

BIRKBECK UNIVERSITY OF LONDON

39 - 47 GORDON SQUARE

CONSTRUCTION MANAGEMENT PLAN

BRK-AHR-GS-XX-RP-A-A3-006



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Refurbishment and remodelling of 39-47 Gordon Square. Bloomsbury for Birkbeck University

1 Introduction

This Plan describes the arrangements for the managing of construction work for the project and should be read in conjunction with the projects design & Access statement and associated planning drawings.

This report developed by the University and its appointed design team sets overarching guidance for a contractor.

The successful tendering contractor will prior to commencement of any construction activity agree the detail of logistics, compound and welfare areas, times of working and any other constraints on construction with the appropriate officers of Camden Borough Council in pursuit of discharge of any planning condition in respect of construction management planning.

2 Site Location

The site is located within No.s 39-47 Gordon square in Bloomsbury, in the London Borough of Camden.

3 Site Description

The site is comprised of nine Georgian townhouses on the eastern side of Gordon square. These are connected by a more modern extension at the rear, on the ground and basement floor levels. On the upper floors the houses are connected by a corridor at each level which has been formed through the centre, penetrating the party walls between each of the buildings.

Currently the site houses the school of Arts, however following the refurbishment, the site is to be shared between the school of arts and the school of law. The basement level of building 46 is a residential unit and is outside the property demise and scope of the scheme. Usage of the building extends over the course of the day. The teaching spaces are rented to the University of London during the daytime and utilised by Birkbeck College in the evening until 9pm.

4 Proposed Works

The project will provide a rationalisation of the School of Arts accommodation to enable the co-location of the School of Law, in addition a comprehensive repair and renovation of the properties is envisaged. In addition, the building also currently suffers from poor way-finding, challenges to accessibility and outdated mechanical and electrical installations. The project

will improve these aspects providing a much-needed investment in the modernisation of teaching facilities with improved welfare facilities for staff and students.

Design work to date has focused on ensuring that the important historic setting of the site and the buildings historic features are fully protected. This approach will extend to the site set up, storage and cabin/ welfare provision, temporary works and construction Transport & Traffic Arrangements.

It is proposed that the project works will be separated into an Enabling Works and Main Works programme with 2 principal delivery phases to be implemented and delivered by the appointed Contractor. The outline of the works packages are;

- PHASE 1: No.s 42 to 47
- PHASE 2: No.s 39-41

Prior to the commencement of construction works the following activities will be undertaken by Birkbeck, University of London.

- Decanting of the school of Arts, only those areas within phase 1 will be decanted. The contractor will need to take into account that the buildings in phase 2 will still be in occupation during the work and will have to plan their work accordingly.
- A full Asbestos R&D survey and the subsequent removal/management of any ACM's.

Main Contract PHASE 1: No.s 42 to 47 will comprise:

