details of the roof slates (to be submitted to the Local Planning Authority)”

Material Key Reference to Elevations:

M-05

Finish:

Natural Slate Tile

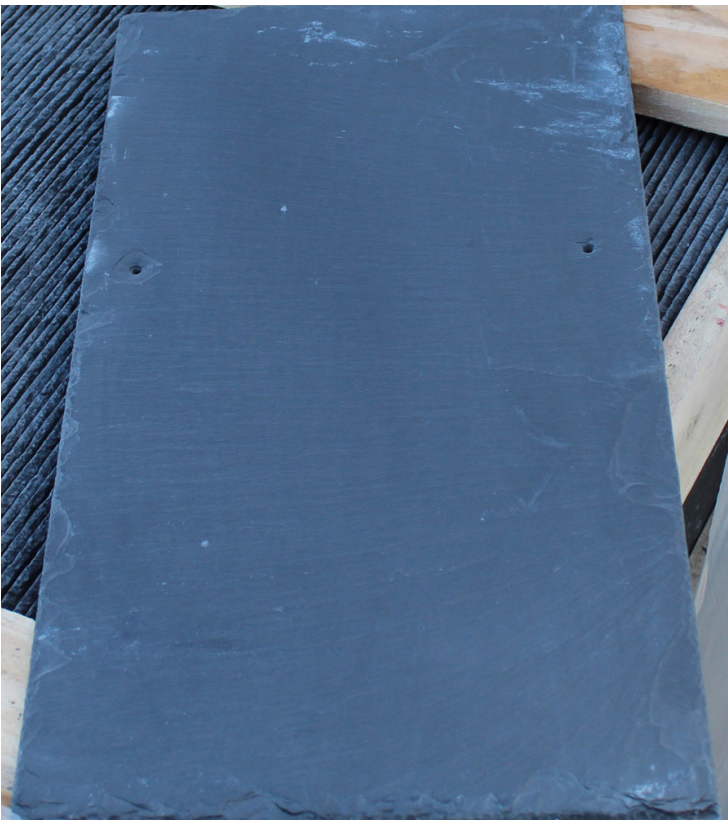
Location:

Main Pitched Roof

Please refer to the following drawings included in this pack:

- ST-EX-02-102 - Roof Plan (As Existing) - Revision -
- ST-EX-03-100 - Front Elevation (As Existing) - Revision -
- ST-EX-03-101 - Rear Elevation (As Existing) - Revision -
- ST-EX-03-102 - Side Elevation (As Existing) - Revision -

- ST-PR-02-102 - Roof Plan (As Proposed) - Revision D
- ST-PR-03-100 - Front Elevation (As Proposed) - Revision D
- ST-PR-03-101 - Rear Elevation (As Proposed) - Revision D
- ST-PR-03-102 - Side Elevation (As Proposed) - Revision D



Sample of proposed Natural Slate Tile

Declaration of Performance

EC Construction Products Regulation
EN 12326 Roofing & Cladding Slate



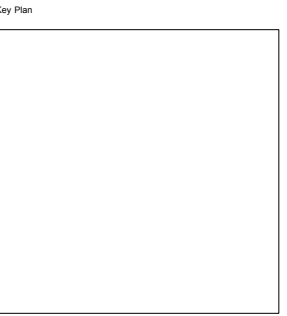
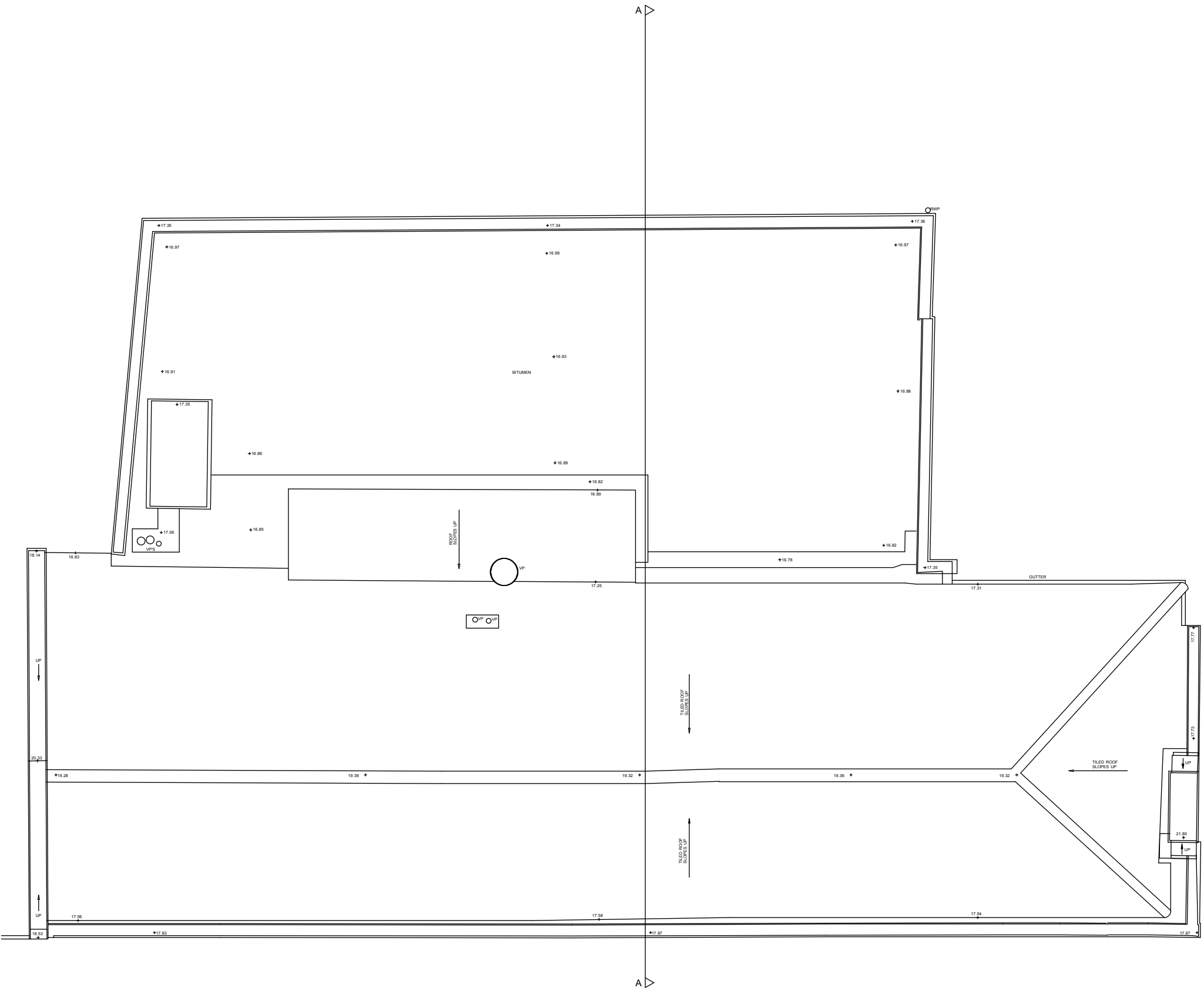
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Fax: +44 (0)1487 825 240
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www.primeraslate.co.uk

