



—

Templar House
81 - 87 High Holborn
London
WC1V 6NU

Temporary Marketing Suite
Planning Application
Design Access Statement

July 2020

Contents

	page
Section 1	1.1 Introduction 3
Introduction	1.2 Site 4
Section 2	2.1 High Holborn - Existing Frontage 5
High Holborn Temporary	2.2 High Holborn - Existing Plan 6
Marketing Suite	2.3 High Holborn - Proposed Frontage 7
	2.4 High Holborn - Proposed plan 8
	2.5 High Holborn - Existing and Proposed Section 9
	2.6 Temporary Marketing Suite - Proposed Perspective 10
	2.7 Temporary Marketing Suite - Proposed Perspective 11

Section 1 - Introduction

1.1 Introduction

This document has been prepared to support this application for a Temporary Marketing Suite to the ground floor of Templar House, 81-87 High Holborn.

As can be seen over the page, the temporary marketing suite will be located to the south-western corner of the site, at ground floor level, and will be accessed through glazed doors from High Holborn. The Temporary Marketing Suite will be clearly visible from the public highway, through new glazed window units, which are detailed later in this document.

The purpose of the Temporary Marketing Suite is to enable the building owner, Uncommon, to market office spaces within the forthcoming completed scheme. The office accommodation is the focus of the main contact works, and described in the three planning applications listed below. Example spaces showing office accommodation and a select number of amenity spaces are included within the suite to give potential tenants a sense of the quality of the office spaces Uncommon provide.

The Temporary Marketing Suite will occupy this space until June 2021.

The main building is the subject of three planning applications:

- 2020/1351/P
- 2020/1350/P
- 2020/1310/P

These applications seek the comprehensive refurbishment of the wider building, underpinned by the desire to bring the building back into operational use at the earliest opportunity. The Temporary Marketing Suite will help to facilitate this.



