



**25 Old Gloucester Street**

**Design and Access Statement Rev C**

Client - Nilkanth Estates Limited

13<sup>th</sup> August 2020



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**1.0 Introduction**

This Design and Access Statement has been prepared by Buchanan Hartley Architects Limited (BHA) in support of the planning application by Nilkanth Estates Limited (NEL) for a redevelopment of D1 space plus addition of C3 accommodation at 25 Old Gloucester Street. It has been written broadly following the guidance given in CABE's 2006 document 'Design and Access statements, how to write, read and use them'. It is laid out in six main sections; Introduction, Assessment, Design Process, Scheme Description, Conclusion and Appendices. It should be read in conjunction with the other application documents.

**1.1 Vision**

The applicant's ambition for this development is to create an elegant and well crafted building that both makes the most of its site and establishes a positive relationship with its neighbours. It is to be modern in design and outlook but be constructed from traditional and locally familiar materials to ensure that it complements its setting and blends in to the context.

The D1 element of the development represents a modernisation of the existing use on the site. A tired and inflexible facility will be transformed into a vibrant and flexible new community centre under this proposal.

The residential element of the development is aimed at the market for high quality well designed dwellings. Rent receipts from the apartments will help fund the whole project and future running costs of the D1 space. The D1 element of the scheme will be for the use of the developer's host organisation. It will contain attractive, useful and flexible space and facilities for a variety of uses and activities.

**1.2 Professional team**

A capable and experienced team with a proven track record in urban development has been assembled to carry out the project, with the following members:



*Architect*  
Buchanan Hartley Architects Limited  
13 Grosvenor Gardens  
London SW1W 0BD



*Planning Consultant*  
PPM Planning Limited  
185 Casewick Road  
London SE27 0TA



*Sunlight and Daylight Consultant*  
GVA Scatunowski Brooks  
65 Gresham Street  
London EC2V 7NQ



*Structural Consultant*  
Parmarbrook Limited  
345 Old Street  
London EC1V 9LL



*Energy Consultant*  
AJ Energy Consultants Limited  
The Colchester Centre,  
Hawkins Road  
Colchester CO2 8JX



*Acoustic Consultant*  
Hann Tucker Associates  
Duke Street  
Woking GU21 5BA



*Archaeology Consultant*  
LP Archaeology  
The Truman Brewery  
91 Brick Lane  
London E1 6QL



*Heritage Advisor*  
Montague Evans LLP  
5 Bolton Street  
London W1J 8BA

**1.2 Client brief**

The client/applicant is not primarily a specialist property developer but is a company whose purpose is to look after the property interests of the BAPS organisation. As such its brief to the architect is to provide replacement activity space plus some rental apartments. Following a previous planning applications the brief has been developed to a replacement D1 hall with several levels and the conversion of the character frontage building into apartments. The rental returns from these will provide an income to help support the activities in the building and to provide a fund for periodic maintenance and running costs.

**1.4 The applicant**

The applicant, NEL, is developing the building for the charity BAPS Swaminarayan Sanstha. The BAPS Swaminarayan Sanstha is a spiritual, volunteer-driven organization dedicated to improving society through individual growth by fostering the Hindu ideals of faith, unity, and selfless service.

This charity would like to host the following type of events within the hall and meeting rooms in the refurbished building.

- Education tutorials and seminars
- Yoga classes
- Group discussions
- Indoor sports including table tennis and pool
- Writing classes
- Cooking classes
- Interpersonal and life skills training
- First-Aid training
- Various meetings

Currently, the building is dilapidated and needs complete renovation to be used for anything. The residential accommodation is complementary, intended both to fund the initial project cost and the building's future maintenance.