DOP Number:		DOP 18/002
1. Unique identification code of the product-type:		Abejeda Estella
2. Type, batch or serial number or any other element allowing identification of the construction product:		30X20 35x20 40x20 40x25 50x25 50X30 60X30
3. Intended use or uses of the construction product, in accordance with the applicable harmonized technical specification, as foreseen by the manufacturer:		Slate for discontinuous roofing and cladding
4. Name, registered trade name or registered trade mark and contact address of the manufacturer:		Pizarras La Luz S.L. La Ermita 1. Riofrio de Aliste. Spain
5. Where applicable, name and contact address of the authorised representative:		N/A
6. System or systems of assessment and verification of consistency of performance of the construction product:		System 4
7. In case of the declaration of performance concerning a construction product covered by a harmonized standard:		The manufacturer has carried out factory production control and determination of product type based upon System 4 within the Assessment of Conformity Tasks.
8. In case of the declaration of performance concerning a construction product covered by a European Technical Assessment:		N/A
9. Declared Performance:		
Essential Characteristic for Pitched Roof Coverings:	Performance:	Harmonized Technical Specification:
Mechanical Resistance:	Mean Failure Load: Transverse: 844,8N Characteristic MOR: Transverse: 60,1Mpa Longitudinal: 1098,1 N Longitudinal: 78,8 Mpa	EN12326-2:2011
External Fire Performance:	Deemed to satisfy	EC Decision 2000/553/EC
Reaction to Fire:	Deemed to satisfy Class A1	EC Decision 96/603/EC as amended
Dimensional Variation:		EN12326-2:2011
Slate Type:	Very Smooth Smooth Normal Textured	
Deviation from flatness:	<1.0%	
Nominal thickness and variation:	5mm +/- 35%	
Deviation from declared width:	+/- 5mm	
Deviation from declared length:	+/- 5mm	
Deviation from straightness of edges:	+/- 5 mm	
Deviation from rectangularity:	+/- 1%	
Durability:		EN12326-2:2011
Water absorption:	Code A1 0.36%	
Freeze thaw:	Not Required	
Thermal cycle test:	Code T1	
Carbonate content:	0.5%	
Sulphur dioxide exposure tests:	Code S1	
Non-carbonate carbon content:	0.5%	
Release of dangerous substances:	None in conditions of use as roofing or external cladding	EN12326-2:2011
10. Declaration: The product(s) identified in Points 1 and 2 is in conformity with the declared performance under point 9. This declaration of performance is the sole responsibility of the manufacturer identified in point 4.		
Place & Date of Issue: PRIMERA SLATE COMPANY LIMITED 86 Ramsey Road, Warboys, Huntingdon, Cambs PE28 2RW 1 st July 2019		Name: Mr Stephen Harding Position: Managing Director Signature:

Manufacturer’s Specification Details of Natural Slate Tiles

2.0

DRAWINGS



Do not scale from this drawing.
Check drawing on receipt and immediately report any discrepancies to the Architect.
Verify all dimensions and levels on site prior to construction.
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Notes

Rev.	Date	Note	Approved
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Stiff + Trevillion

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www.stiffandtrevillion.com

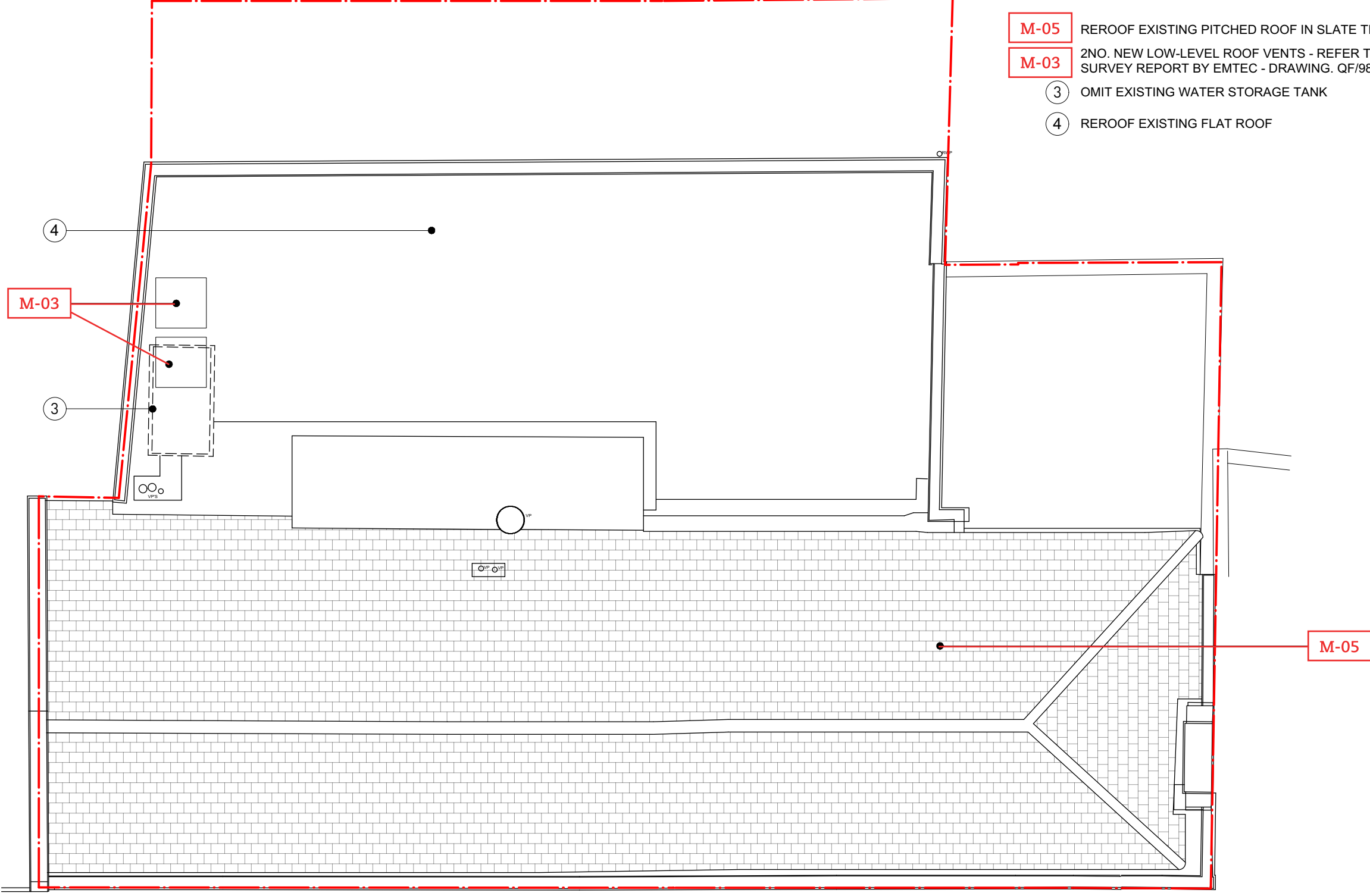
Client
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Project
21 - 20A BROWNLOW MEWS
LONDON WC1N 2LA

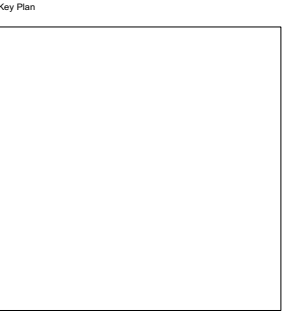
Drawing Title
**ROOF PLAN
AS EXISTING**

Drawing Status
EXISTING

Date	Scale @ A1	Scale @ A3
MAY 2019	1:50	1:100
Project No.	Drawing No.	Revision
4457	EX-02-102	-



- M-05** REROOF EXISTING PITCHED ROOF IN SLATE TILES
- M-03** 2NO. NEW LOW-LEVEL ROOF VENTS - REFER TO NOISE SURVEY REPORT BY EMTEC - DRAWING. QF/9847/GA4
- ③ OMIT EXISTING WATER STORAGE TANK
- ④ REROOF EXISTING FLAT ROOF



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Notes
All levels shown are referenced from the accompanying survey drawings:
- EX-02-100
- EX-02-101
- EX-02-102
- EX-03-101
- EX-03-102
- EX-04-100
Survey by APR Services Ltd.

D 06/01/20 Plant enclosure changed from external plant to internal plant enclosure and existing bay window retained.