Proposed High Holborn Frontage

Section 1 - Introduction

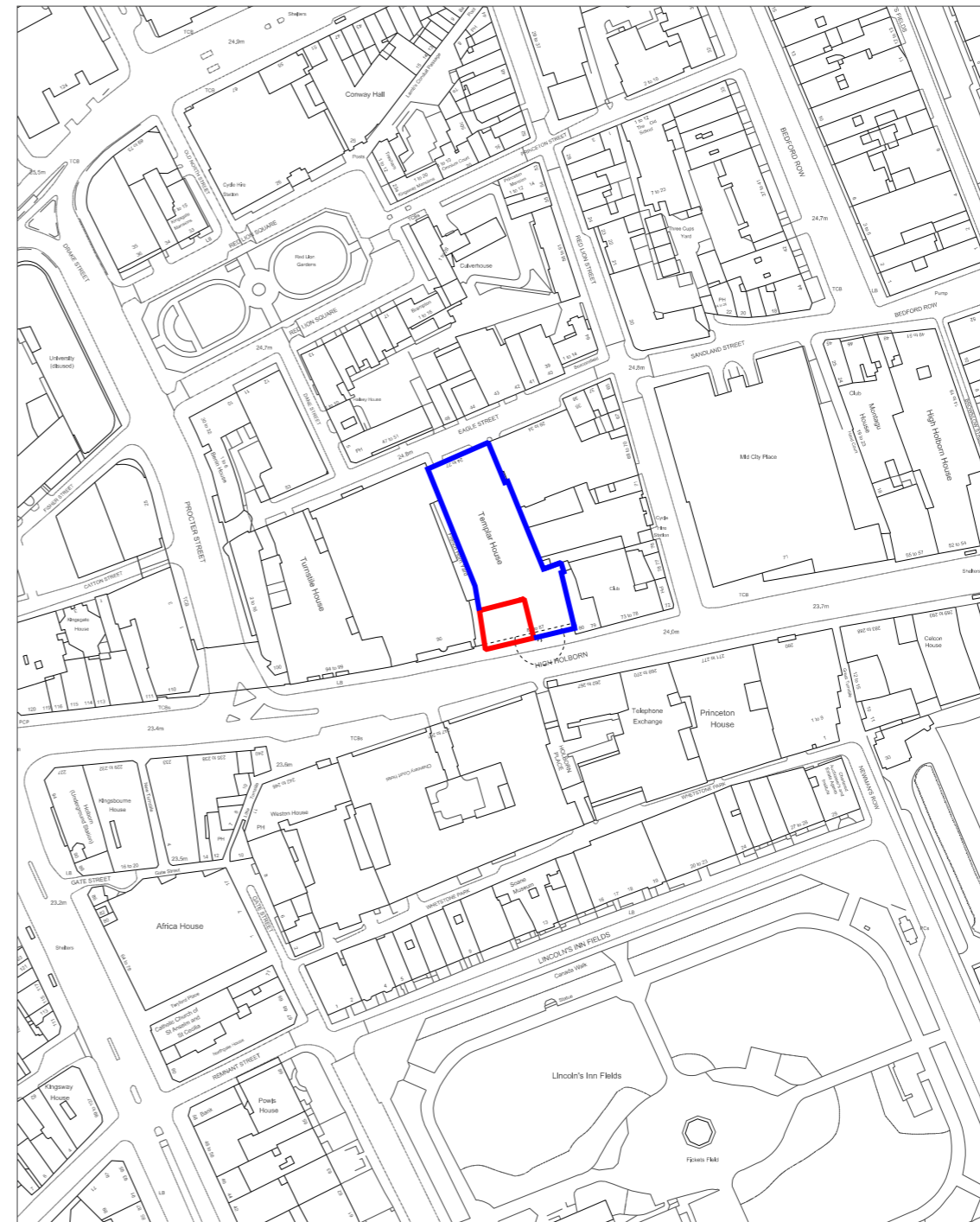
1.2 Site

Templar House (81-87 High Holborn and 24-27 Eagle Street) comprises of three buildings; a nine storey building accessed from High Holborn and a seven storey building accessed from Eagle Street, linked with an eight storey 'Link Block'. All three blocks are served by two cores and function as a single building.

This part of the High Holborn area has an evolving character where buildings have been redeveloped at various times throughout the last century to meet occupier/market requirements. Architecturally therefore the local area contains a variety of modern and traditional building styles. This backdrop creates an interesting contrast of building typologies for an area recognised as a thriving business location.

The site is recognised within local heritage guidance as an unlisted building that makes a positive contribution to the Bloomsbury Conservation Area. Therefore, the site is considered to be an 'undesigned heritage asset' within national policy and guidance.