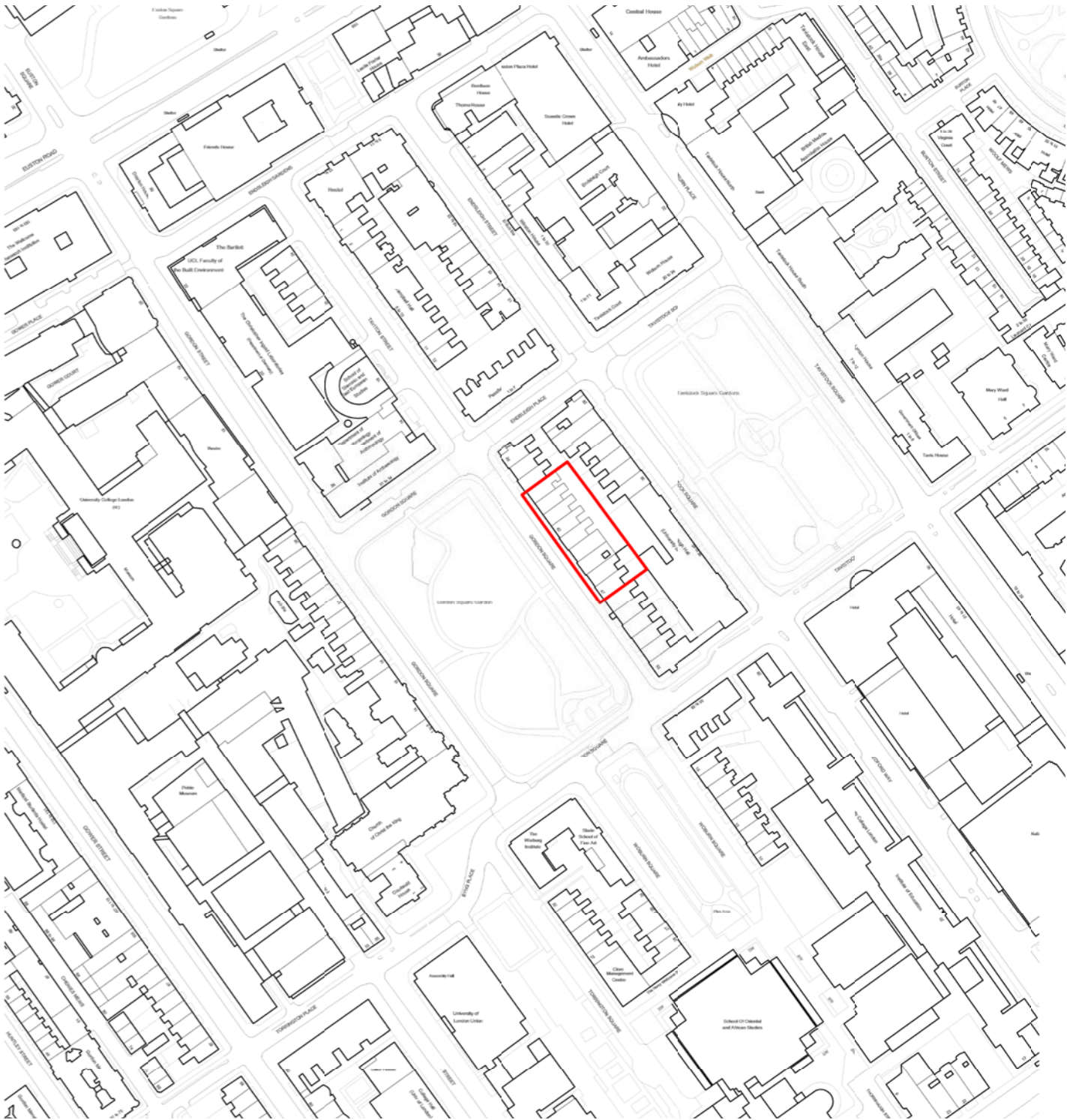
- General refurbishment, new finishes, mechanical and electrical services installation
- New building entrance, remodelling of basement, ground and first floor accommodation stair and lift replacement.
- Limited demolition to create larger teaching rooms
- Sub-division of spaces to provide additional offices
- General building condition and repair works including roof works and windows.

Main Contract PHASE 2: No.s 39 to 41 will comprise:

- General refurbishment, new finishes, mechanical and electrical services installation
- Limited demolition to create larger teaching rooms
- Sub-division of spaces to provide additional offices
- General building condition and repair works including roof works and windows.

5 Minimising disruption

The Contractor is to maintain minimal impact on



ABOVE: Site Plan NTS

adjacent buildings for the duration of the project. Vibration is to be kept to a minimum for the duration of the project. The Contractor will put in place measures to limit and control all construction noise to a minimum. All plant and equipment are to be fitted with industry standard silencers. No radio's will be used on site at any time. Particular attention to be agreed during exam periods with the university.