Rev.	Date	Note	Approved
------	------	------	----------

Stiff + Trevillion

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Client

Project
21 - 20A BROWNLOW MEWS
LONDON WC1N 2LA

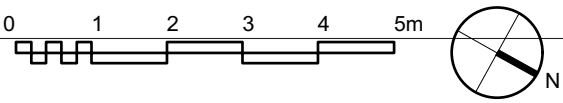
Drawing Title
ROOF PLAN
AS PROPOSED

Drawing Status
PLANNING


Date	Scale @ A1	Scale @ A3
12.12.19	1:50	1:100
Project No.	Drawing No.	Revision
4457	PR-02-102	D

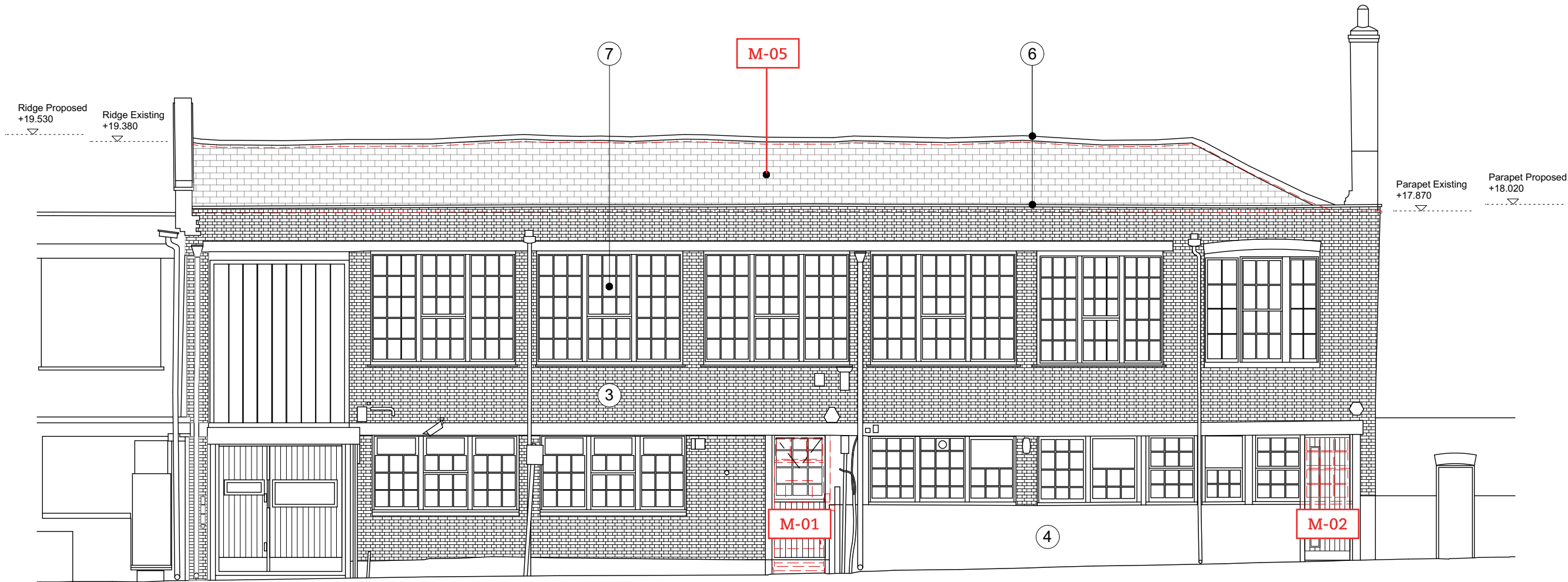
BROWNLOW MEWS

1 ROOF PLAN
SCALE 1:100 @ A3



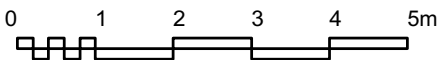
1 EXISTING NORTH-EAST ELEVATION
Scale: 1:100

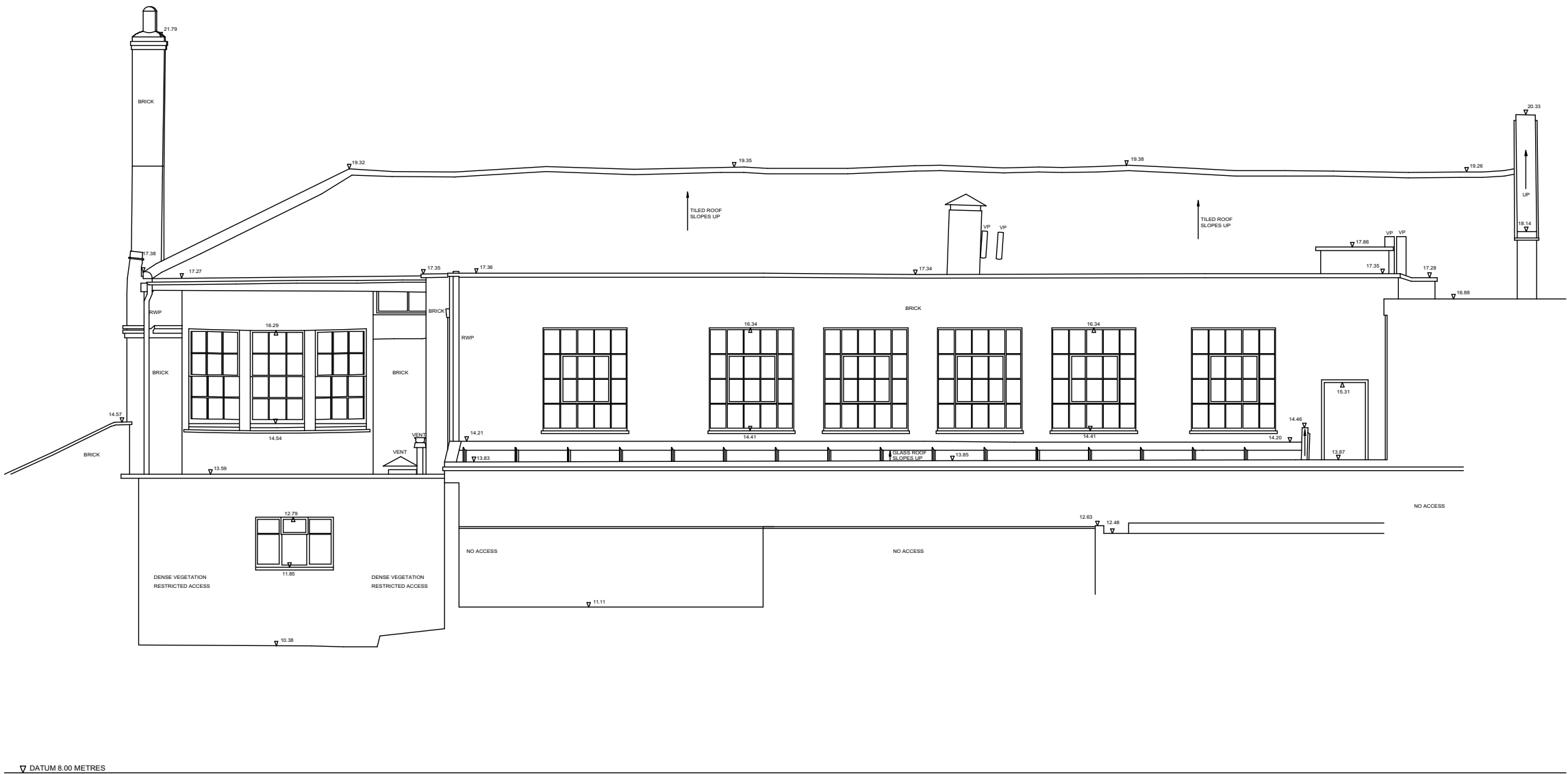
GENERAL NOTES:		Revisions		Key Plan		Client		Drawing Status	
Do not scale from this drawing.		Rev.	Date	Note	Approved		--	EXISTING	
Check drawing on receipt and immediately report any discrepancies to the Architect. Verify all dimensions and levels on site prior to construction.									
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Stiff + Trevillion							Project No. Project 4457 21 - 20A BROWNLOW MEWS LONDON WC1N 2LA		Date Scale @ A1 Scale @ A3 May 2019 1:50 1:100
							Drawing Title FRONT ELEVATION AS EXISTING		Drawing No. Revision EX-03-100 -



1 FRONT (NORTH-EAST) ELEVATION
Scale: 1:100

- M-01 REPLACE EXISTING DOOR WITH FULL-HEIGHT WINDOW TO MATCH EXISTING WINDOWS, RENDER PLINTH TO MATCH EXISTING
- M-02 OMIT WINDOW, ENLARGE OPENING FOR NEW TIMBER DOOR
- 3 EXISTING BRICKWORK
- 4 EXISTING RENDER
- M-05 NEW ROOF TO MATCH EXISTING IN SLATE TILES
- 6 RIDGE AND PARAPET RAISED BY 150MM TO ACCOMMODATE NEW INSULATION
- 7 EXISTING TIMBER WINDOWS