BAPS is involved with various charities and not for profit activities



A few examples of charitable events hosted and organised by BAPS

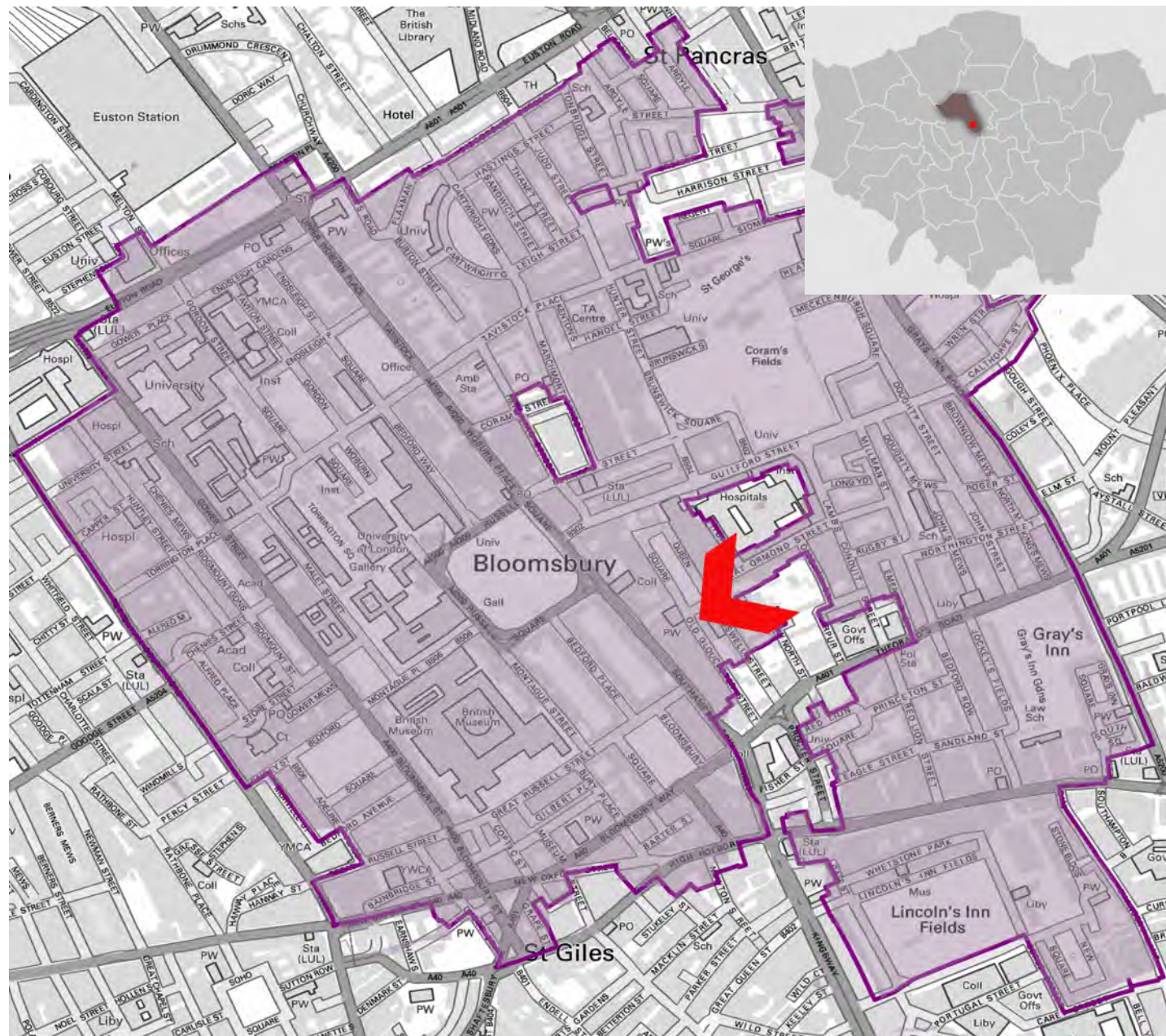
## ASSESSMENT

### 2.0 Site location

The site is located in the London Borough of Camden within the Bloomsbury Conservation Area. Old Gloucester Street itself runs adjacent to the busy Southampton Row, but has a very quiet character by comparison. At the northern end of Old Gloucester Street, adjacent to the application site, is the public open space of Queen Square.

Due to the application site's location at the end of Old Gloucester Street, it has an important relationship with

Queen Square as well as Old Gloucester Street itself. The square itself is relatively quiet for such a central location, and is an oasis of tranquillity in a busy district. Ambulances and other vehicles entering and exiting the neighbouring Great Ormond Street Hospital create occasional noise and drama.



Site Location Plan (within the Bloomsbury conservation area) - London Borough map highlighting Camden and application site, inset

### 2.1 Physical context

Located adjacent to the Grade II\* listed church of St George the Martyr, the application structure itself is Grade II listed. Built in a Victorian institutional gothic style, the former boys' school is one of a pair of buildings on Old Gloucester Street, the other being the girls' school, constructed in a similar manner, at 24 Old Gloucester Street across the road.

The terraced houses on Old Gloucester Street probably date from the early 19th century. The application building, possibly constructed on the site of one of these houses, was built between 1877 and 1878 by J & S Flint Clarkson. The listing dates from 1999. The street frontage building is constructed in a traditional manner using load-bearing London yellow stock bricks with stone lintels. The roof is clad with slate and has a timber structure. 25 Old Gloucester Street is currently disused, having previously been used as a commercial building and before that as a college. Originally it was a school for boys, possibly also serving the adjacent church.

Old Gloucester Street was built speculatively as terraced town houses. Most of these are now divided into individual apartments or in a non-residential use. The street also contains the rear of a large hotel fronting onto Southampton Row and a small public park. Opposite are local authority flatted blocks.



View looking north up Old Gloucester Street towards Queen Square



The application site is the meeting point between Old Gloucester Street and Queen Square

### 2.2 Natural features

Bloomsbury is renowned for its squares and public gardens and Old Gloucester Street is close to Queen Square, Gray's Inn and Brunswick Square Gardens. Large mature street trees are a major feature of the south part of Queen Square and these help to create a special environment directly in front of the application site. However they are not close enough to be affected by works to the subject building or foundation works. They are close enough to have a significant effect upon the outlook from the front rooms of the application building. The site itself has no natural features, being 100% covered in buildings.



The site (mid-left) sits adjacent to the Grade II\* listed church of St. George The Martyr - viewed here from Queen Square

### 2.3 Urban built form

The application building is the northerly most building in the terrace of properties that make up the west side of Old Gloucester Street. It is different in architectural treatment from its terraced neighbours, but fulfils the role of maintaining and terminating the terrace very adequately. It is approximately the same height as its neighbours and constructed of the same materials, but with a gothic flavour rather than classical. Its form and design contrast with that of the church next door but the two co-exist in reasonable harmony, separated by a narrow paved passageway.

The frontage block relates to the building across the street, which is of a similar age, style and character—this building is now a gallery and cultural centre. The rear block consists of the large assembly hall, which is topped with an additional floor and flat roof that was previously in use as a playground. The rear part is surrounded on all sides by other buildings and structures of various heights and is little visible from the street or other publicly accessible areas. The previous planning permission granted for this site had accepted the addition of extra accommodation above the rear part of this building, with no harm to the local urban backdrop perceived by the planning authority.



An aerial view into the back of Old Gloucester Street / Southampton Row

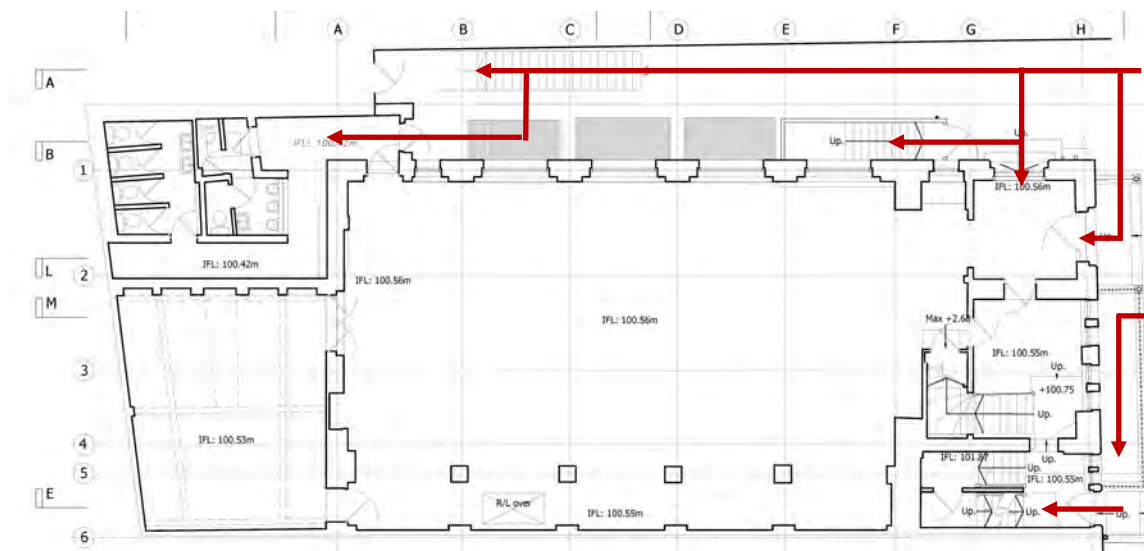
### 2.4 Access and movement

The application site is currently accessible only from the east, via Old Gloucester Street. There are three points of access along the eastern elevation of the frontage building. The first is a small timber door on the southern edge of the façade that was possibly originally used as the teacher’s entrance for the former boys’ school. This leads to the upper floors of the frontage building. A second door is present on the northern edge of this façade. This much grander stone entrance is used as the main entry and was the way that the pupils would have entered the school. A third point of access to the application site building is located at basement level, reached via a recently added metal staircase. All three entrances have a stepped access.