- The application site
- Land owned by appliccmt



Site Plan

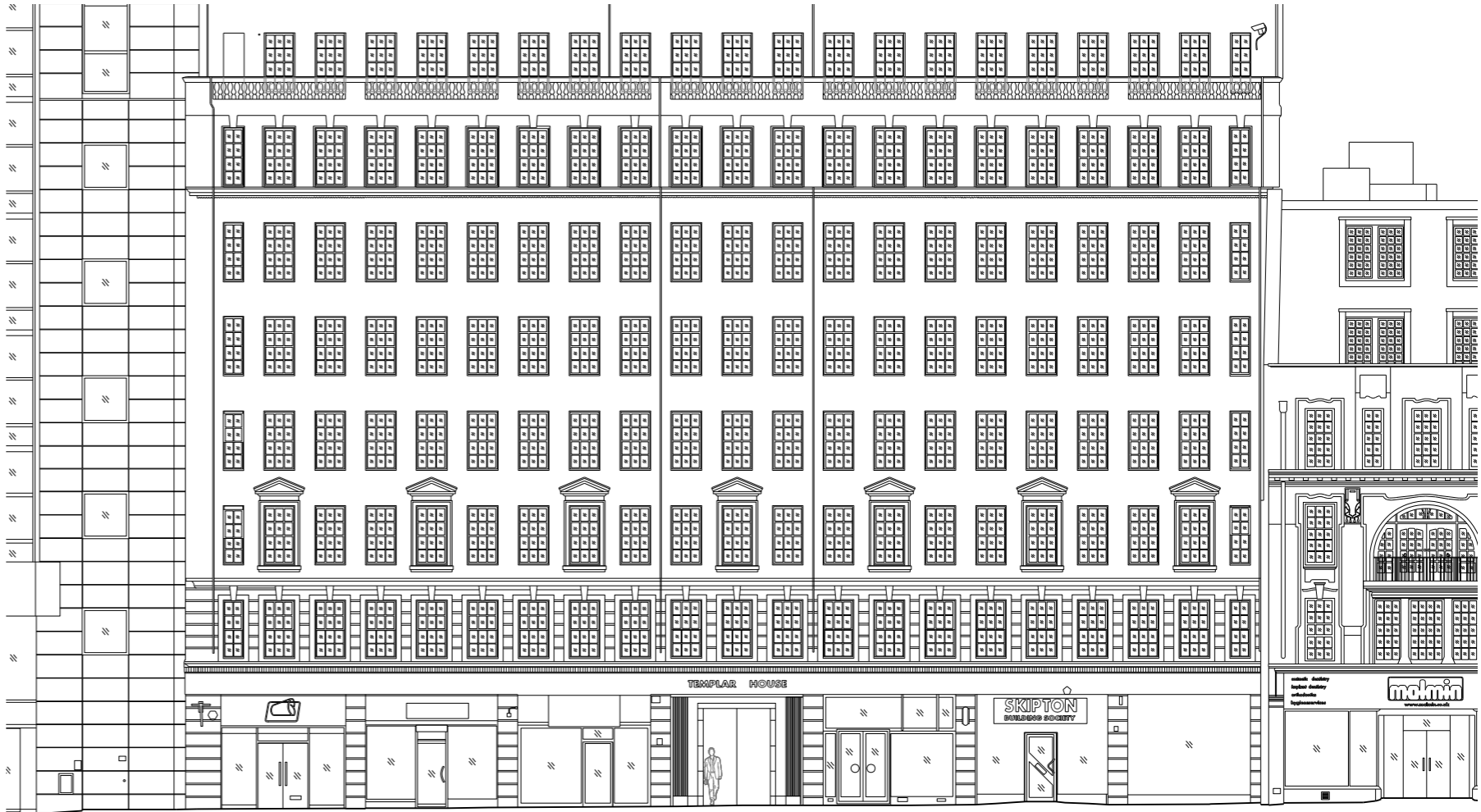


Section 2 - High Holborn Temporary Marketing Suite

2.1 High Holborn - Existing Frontage

The existing frontage is of poor quality, having fallen into disrepair over the last three years. Retail Bay 3 has been left vacant for at least the last 12 years, and has negatively contributed to the surrounding context and conservation area during this period.

There is no continuity in the aesthetic approach, signage, composition and configuration of the six retail bays, resulting in a disjointed appearance.



81-87 High Holborn



Existing High Holborn Elevation

- ① Retail Bay 01
- ② Retail Bay 02
- ③ Retail Bay 03
- ④ Retail Bay 04 Commercial Entrance
- ⑤ Retail Bay 05
- ⑥ Retail Bay 06



Existing High Holborn Frontage

Section 2_High Holborn Temporary Marketing Suite

2.2 High Holborn - Existing Plan

Previously the 81-87 High Holborn ground floor was occupied by individual business such as Wrap it up! and Skipton Building Society. Uncommon now have ownership of the Building and will use the west side of the ground floor as a Temporary Marketing Suite.