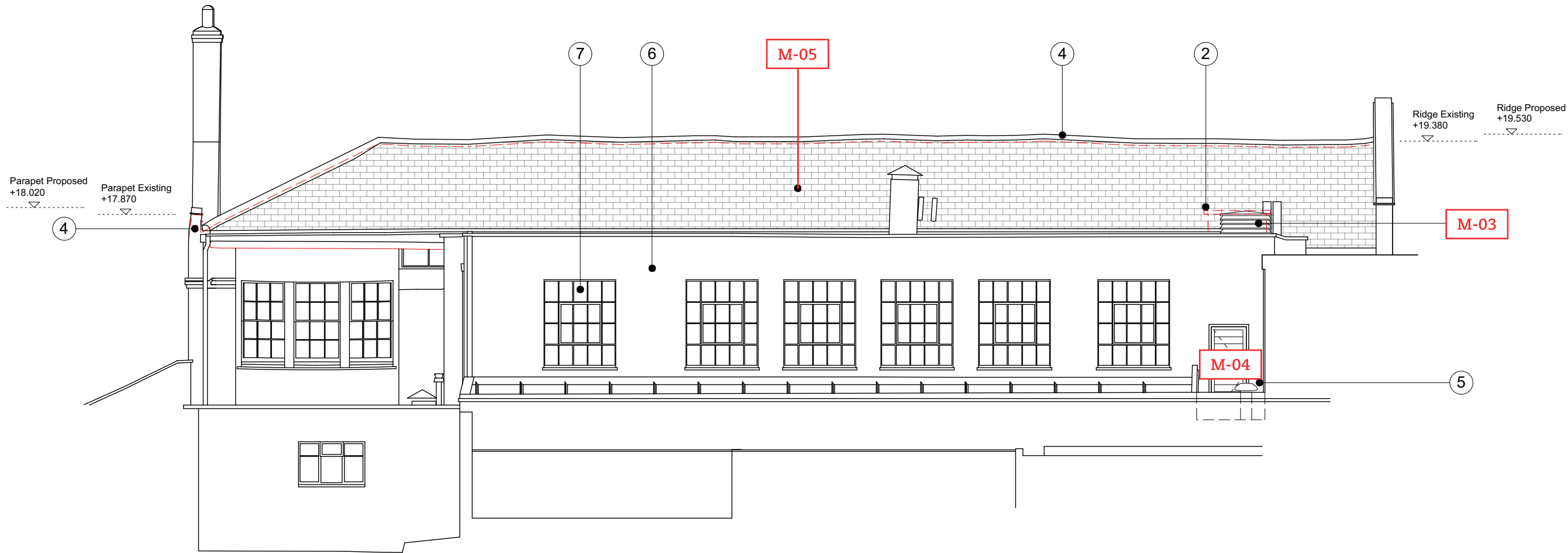




▽ DATUM 8.00 METRES

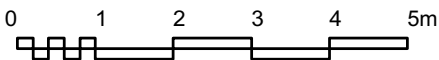
REAR ELEVATION

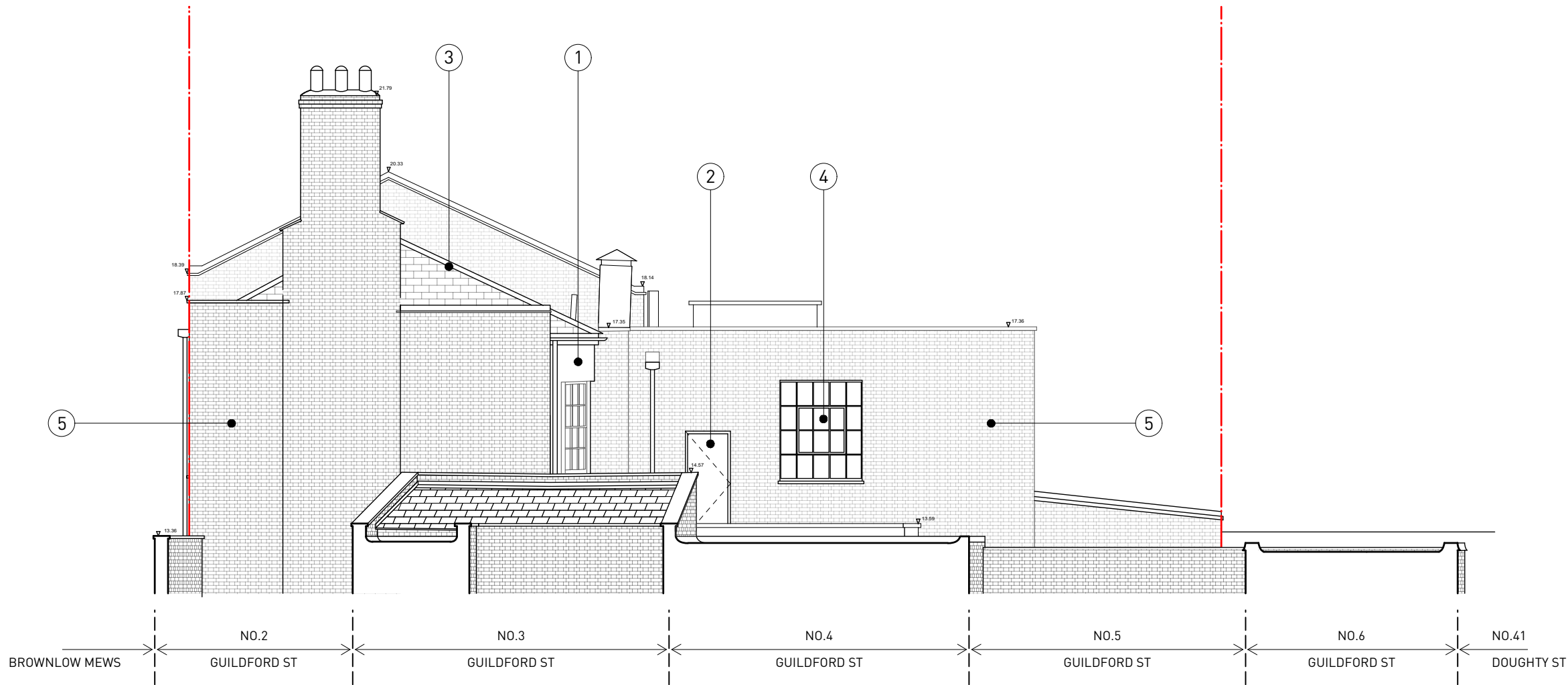
1 EXISTING SOUTH-WEST ELEVATION
Scale: 1:100



2 REAR (SOUTH-WEST) ELEVATION
Scale: 1:100

- M-04 PLANT ROOM DOOR WITH FREE AIR OPENINGS
- 2 OMIT EXISTING WATER STORAGE TANK
- M-05 NEW ROOF TO MATCH EXISTING IN SLATE TILES
- 4 RIDGE AND PARAPET RAISED BY 150MM TO ACCOMMODATE NEW INSULATION
- 5 NEW ROOF VENT FOR VENTILATION
- 6 EXISTING BRICKWORK
- 7 EXISTING METAL WINDOWS
- M-03 2NO. NEW LOW-LEVEL ROOF VENTS - REFER TO NOISE SURVEY REPORT BY EMTEC - DRAWING. QF/9847/GA4