The final access point from Old Gloucester Street is via an alley between 25 Old Gloucester Street and the church of St George The Martyr. This alley is split down the middle in ownership between the application site and the church. There are four points of access points into the existing building in this alley. The first is a large door on the corner of the alley and Old Gloucester Street. Adjacent to this is a small closet fire stair that leads down to a basement egress point.

Finally, the third and fourth points of access are at the back of the alley. A metal fire stair leads up to the flat roof at level 2, originally used as the school playground. The final point of access is under this stair, which leads into a small toilet block extension. To access the building from the two points at the back of the alley, one must travel on land owned by the adjacent church. However after many years of use, a right of access has been established in order for those entering the building at 25 Old Gloucester Street to travel over land owned by the church in the alley. The proposal would seek to cease the need for a right of access.

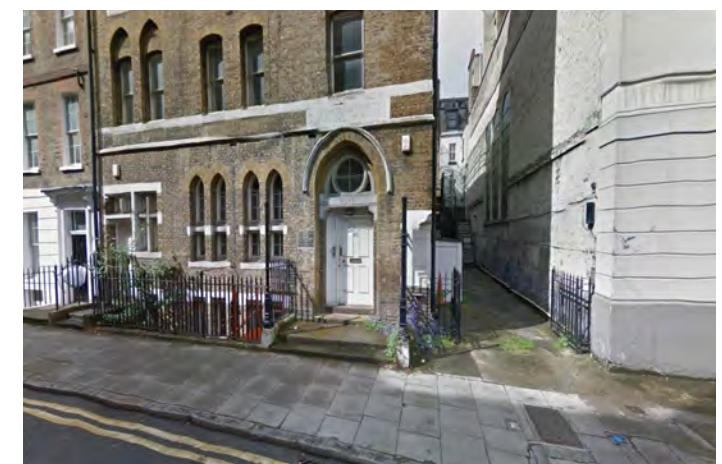
All points of access, whether it be directly from Old Gloucester Street, or via the alley, currently have a stepped access.



Existing ground floor plan showing current access arrangements



View from Queen Square towards the application site



Street view showing the application site frontage with the side alleyway

## ASSESSMENT

### 2.5 Public perception

The existing building is listed and the site sits within the Bloomsbury conservation area. It forms part of a mixed fabric of older buildings in this historic district and has an obvious institutional character associated with Victorian philanthropic or religious activities. There is not much evidence in the street of the large assembly space that exists to the rear of the building.



Old Gloucester Street looking south east towards Theobald's Road

### 2.6 Visual impact

The building has a significant presence in the street due to its imposing gothic style and distinctiveness, in the context of the plain, flat-fronted buildings further south. On the north side of the application site is the classically styled church of St George the Martyr. The juxtaposition of these architectural styles exacerbates the richness of these buildings.



View showing the contrasting style of 25 and its immediate neighbour



The neighbouring buildings on Old Gloucester Street west side

### 2.7 Local views

Due to the high building density in this part of London, there is arguably only one uninterrupted view of 25 Old Gloucester Street—the view from the southern edge of Queen Square (top and bottom right).

Trees obscure the application site from further across



View from 25 Old Gloucester Street to Queen Square

Queen Square (centre bottom left) and the narrow nature of Old Gloucester Street provides only an oblique view of the façade of the frontage building when viewed from the south.

Unrestricted views of the application site are confined to southern edge of Queen Square. From here, the application site presents itself as an interesting Gothic anomaly in what is a predominantly Georgian context. It is from this position on the southern edge of Queen Square that the rear, relatively new, extension on the application site can be seen - albeit from an oblique angle.



25 Old Gloucester Street from the corner of Queen Square



View from the junction of Queen Square and Boswell Street towards the application site

**2.8 Social context**

The site currently contributes nothing to the social wellbeing of the area as it is unused. The refurbishment and modernisation of the building will reinstate mixed-use facilities for the benefit of the local people. The addition of housing is in accordance with Camden’s policies promoting the expansion of a residential population in the central area.



Queen Square fair takes place annually near the application site

**2.9 Historical context**

The building is the former St. George the Martyr Parochial Boys School, completed in 1878, shown in the map below.



Map dated circa 1890 showing the application site location

The area suffered widespread bomb damage during the second world war, after which many larger houses were converted into flats or demolished. The area experienced mixed fortunes during the post war period but has recently experienced a revival in popularity, partly due to the ripple effect of historically high house prices in Central London.



Painting showing the church of St George The Martyr. To the left in this image is the original terrace house that was demolished to make way for the building that currently sits on the application site.

**2.10 Economic context**

The building has been in various uses since ceasing to operate as a school—commercial, educational and assembly. It has not been in ‘community’ use, as defined by “not for profit” activities, but in some form of commercial use during this time. This is now proposed to be continued, as the use of the lower levels will be a private use. The residential use above is proposed partly as a means of generating value to fund the whole project.

**2.11 Planning policy context**

The application is accompanied by an overarching planning statement produced by planning consultant PPM Planning which deals with policy matters in detail and the planning history of this and adjacent sites. The architectural design has been carefully developed to meet the quality standards required in this sensitive conservation area settings. The proposed building will provide high quality residential (C3) units which will be mostly policy compliant, conforming to both Camden’s SPGs and Mayoral guidance where possible, given the severe constraints of the existing structure.