The contractor will manage any noise, dust, vibration activities associated with the construction phase in a proactive way with the following control measures:

- Waste containers/skips will be covered/enclosed to protect against dust fallout
- All plant and machinery will be switched off when not in use.
- All construction traffic including deliveries to site and the removal of plant from site will only take place during agreed site working hours
- Stockpiles of dust producing materials will be positioned away from boundaries and, if necessary, in dry and windy periods will be covered or screened to prevent wind-blown dust. Damping-down will be considered when required.
- Minimise cutting and grinding by procuring pre-cut materials and use wet cutting when it is unavoidable. Only use vacuum cleaning methods in lieu of brooms. This will minimise dust produced on site
- Mobile plant such as compressors shall be modern and well maintained and shall have sound reducing features and efficient silencers. All covers and side panels shall be closed when the plant is in operation.
- Site welfare facilities will be located away from public areas
- All noise generating equipment shall be sited as far as is practical away from site boundaries.
- Any pneumatic tools shall be fitted with integral silencers or purpose made mufflers and shall all be in good repair.
- No mechanical plant will be operated overnight.

The chosen contractor will be a member of the Considerate constructors scheme. Before starting work the scheme will be registered and Comply with the Scheme's Code of Considerate Practice.

6 Site Security

The Contractor is responsible for site security 24/7 until practical completion and handover including periods of extended none attendance by the Contractor (overnight, weekends, Christmas, Easter by example).

The site will be secured by a continuous solid 2.4m high hoarding line. The University see this as an opportunity to inform the public about the project and a section of the hoarding facing onto Gordon sq. could have applied graphics with key messages and branding. (See images this page).

Site gates to be locked at all times when not in use.

7 Road closures and managing deliveries

The Contractor will develop, agree and implement a traffic management plan as part of the Construction Phase Logistics Plan. Plant, equipment and materials need to be sized to allow safe access and egress to and from site. Detail of delivery times and working hours are to be agreed with Camden Local Planning Authority. A gateman/banksman is to be employed to marshal traffic movements and check and monitor perimeter security. The Contractor will develop a Traffic management plan, the Traffic management plan will include clear directions to the site access and route to site. This will be sent to all contractors and suppliers ahead of attendance whilst deliveries will be co-ordinated using an electronic booking system to ensure traffic volume is controlled. Vehicles will only be permitted to reverse with the aid of a trained banksman.

The site has only a limited amount of storage space and a small material un-loading and laydown area will be established behind the secure hoarding line.