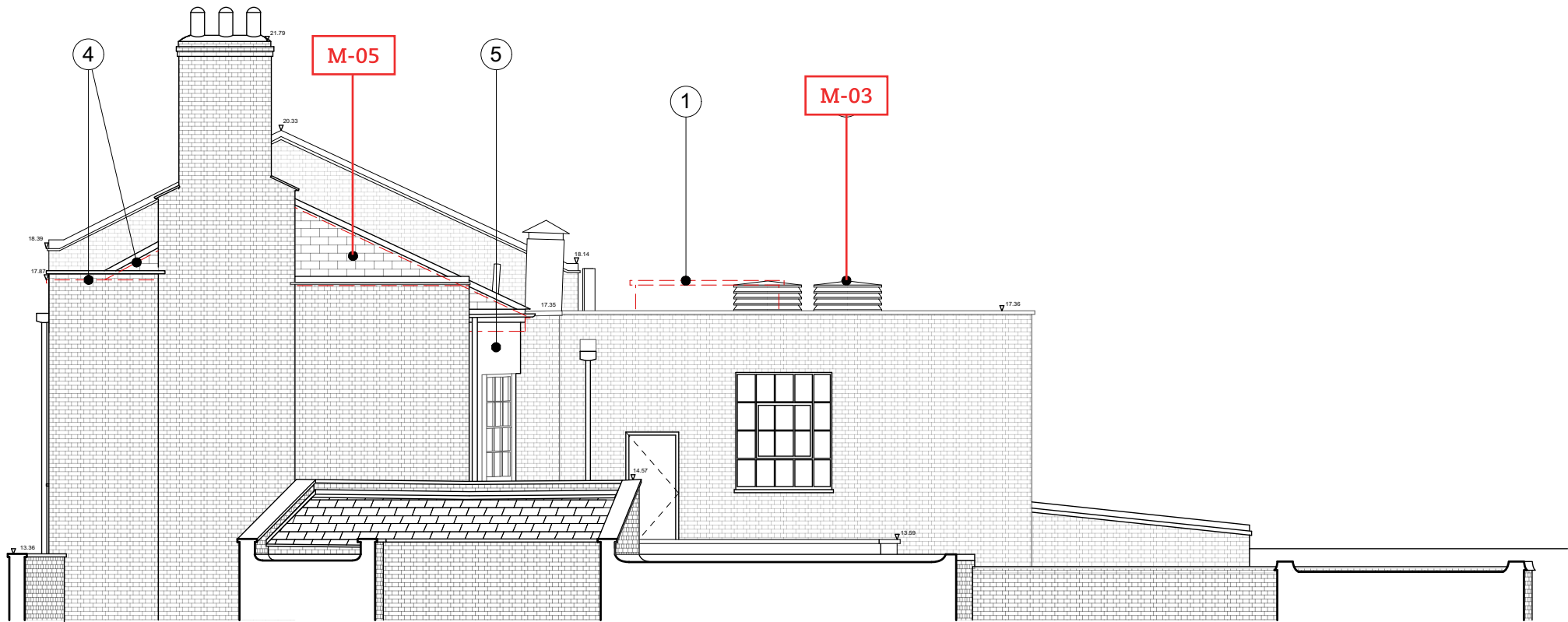




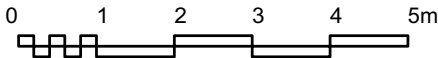
3 SIDE (NORTH-WEST) ELEVATION
Scale: 1:100

0 1 2 3 4 5m

- 1 EXISTING BAY WINDOW
- 2 EXISTING DOOR
- 3 EXISTING CONCRETE TILE ROOF
- 4 EXISTING METAL WINDOW
- 5 EXISTING BRICKWORK



3 SIDE (NORTH-WEST) ELEVATION
Scale: 1:100



- 1 OMIT EXISTING WATER STORAGE TANK
- M-03 2NO. NEW LOW-LEVEL ROOF VENTS - REFER TO NOISE SURVEY REPORT BY EMTEC - DRAWING. QF/9847/GA4
- M-05 NEW ROOF TO MATCH EXISTING IN SLATE TILES
- 4 RIDGE AND PARAPET RAISED BY 150MM TO ACCOMMODATE NEW INSULATION
- 5 RETAIN EXISTING BAY WINDOW

GENERAL NOTES:

Do not scale from this drawing.
Check drawing on receipt and immediately report any discrepancies to the Architect.
Verify all dimensions and levels on site prior to construction.
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Revisions

Rev.	Date	Note
D	06/01/20	Retain existing bay window / omit water storage tank / add low-level roof vents

Approved

Key Plan



Stiff + Trevillion

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Client

Drawing Status

PLANNING

Project No.

4457

Project

21 - 20A BROWNLOW MEWS
LONDON WC1N 2LA

Date

09.08.19

Scale @ A1

1:50

Scale @ A3

1:100

Drawing Title

**SIDE ELEVATION
AS PROPOSED**

Drawing No.

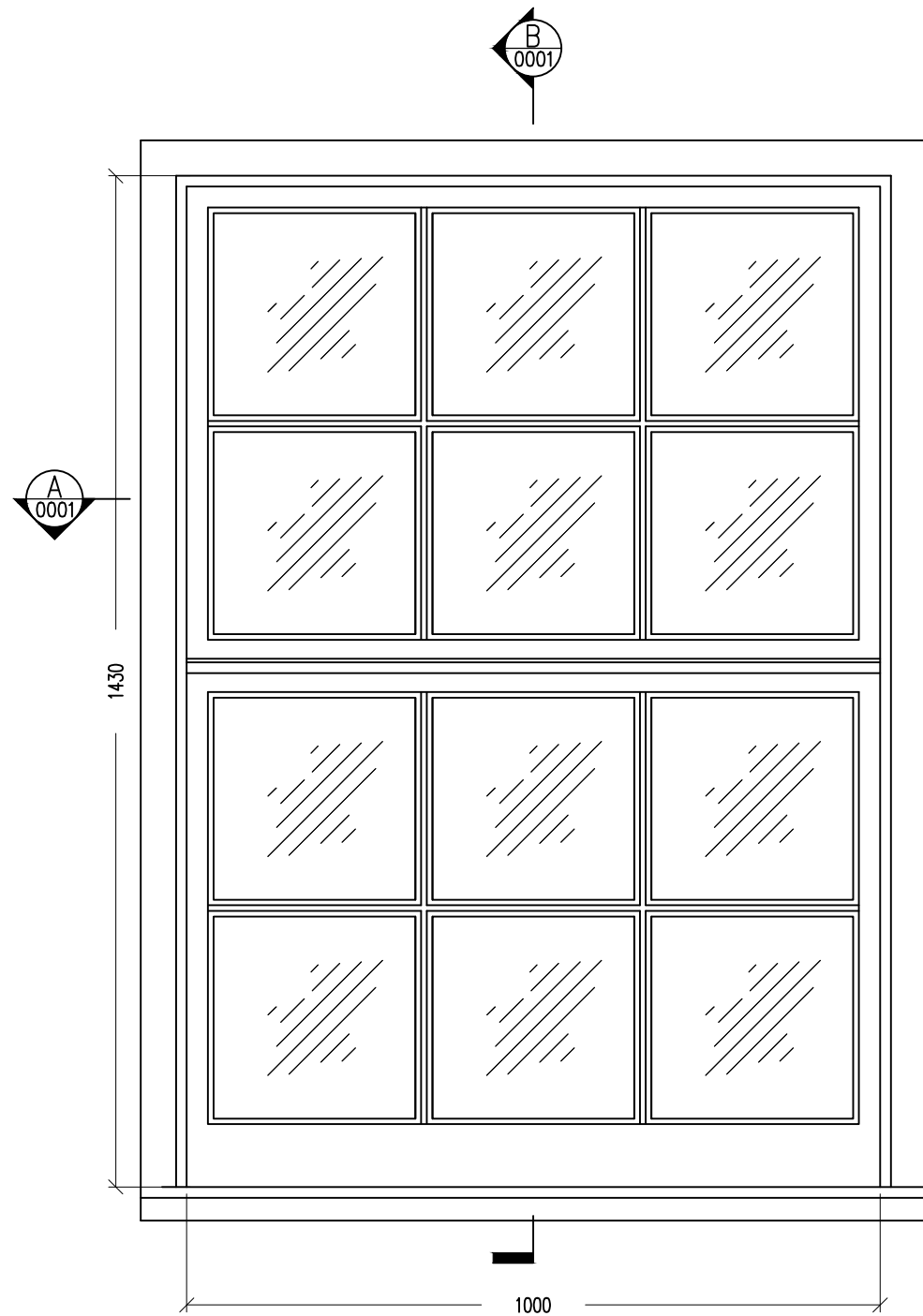
PR-03-102

Revision

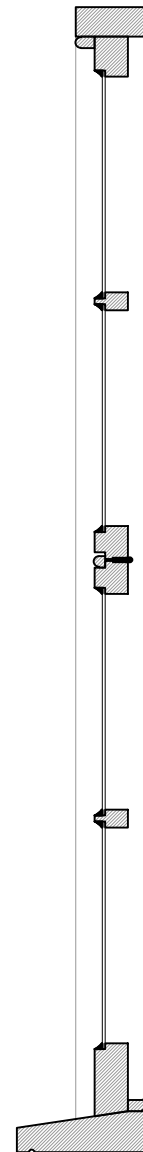
18

D

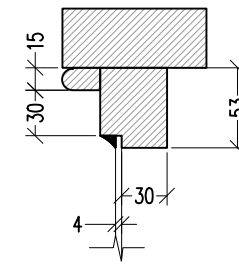
All levels shown are referenced to the datum shown on the survey.
- EX-02-100 - EX-02-101 - EX-03-101 - EX-02-102 - EX-04-100
Survey by APR Services Ltd.