LPA planning guidance



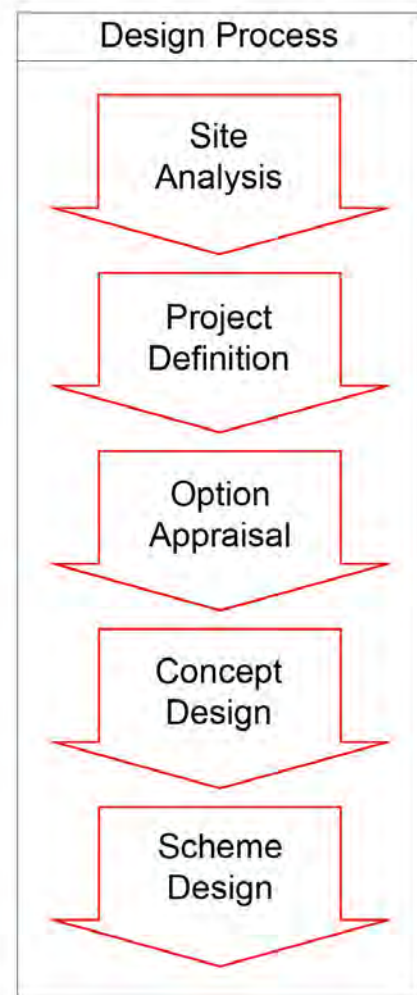
London planning guidance



## DESIGN PROCESS

### 3.0 Introduction

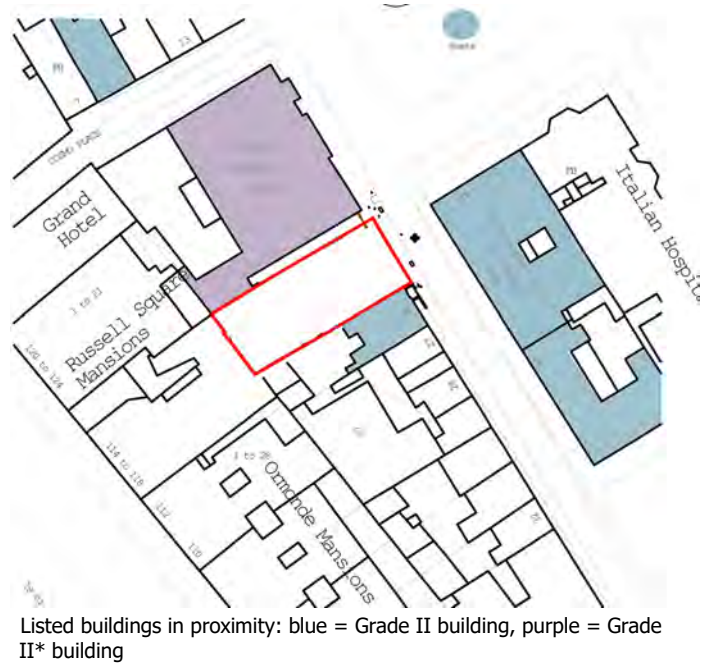
Our design process has been developed over thirty years of practice during which many projects across a wide range of sectors, locations and sizes, have been undertaken. It encompasses information gathering, client briefing, analysis of context, evaluation of options and design synthesis guided by robust theory and philosophy. Use of a rigorous process helps to ensure that the result is both compliant to the brief and of high quality with a view to an award of planning permission.



Principle design stages have been carried out in sequence to facilitate a valid and robust design solution

### 3.1 Constraints

The site is a listed building in a conservation area and has limited access from the highway to an otherwise landlocked plot. It is adjacent to a Grade II\* building and has residential neighbours immediately to the south. The site is thus heavily constrained, but not more so than many similar sites in the centre of London.



### 3.2 Opportunities

The frontage building has strong character and a domestic scale, making it suitable for residential conversion and use. The space behind this is quiet due to its back-land position and this makes it suitable for the re-development of the hall within a new structure on several levels.

- The site is private, quiet and secluded due to its location
- There is sufficient opportunity to benefit from daylight and sunlight
- There is a picturesque outlook to Queen Square
- Central location and great transport links

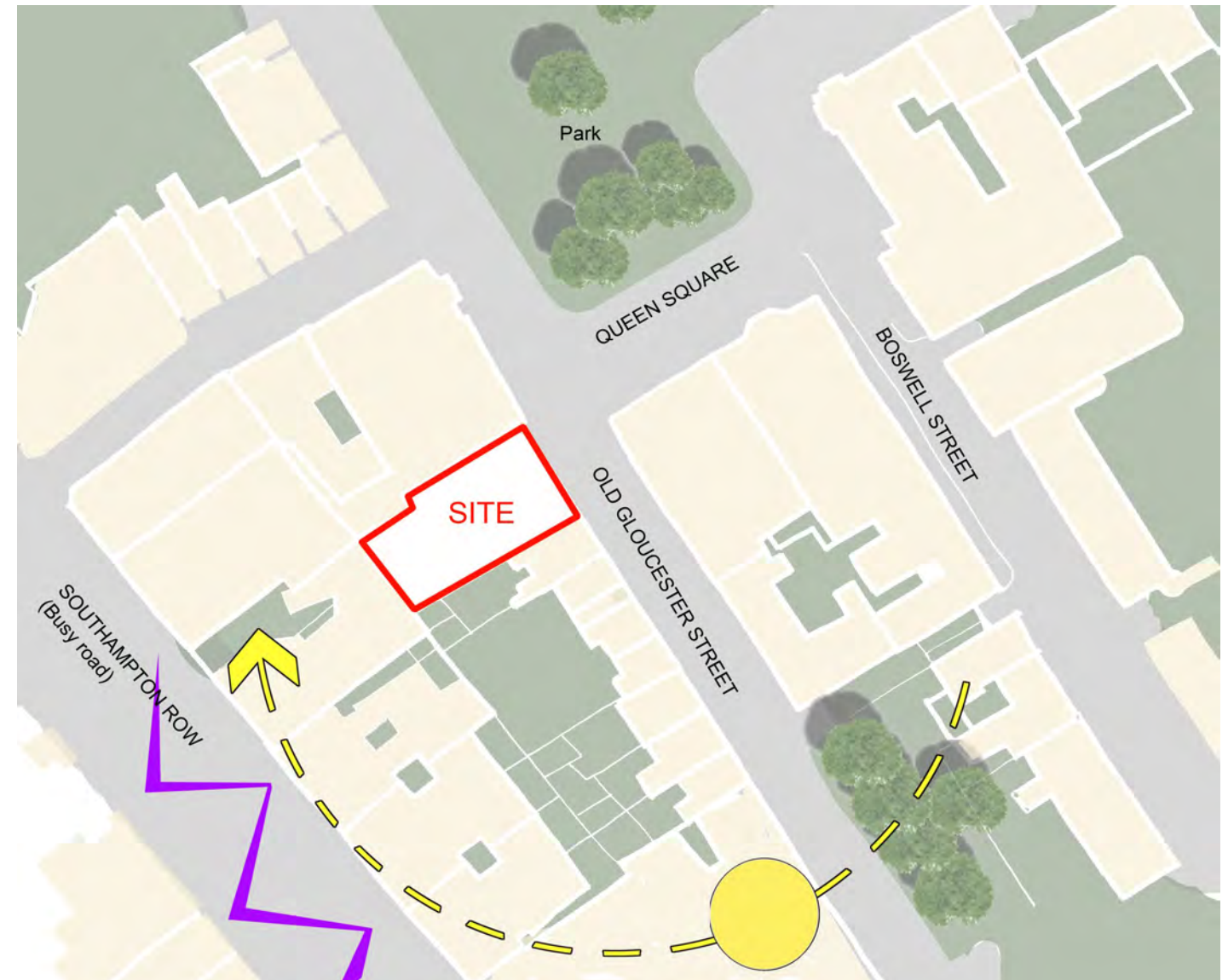


Diagram outlining principle site opportunities and constraints



### 3.3 Objectives

The objective of this scheme is to provide state of the art D1 facility complemented by character apartments. The D1 and residential aspects of the scheme are independent of each other. The original frontage building will be retained intact, whilst the rear of the site will be re-developed as a modern, multi-level hall whilst retaining the old hall at the rear.