Existing retail units GIA:

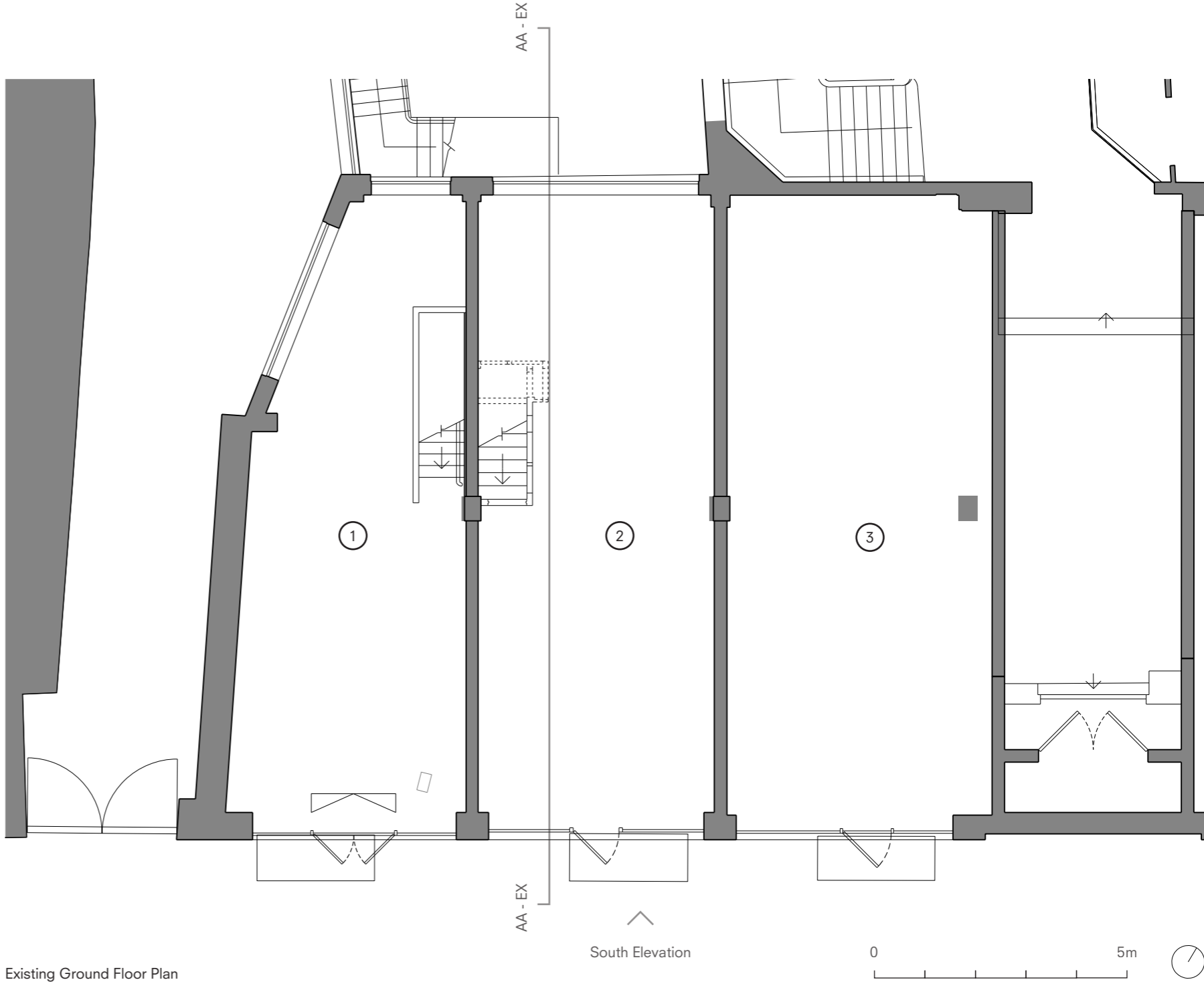
Retail Unit 1: 50.2 sqm

Retail Unit 2: 58.5 sqm

Retail Unit 3: 65.4 sqm

Shops

- ① Wrap it up! - Currently Vacant
- ② Cards Galore - Currently Vacant
- ③ Currently Vacant