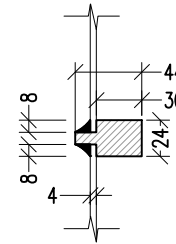
A Section A
0001 1:10



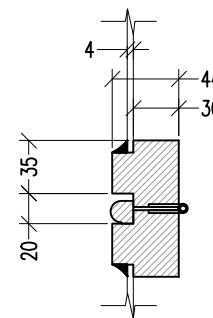
B Section B
0001 1:10



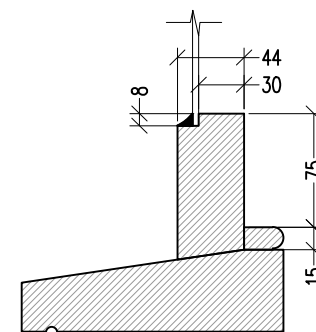
1 Detail 1
0001 1:5



2 Detail 2
0001 1:5



3 Detail 3
0001 1:5



4 Detail 4
0001 1:5

- Notes
1. All dimensions in millimetres unless otherwise stated.
 2. All dimensions to be confirmed on site.



Andwoodcraft

ARCH 539, ORPHANS YARD, BRIXTON STATION ROAD, LONDON, SW9 8QB.
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Drawing Status

PRELIMINARY

Project

BROWNLOW MEWS

Title

WINDOW ELEVATION,
SECTIONS AND DETAILS
(EXISTING)

Revision

P1

DIGITAL COPY

Drawing No.

20001-ANDW-0001

Scale AS SHOWN @ A3

Design by

AB

Checked by

AB

Date

02.06.20



1.2 Door Section 1.2
0005 1:10



1. All dimensions in millimetres unless otherwise stated.
2. All dimensions to be confirmed on site.



Andwoodcraft

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Drawing Status

PRELIMINARY

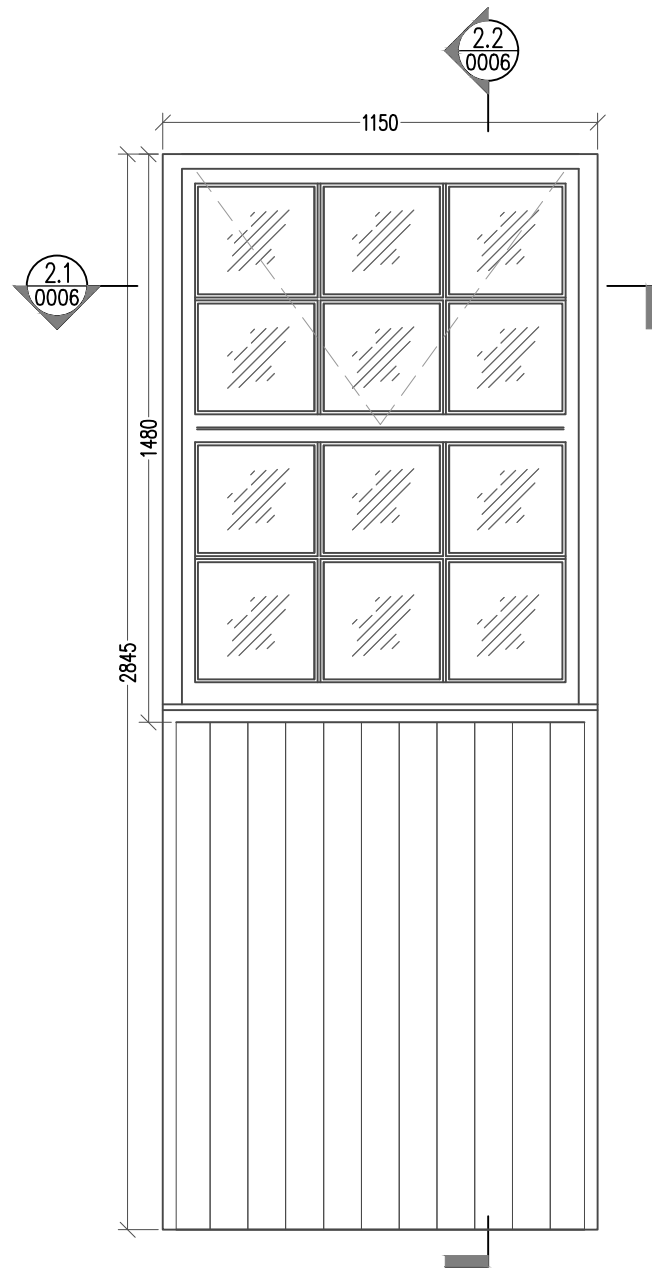
Project

Title

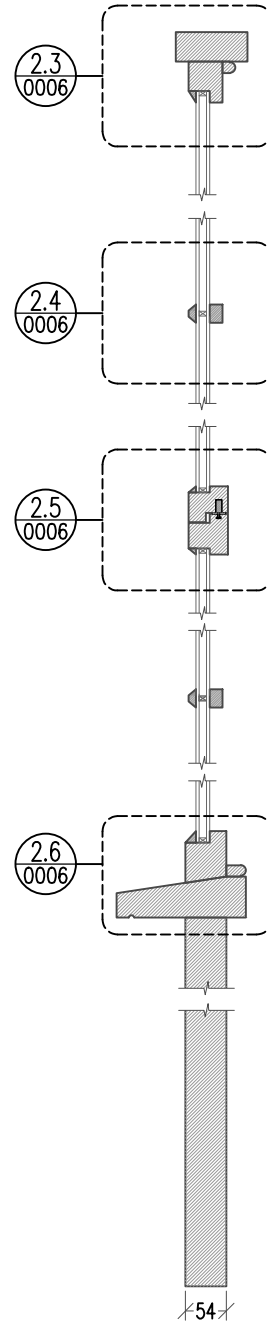
DOOR ELEVATION,
SECTIONS AND DETAILS
(PROPOSED)

Revision P1

Digital Copy



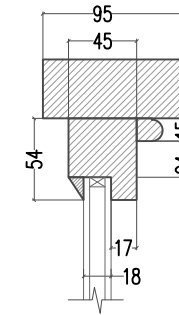
2 Door Elevation
0006 1:20



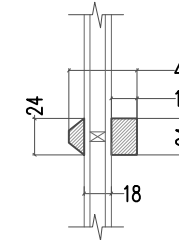
2.2 Door Section 2.2
0006 1:10



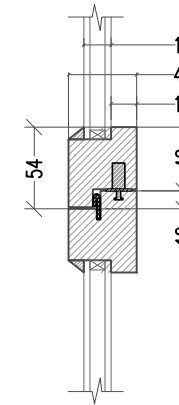
2.1 Door Section 2.1
0006 1:10



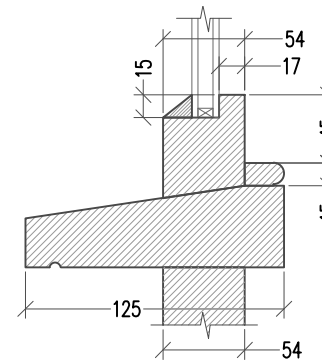
2.3 Detail 2.3
0006 1:5



2.4 Detail 2.4
0006 1:5



2.5 Detail 2.5
0006 1:5



2.6 Detail 2.6
0006 1:5

- Notes
1. All dimensions in millimetres unless otherwise stated.
 2. All dimensions to be confirmed on site.