### 3.4 Options

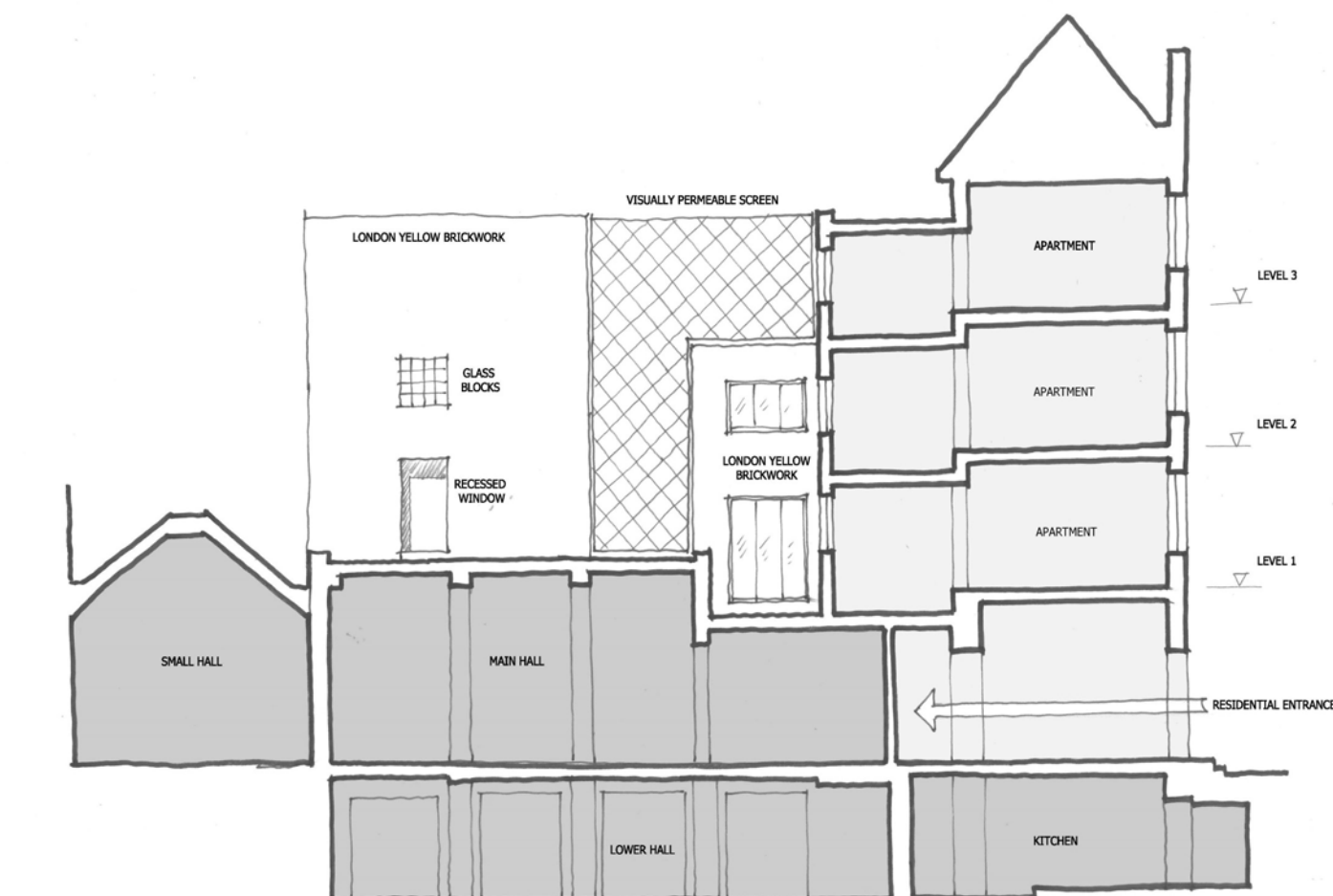
Due to the nature of this site, diverse options are somewhat restricted and hard to generate. The complex character of the relatively high-density context means that the existing envelope and massing will not greatly change. The general layout of large spaces at the rear, with smaller spaces in the front, has been largely retained.

### 3.5 Involvement

Wider involvement has been limited on this project, due to the client already being determined as the end user. The BAPS community will use the D1 floorspace when the project is completed. This end users requirements have been embodied in the design and layout of the lower floors. The development will not adversely affect the wider community.

### 3.6 Consultation ( Pre- app 1)

Upon receiving the client brief and studying the previously consented scheme (ref: 2011/6097/P) a sketch layout was produced that attempted to answer the brief in an efficient and effective manner, and this scheme is reproduced here. This scheme uses the same overall massing of the previously consented scheme and was intended to avoid any new concerns being raised about height, light flows and visual impact. It was consulted upon with Camden in a pre-application enquiry with reference 2014/2742/PRE whereby advice was obtained by letter dated 14<sup>th</sup> July 2014. The design was then developed into an application scheme, taking into account the detailed requirements of Camden's policies and SPGs, especially with respect to residential layout. Care was