Section 2 - High Holborn Temporary Marketing Suite

2.3 High Holborn - Proposed Frontage

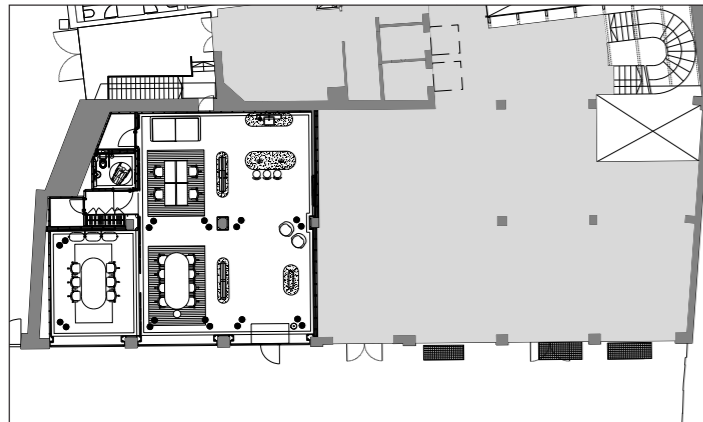
Before completion of the works described in the 3 No. previously referenced applications, part of the ground floor of the High Holborn block will be used as a Temporary Marketing Suite, the first three bays will be used as entrances and windows.

The Temporary Marketing Suite will occupy this space until June 2021.