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Drawing Status

PRELIMINARY

Project

Title

DOOR FW-03 ELEVATION,
SECTIONS AND DETAILS
(PROPOSED)

Revision

P2

Digital Copy

Drawing No.

20003-ANDW-0006

Scale AS SHOWN @ A3

Design by

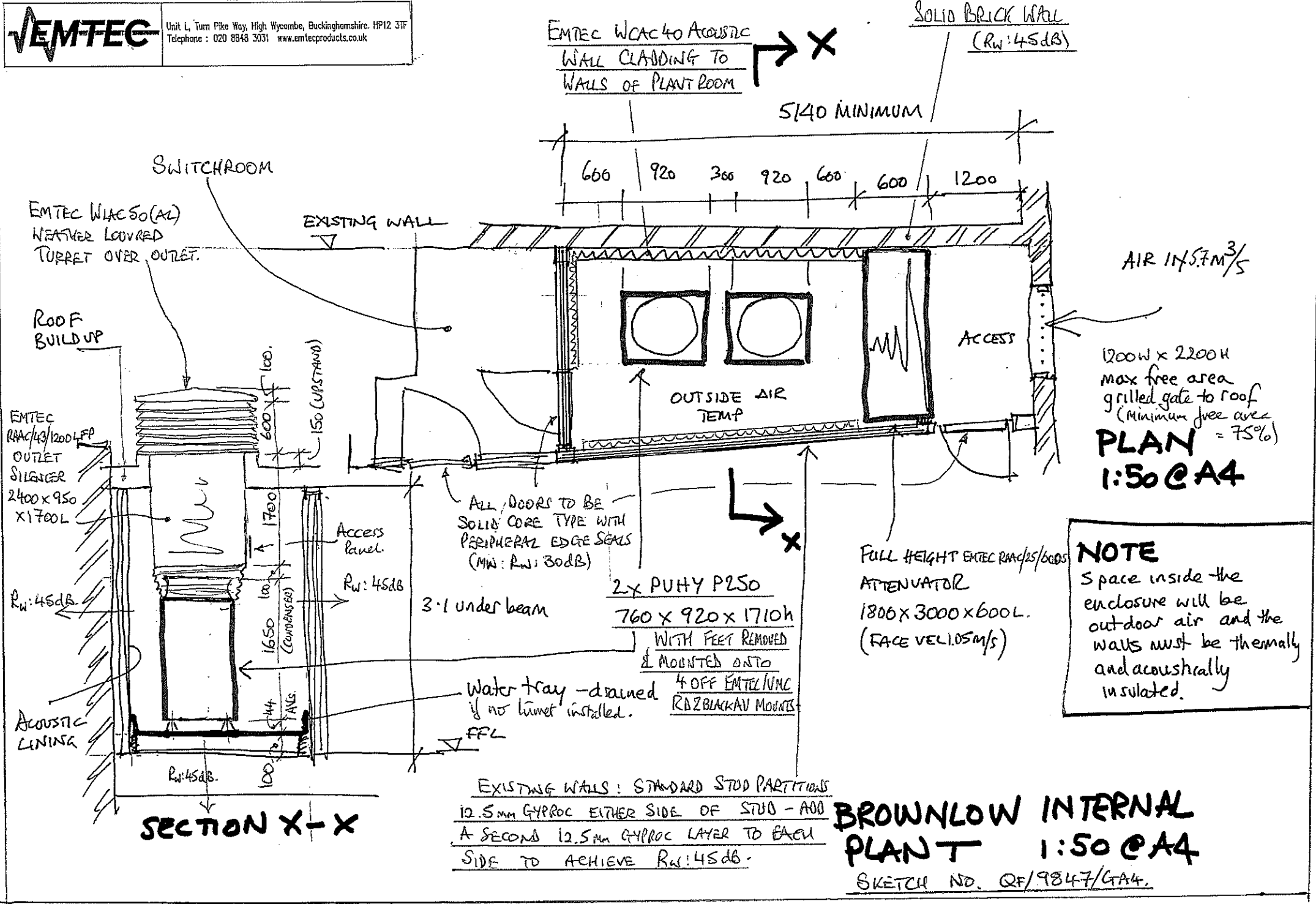
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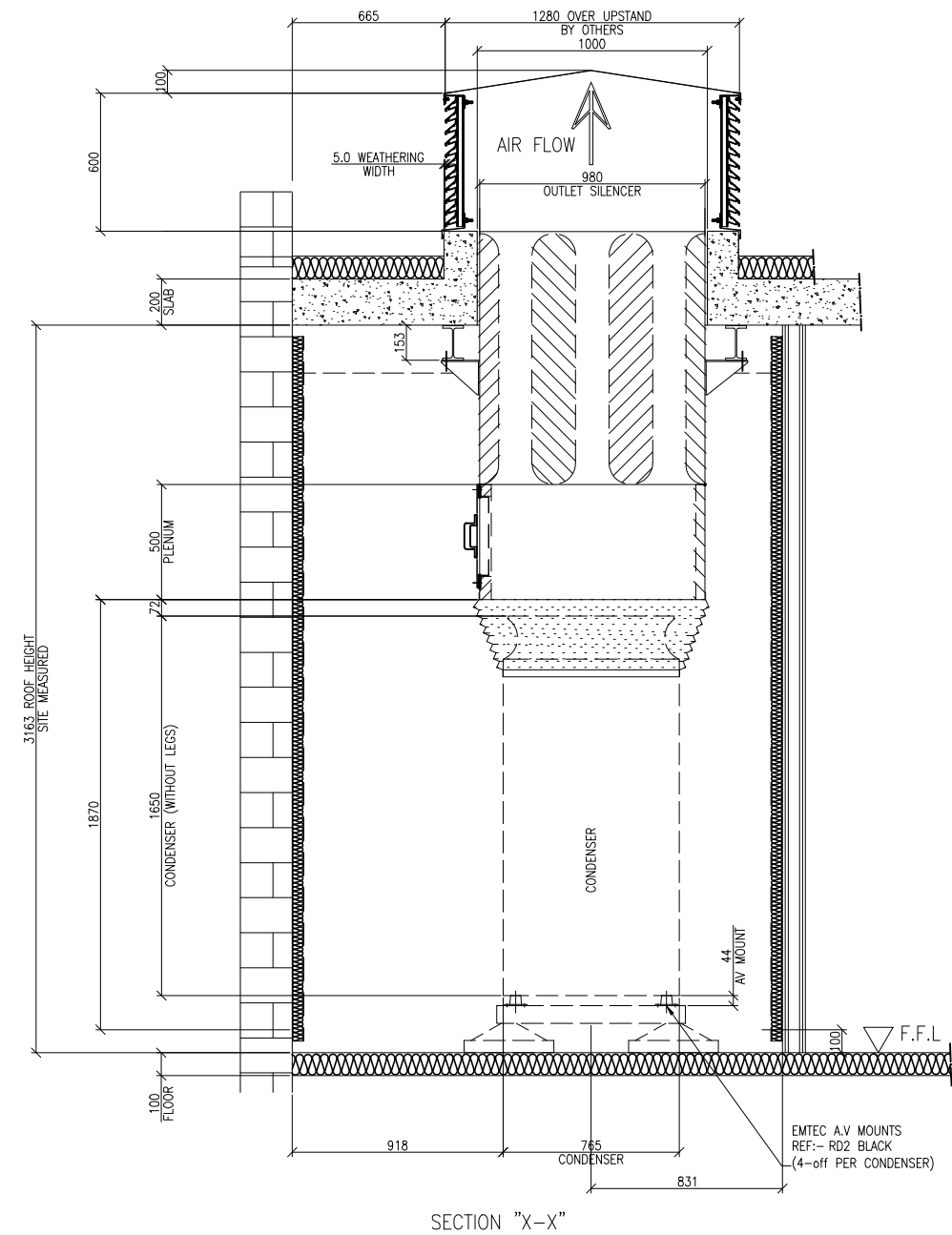
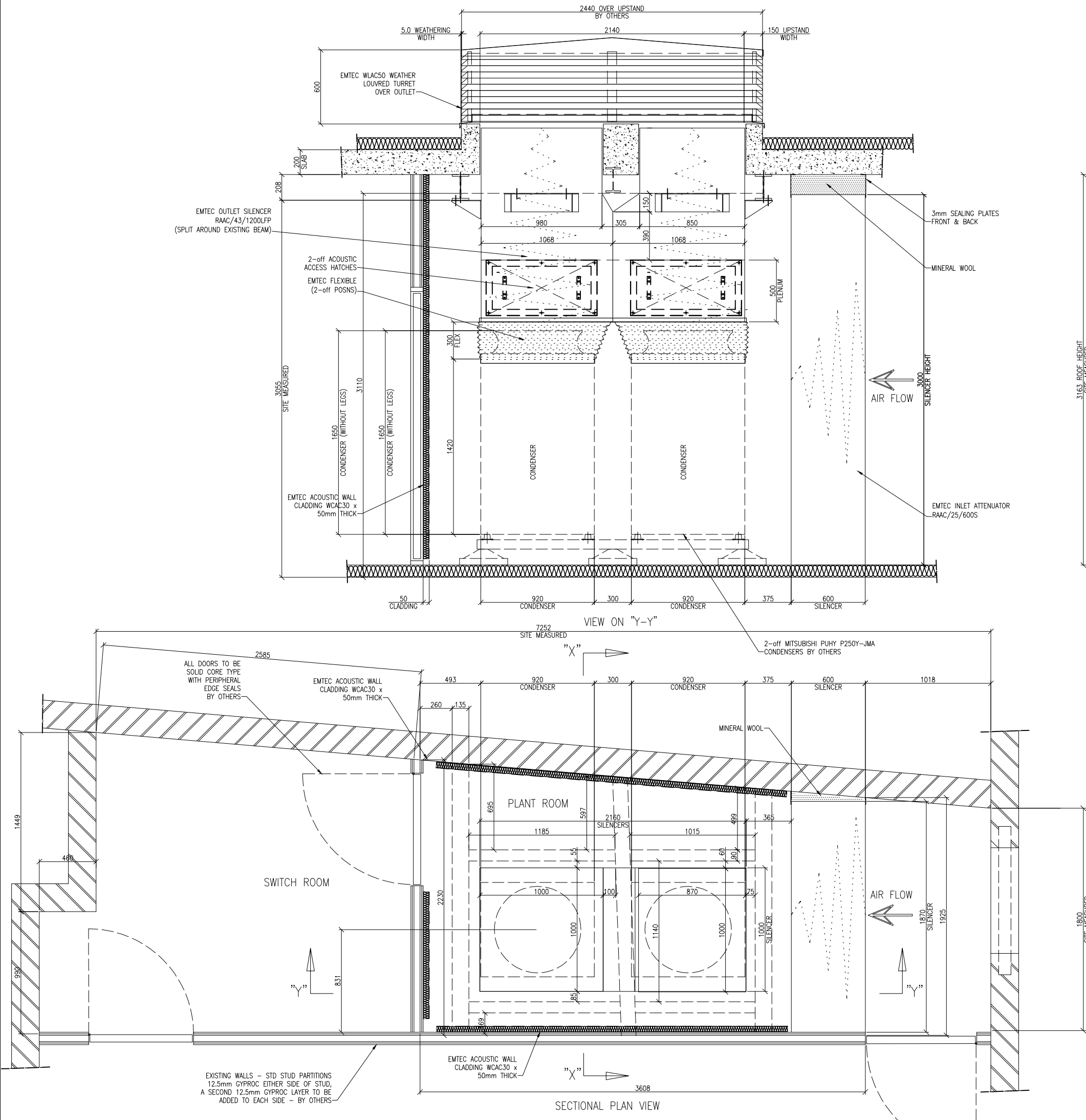
Checked by