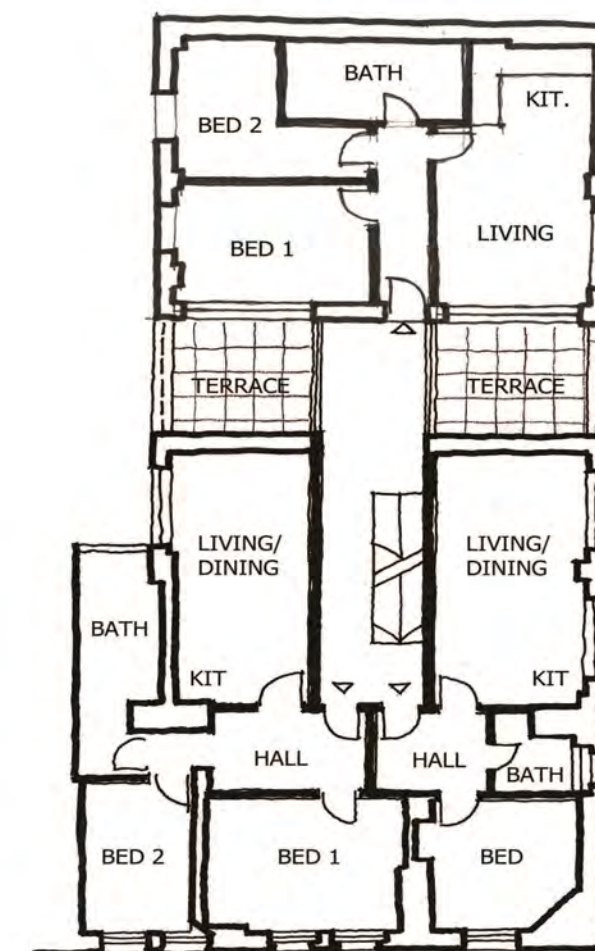


Initial sketch scheme, showing the original concept whereby accommodation sits above the main hall, in both new build and existing structure, later abandoned as a design model

taken to ensure that the design respected the flanking and rear boundaries in terms of the privacy and amenity of neighbours. Efforts were made to apply a modern approach to design to this complex and historical subject. The intention was to create a completed project that made the most of both its old and new components.

This proposal was submitted as an application with reference 2017/3997/P, but was later withdrawn by the applicant following discussion with the Council. Since this withdrawal the brief has been reviewed and revised and a new scheme has been produced that attempts to better apportion at D1 and C3 accommodation on the site. It

was decided, after further analysis of the withdrawn scheme, that a horizontal rather than vertical separation of D1 and C3 accommodation would have several advantages over the previous scheme. A new plan was drawn up with all of the C3 accommodation being located within the frontage building and all of the D1 space being located within the multi-level building behind. The vertical circulation cores of each are grouped together in the middle of the plan.



Initial sketch plan of a general floor showing a accommodation split by a central stair core.

## SCHEME DESCRIPTION

### 3.7 Consultation (Pre-app 2)

The revised proposal created an equivalent amount of new build D1 space on several levels, all served by two stairs and a lift, permitting varied and flexible use within this Class, by both the owner organisation (BAPS) and other local community groups. This created a brand new, state of the art accommodation, with full servicing and lighting – greatly superior to the old accommodation being replaced.

The proposed residential (C3) accommodation was located entirely within the retained frontage building, originally constructed as residential accommodation for the school staff and the only substantial surviving element of the original institution. Access to the two uses was designed to be separated, with the D1 access being to the north and the C3 access being the original residential door in the frontage building.

Level	GIA			
	D1 Floorspace		C3 Floorspace	
	Existing	Proposed	Existing	Proposed
B	211.9	255.0	0.0	76.2
0	295.2	236.5	0.0	82.9
0/1 Mez	-	129.2	-	70.0
1	198.9	54.6	0.0	78.6
2	58.4	127.1	0.0	78.7
3	56.3	54.6	0.0	79.8
4	0.0	0.0	0.0	45.3
<b>Total</b>	<b>820.7</b>	<b>857.0</b>	<b>0.0</b>	<b>511.5</b>

**Grand Total : 1368.5**

Table of existing and proposed GIAs for both residential and D1 use in the second pre-app scheme. Areas are stated in square metres.

The above table shows both existing and proposed gross internal areas on the application site for D1 and residential use. The D1 floorspace in the proposed development was to remain both for private use by patrons of the BAPS organisation and other local groups.

The figures above demonstrate that the quantity of D1 space in the redevelopment was approximately the same as at present, so no D1 space is lost in the proposal, rather a large quantity of Residential (C3) accommodation was added on the site with this proposal.



Aspirational image indicating the quality of assembly or event space possible in the redevelopment of 25 Old Gloucester Street

The development quantity was generated by three principal parts of the scheme – the frontage building, the replacement main hall and the rear accommodation (including new basement space). The total amount of D1 space delivered by the proposal was 857m<sup>2</sup> – being 36m<sup>2</sup> more than the current D1 space on the site, so there was no loss of D1 space but instead a net gain. The total amount of new C3 space in the proposal was 511m<sup>2</sup>, including communal areas such as stair, lifts and lobbies – comprising six self-contained flats arranged vertically in the character frontage building.

The D1 space was arranged over six levels, with alternate full and mezzanine floors, generating flexible individual floorplates of various sizes – maximising the flexibility of the facility to appeal to many user groups. Toilets were provided on the ground floor to cater for a substantial maximum population within the building as a whole. A kitchen and survey are proposed for level B, again to cater for a large gathering if required, but which could also be used to cater for different groups within the centre.

There was lift access from the step free ground floor entrance to all levels, in both the D1 and residential accommodation.



Aspirational image of a duplex living space. Two of the six proposed apartments are designed as duplexes

The residential space was also arranged over six levels within the remodelled frontage building, with both simplex and duplex flats of one and two bedrooms. Flat sizes ranged from 47m<sup>2</sup> to 62m<sup>2</sup>, sizes that were constrained by the dimensional parameters of the existing structure. All were tightly and efficiently planned to optimise use of the available space, and all incorporated generous storage in the layout. Residential sizes could not reflect exactly the policy guidelines in this area due to the constraints of the existing structure but they were attractive, thoughtfully arranged and high quality. Likewise there was no opportunity for private external amenity space to be provided for any of the flats, but the building housing them is very close to the public amenities of Queen Square.