8 Scaffold

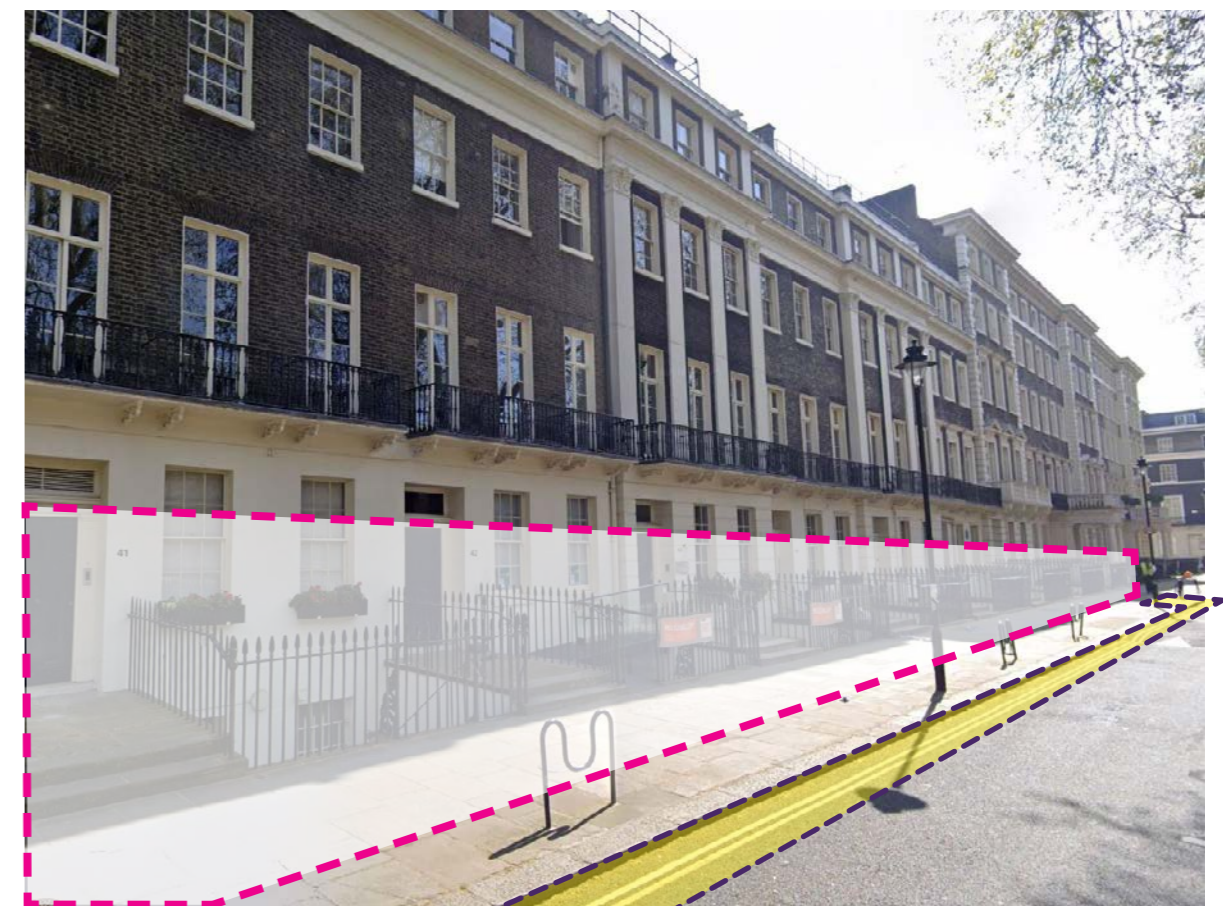
All work at height is to be planned and managed by the Contractor. The principles of prevention are to be applied to ALL working at height activities with consideration given to potential for debris and dust prevention. The area below scaffolds to be physically isolated during construction. Pedestrians in the adjacent Gordon sq. and the buildings external entrances present the greatest risk, as do existing glazed roof lights (rear of property). Consideration is to be given to scaffold 'fans', hoarding over rooflights and perimeter netting of elevations. The temporary closure of external basement lightwells may be necessary.

Scaffold Stair access is to be provided – ladders only as a secondary means of emergency escape if required. Both phases will require sections of external façade to be scaffolded. Only NASC scaffolding contractors to be employed, all scaffolds to be designed (TG 20:13) with compliance certificates issued. All scaffolds to be checked by scaffolding contractor weekly or following any instance likely to affect the stability of the scaffold. Sheeting to be to LPS 1207.



ABOVE: 2.4m Hoarding line with graphics.

BELOW: Likely Hoarding line. Opportunity to continue to use cycle parking hoops. A safe temporary pedestrian route will be established along the road edge (Shown Yellow).



9 Crane use

It is anticipated that the temporary use of lifting equipment will be necessary at periods during the construction. A Method Statement and Risk Assessment will be provided and vetted by the University Estates team and the projects Principal Designer prior to commencing works. Use of lifting equipment and any heavy plant is contingent on receiving necessary surveys of existing roadways and below ground cellar areas to ensure loadings are within safe tolerances. Where work is being carried out at high level, area below to be zoned off. Lifting will only be undertaken in accordance with an approved lift plan which will be written by a suitably competent and experienced Person. No oversailing of adjacent properties allowed.