AB

Date

22.09.20





Note :-
This drawing must not be scaled. All dimensions and levels must be checked on site and any discrepancies reported to the designers prior to manufacture.
This drawing is the copyright of Emtec Products Ltd. It can be used only by this client and on this project as shown in the title block below.

02	UPDATED AFTER SITE VISIT	06.08.20
01	UPDATED AFTER CLIENT COMMENTS	15.07.20
00	FIRST ISSUE	10.06.20
no.	issued	date

FOR REVIEW



Unit 1, Turn Pike Way, High Wycombe,
Buckinghamshire, HP12 3JF
TEL: 020 8848 3031 www.emtecproducts.co.uk

Drawing Title
ACOUSTIC TREATMENT
GENERAL ARRANGEMENT

Project 21-20A, BROWNLOW MEWS, LONDON WC1			
Client COOLAIR LTD.			
File no. QF9847	Date 10.06.20	Works No. PF6743	Quality level 1
Scale 1:16	Drawn By RAF	Design Auth MGR	Approved K.H.
Drawing number QF9847-CA-01			Rev 02

ONE-SET of ACOUSTIC TREATMENT REQ'D
FINISH:- SILENCERS & ACOUSTIC WALL CLADDING
GALV FINISH:- SELF COLOUR
LOUVRED TURRET - P.P.C RAL 7021 (BLACK GREY)

-- Full Subframe Security Gate -- Name: Thornton Partnership

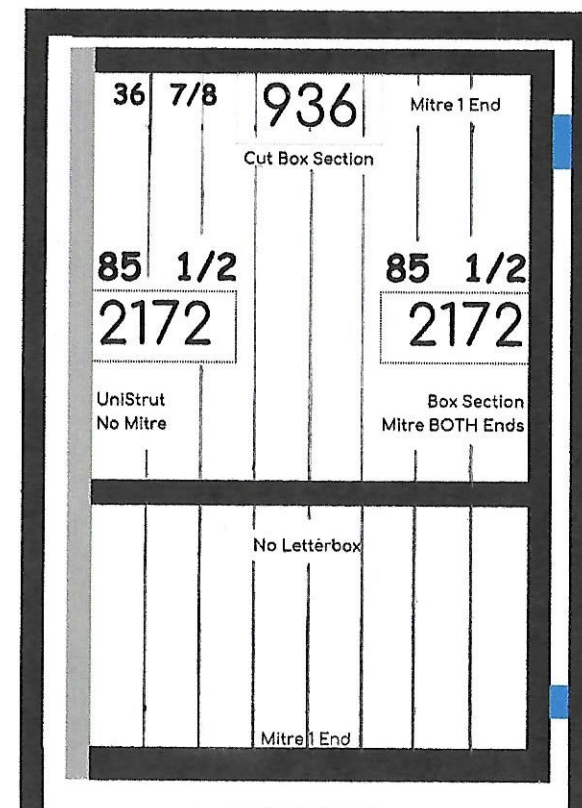
Top Width: 1080

BROWNLOW NEWS

42 3/8
Cut SubFrame
Box Section to
This >>>> 1075

Cut To:
2237
88 1/8

Box Section
Mitre 1 End



Bottom Width: 1072

Cut To:
2237
88 1/8

Box Section
Mitre 1 End

Input Below
Full Height = 2238 mm (Smallest)
Middle Width = 1086 mm
Narrowest Width = 1075 mm (Smallest)
Gate Type:
(1 = Full Subframe or
2 = Budget) 1

Size of the Box Section (mm) 40
Do you want to use UniStrut or 40mm Box Section as the Lock Receiver? Box Section
Size of the Gate's UniStrut Channel (mm) 41
Lock & Hinge Clearance (18mm) 18
Clearance Under Gate? (mm) 25
Knock off Height? (i.e. for 2mm play) 1
Knock off Subframe Width? (for play) 0
Infill Bar Diameter (mm) 12
Infill Bar Centre to Centre in Inches? 4.5
(Reduce this to 4 or 4.5 for smaller gaps in between bars)
Allow for Door Jamb? (To Use C Channel or Additional Profiles) No
Letterbox Required? (Yes/No) No

Infill Bars	mm	Inches (to 1/8)
What is the Width of the Gate? (mm)	977	38 1/2
What is the Infill Gap of the Gate? (mm)	896	35 1/4
How Many Infill Bars?	7	-
GAPS Between the Bars?	101.50	4
Lock Clearance Between Gate and Receiver Post (without plate)	10	

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