- Temporary Marketing Suite Glazing
- Temporary Marketing Suite Entrance



Proposed Temporary Marketing Suite Frontage



Proposed Ground Floor Plan



Proposed Elevation

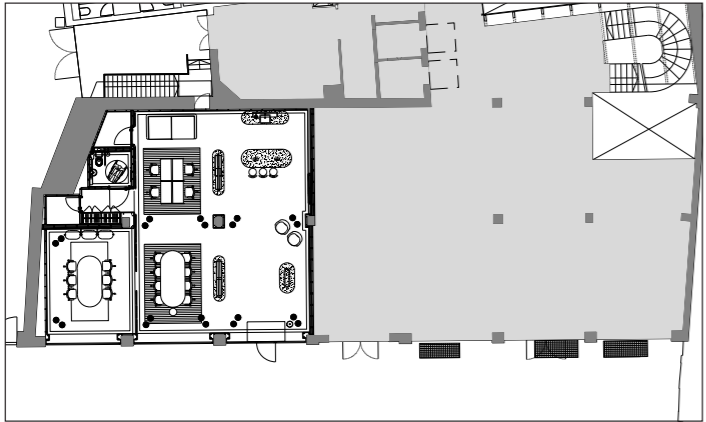


Section 2 - High Holborn Temporary Marketing Suite

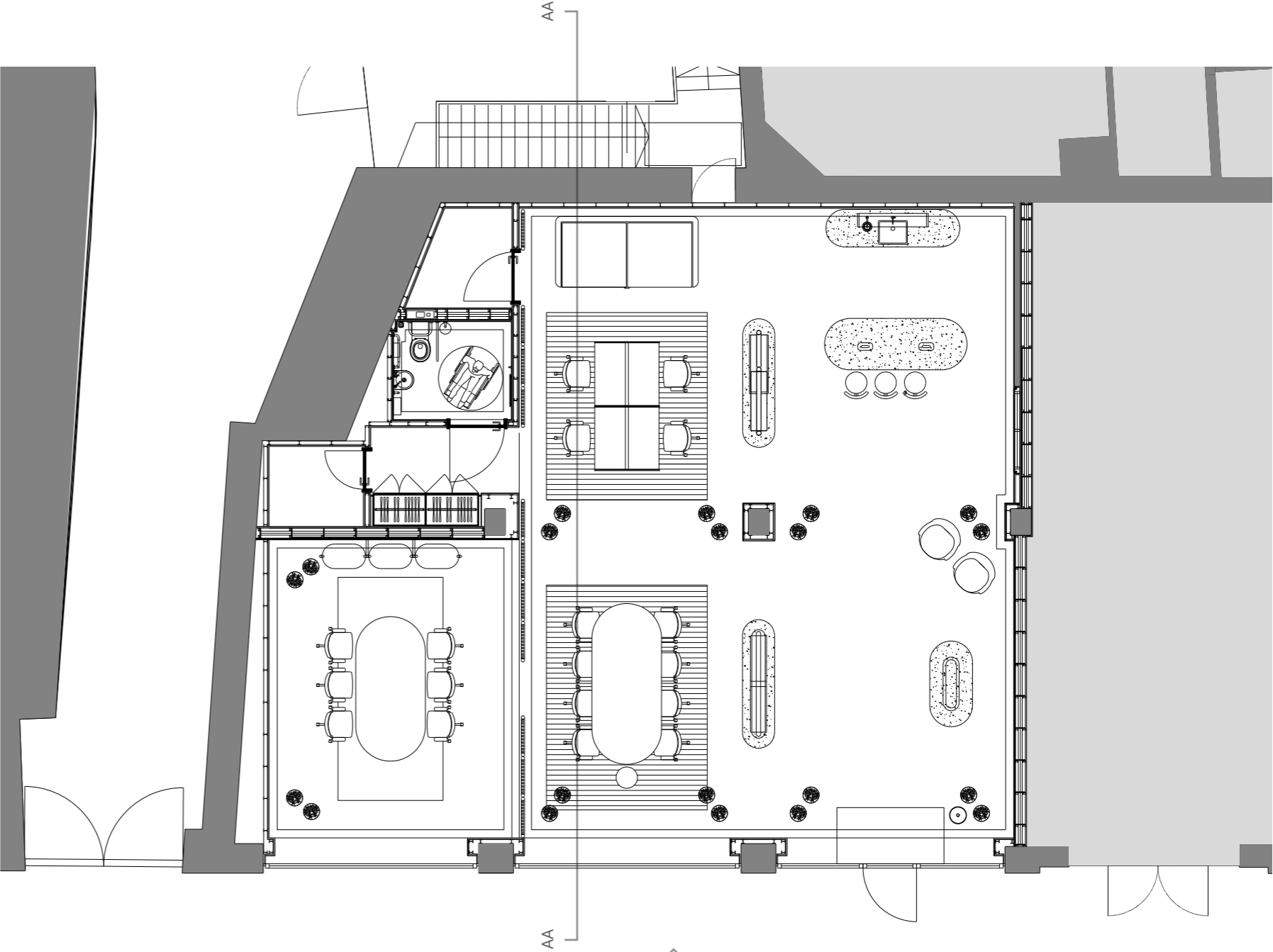
2.4 High Holborn - Proposed Plan

The Temporary Marketing Suite will be fitted out with a high quality office layout. The space will have public and private meeting spaces, individual phone booths, an accessible toilet with lush greenery populated throughout the area. The Temporary Marketing Suite is compliant with the disability discrimination act, all areas can be access with a wheelchair including a disabled toilet.