10 Site welfare

Toilets, washing facilities, accommodation for taking meals and other ancillary welfare accommodation are to be provided by the contractor. Welfare facilities need to be in place from day one of the project for the duration. The welfare provision needs to be suitable to the numbers on site.

The basement of the site potentially offers floor space for welfare facilities and office of the appointed Contractor.

11 Emergency arrangements

An assembly point for fire muster will be agreed with the University.

12 Communication

The contractor will appoint a competent person to manage and facilitate the ongoing awareness of construction activities on site for residents/tenants, neighbours and businesses in the local community. This will include producing a report/ newsletter, generally acting as the central point of communication and monitoring and recording any complaints.

The Site Newsletter will introduce the Site Project Manager and key site team members to site neighbours. The newsletter will contain the name and contact details of the site in the event of any concerns arising. The newsletter will provide the local community with information about the project, relevant site activities which could impact on them, and measures implemented to reduce any adverse impacts. The first newsletter will be issued before the start of the project and thereafter monthly to update on what is happening at the site. Newsletters will be approved by the University Estates team prior to issue.

The contractor will provide an external site noticeboard to portray information to a wider audience. This will include details of emergency contacts. This 'contact

board' outside the site will identify key personnel (with contact addresses and telephone numbers), so that persons passing the sites know who to contact in the event of a concern or query.

13 Complaints Procedure

A Complaints and Comments register will be held on site for the duration of the project. On receipt of a complaint the Project Manager will take the immediate appropriate action and respond to the person who raised the complaint by the end of the working day. All complaints are recorded in the register and details of the actions taken; the register will always be available for viewing.

The Environmental Health Officer will be informed of all upcoming activities that may impact on the local residents/community.

14 Environmental Records

The contractor will compile and submit as required any environmental records to Camden to discharge any statutory obligations, planning conditions or building regulations. Including:

Noise control – To Comply with the recommendations of BS 5228-1, in particular clause 7.3, to minimize noise levels during the execution of the Works.

Pollution- Carry out prevention measures to protect the site, the Works and the general environment including the atmosphere against pollution. If pollution occurs inform immediately, including to the appropriate Authorities and provide relevant information.

15 Waste

No burning is allowed on site. Generally the contractor will; minimize production and prevent accumulations, keep the site and Works clean and tidy at the end of each day, collect and store in suitable containers and remove frequently and dispose off site in a safe and competent manner. Waste containers/skips will be covered/enclosed to protect against dust fallout.

The Contractor will implement a Site Waste Management Plan to predict waste streams and plan and prevent waste arising, reuse materials on and off-site and to recycle.

Non-hazardous material: In a manner approved by the Waste Regulation Authority.

Hazardous material: As directed by the Waste Regulation Authority and in accordance with relevant regulations.

Recyclable material: Sort and dispose at a Materials Recycling Facility approved by the Waste Regulation Authority.

16 Working Hours

Specific limitations:

- Monday – Friday (07:00 – 18:00)
- Saturday (07:00 – 12:00)

OR such other limitations imposed by the Planning Authority. Excessively noisy works not to start until after 09:00.



PHASE 1 - Site Logistics plan 1:500



PHASE 1
PHASE 2 - Occupied in this phase

- Pavement in use
- Temporary pedestrian route formed with barriers
- Office and Welfare cabin space- within 2.4m high secure hoarding
- Site Hoarding line 2.4m High (Solid)

- Road closure, reduced to single lane with car parking bays suspended. Extent to be agreed.
- No. 46 Garden out of bounds
- Uninterrupted access for basement flat in No. 46



PHASE 2 - Site Logistics plan 1:500



PHASE 1 - in occupation
PHASE 2



Pavement in use



Temporary pedestrian route formed with barriers



Office and Welfare cabin space- within 2.4m high secure hoarding



Site Hoarding line 2.4m High (Solid)



Road closure, reduced to single lane with car parking bays suspended. Extent to be agreed.



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LANDSCAPE / INTERIORS
/ IMAGING