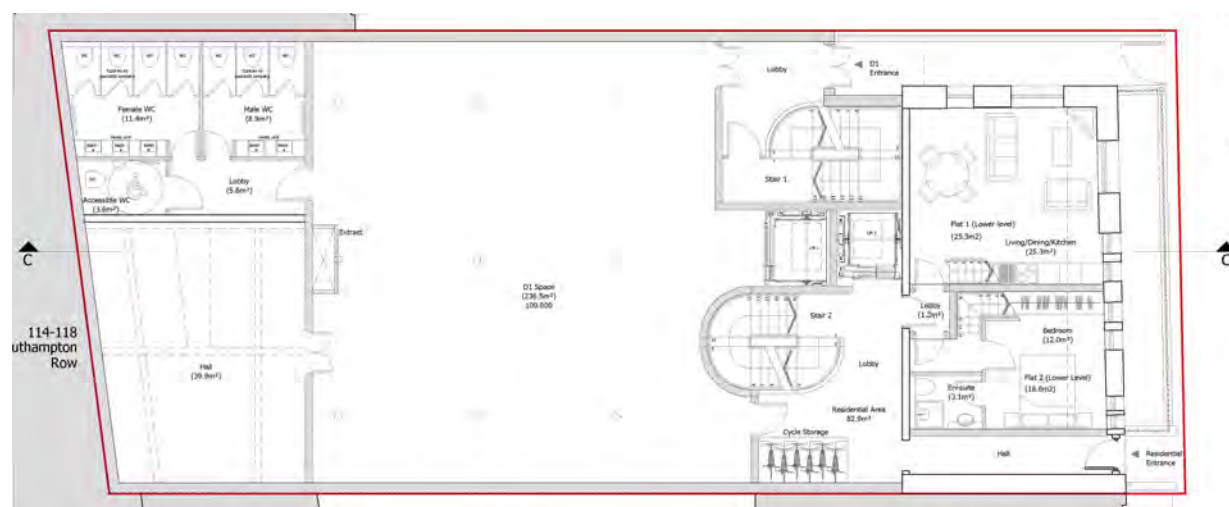
Aspirational image of the high quality interior design to be included in the new apartments above the D1 space

The layout was largely dictated by the current existing layout of the building on the application site. This is characterised by three main parts – the shallow plan four storey frontage building, the modern deep plan three level replacement hall behind this and, at the very rear, an earlier transverse hall and modern toilet block. In these proposals the frontage building was to be converted into residential accommodation, the modern hall behind was to be redeveloped into high quality accommodation in the same use as at present and the rear hall was to be retained. A new basement was added at the rear of the site under this hall. A central stair and lift core, containing dedicated stairs for each of the D1 and C3 uses and a lift also for each use was included. Floor levels were adjusted

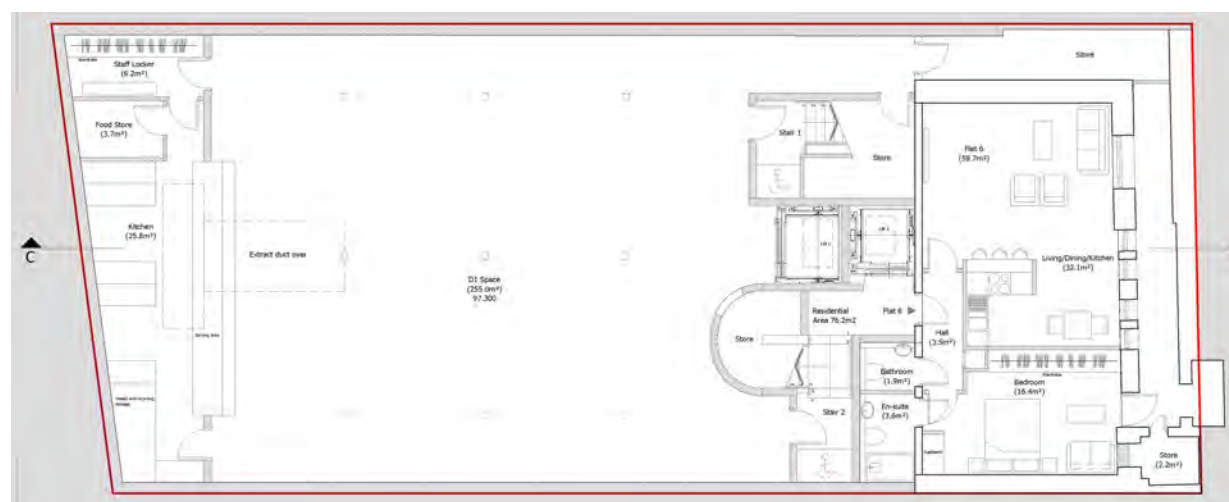
and reconfigured to permit level access to lifts from the pavement and the residential stair doubled as an emergency only stair for the D1 accommodation.

The new structure accommodating the D1 space comprised six levels, all served by a large lift, and useable in multiple size modules for maximum flexibility. The retained rear hall was intended to be connected directly to the ground floor space, as were the toilets for use by all occupants of the D1 space. The proposed residential element was confined to the frontage building, whose character is more suited to such cellular accommodation, and accessed via one of the original doors. The vertical circulation cores for both separate uses were co-located in

the centre of the plan for maximum efficiency.



Proposed ground plan showing radical conversion of frontage building and twin stair arrangement



Proposed basement plan showing completely new rear structure including new basement extension to the rear



Proposed front elevation showing the proposed new side entrance to the D1 space on the right