Temporary Marketing Suite GIA: 161.6 sqm



Proposed Ground Floor Plan



Proposed Temporary Marketing Suite Plan

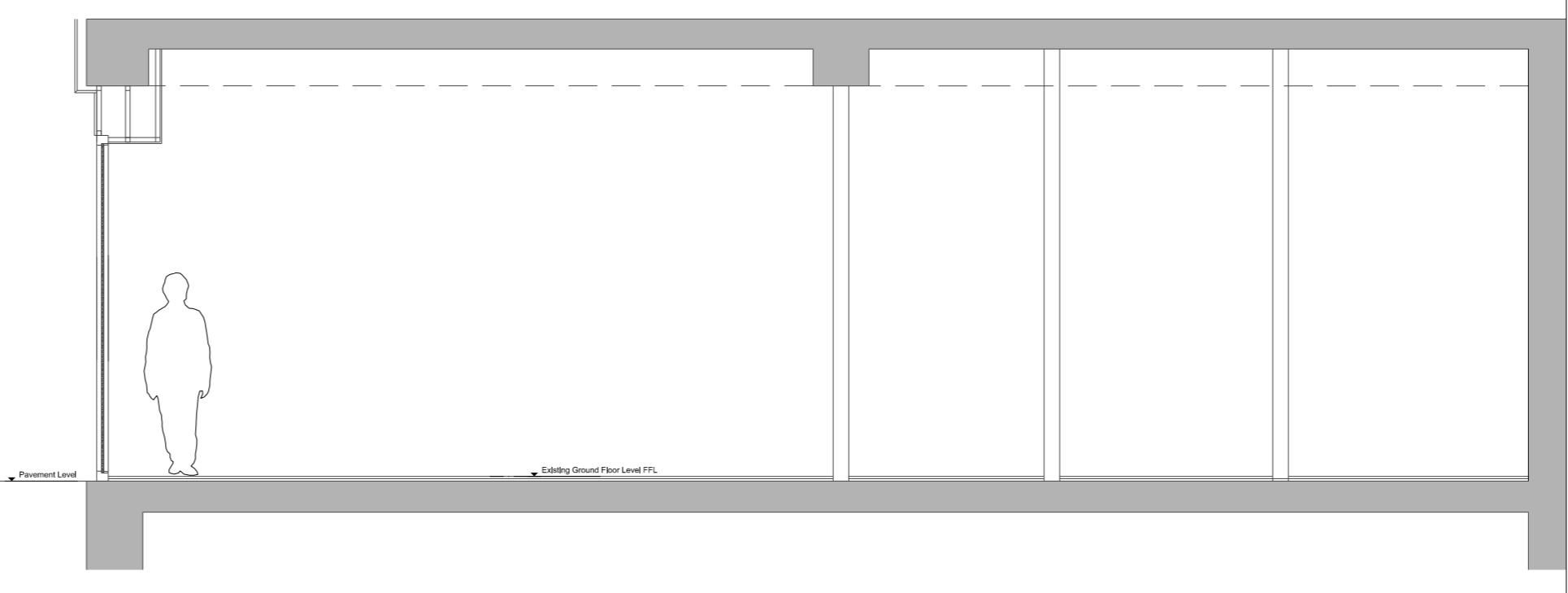
South Elevation



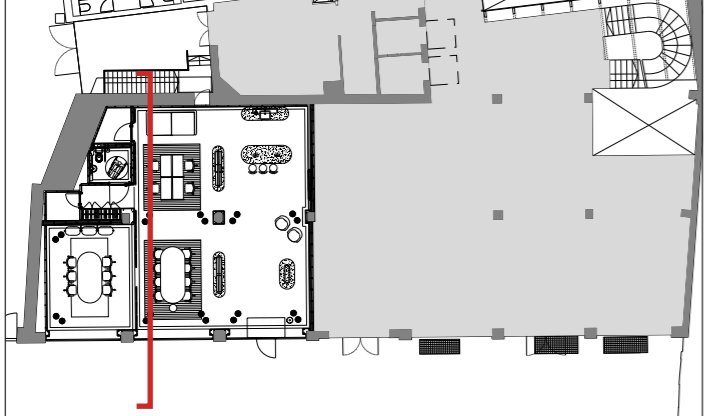
Section 2 - High Holborn Temporary Marketing Suite

2.5 High Holborn - Existing and Proposed Section

A suspended ceiling will be installed to conceal the downstand beams and allow duct work to pass through. The design will use planting and foliage to enhance the user experience. Planting will be accompanied by natural materials and high quality furniture.



Existing Retail Area Section



Proposed Ground Floor Plan



Proposed Temporary Marketing Suite Sections



Section 2 - High Holborn Temporary Marketing Suite

2.6 Temporary Marketing Suite - Proposed Perspective



Proposed Temporary Marketing Suite Perspective

Section 2 - High Holborn Temporary Marketing Suite

2.7 Temporary Marketing Suite - Proposed Perspective



Proposed Temporary Marketing Suite Perspective