## SCHEME DESCRIPTION

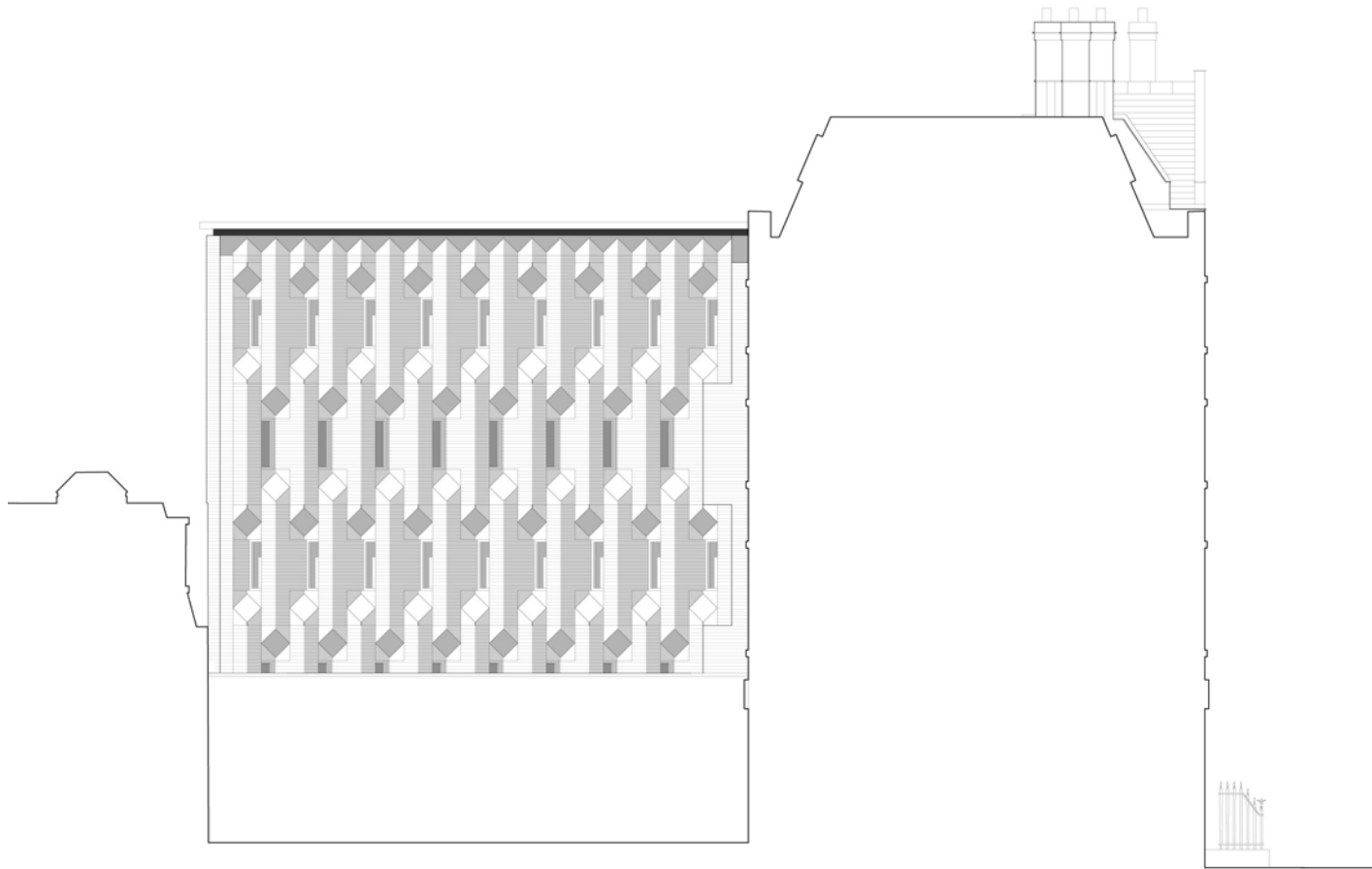
The drawings on this page show the side view of the new rear hall as seen from the adjacent building at No 26 Old Gloucester Street, and the plans of typical upper floor levels. The new hall was distinguished by its characterful façade treatment in brickwork and high quality pre-cast concrete. This was highly modelled to give visual interest to what is otherwise a large flat wall on three sides enclosing the hall. The façade contained fenestration to provide natural light to the hall within, but windows on the south flank were to be fitted with obscured glass to prevent overlooking.

The plans clearly show the sub-division of space within the building - the cellular residential accommodation at the front, the vertical circulation cores packed in tightly behind and the open space of the multi-level hall at the rear with the zig-zag façade modelling.

Following advice received from the Council in response to the pre-app 2 scheme the proposal has undergone substantial modifications. These have been primarily to

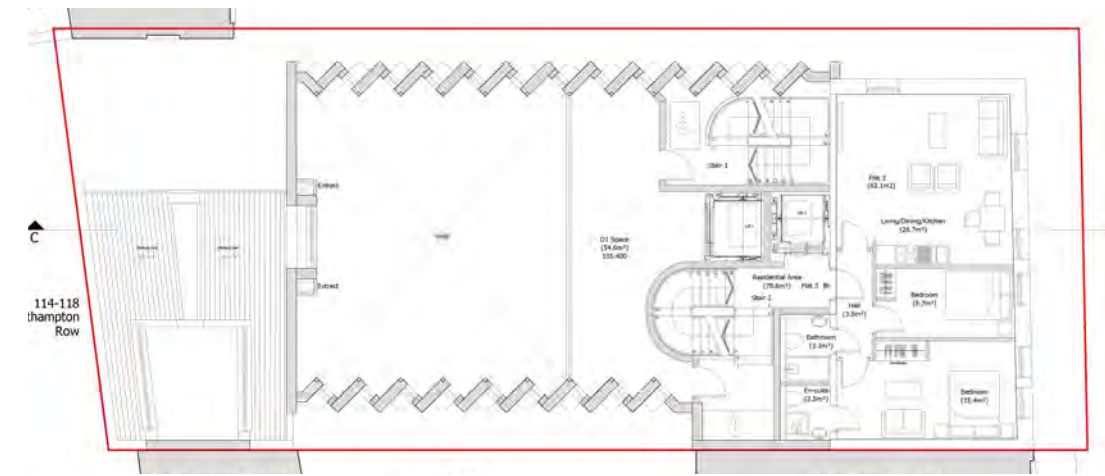
### 3.7 Consultation (Pre-app 3)

address the concerns of the Council over the degree of demolition and loss of original fabric proposed in the previous version. At pre-app 3 a revised scheme was presented that retained most of the fabric of the frontage building and the entirety of the basement and ground floor structure of the main hall, as well as the preservation of the rear hall. This scheme has resulted in the loss of 3 flats but still includes an increase in D1 areas and forms the basis of this application as described in the next section.

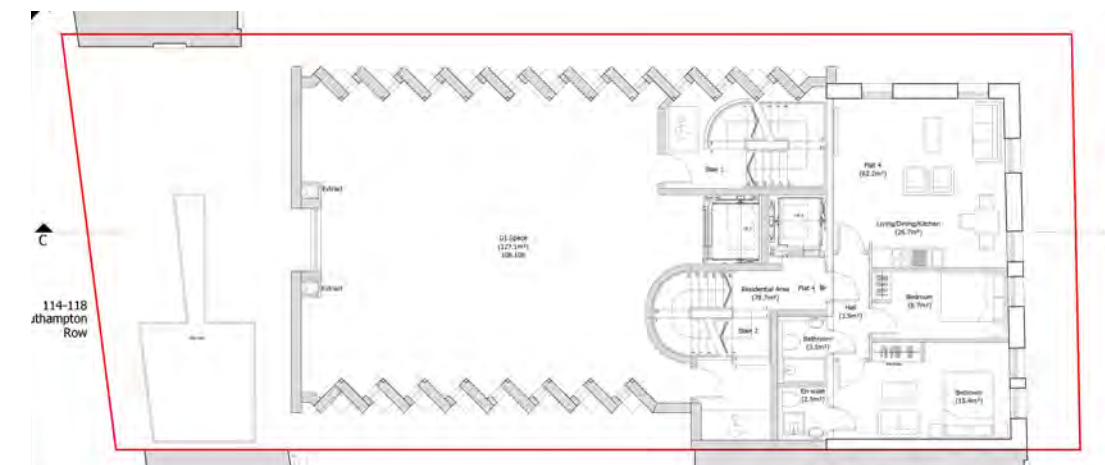


Proposed side elevation to the south, with the new façade treatment that has been refined in the application scheme

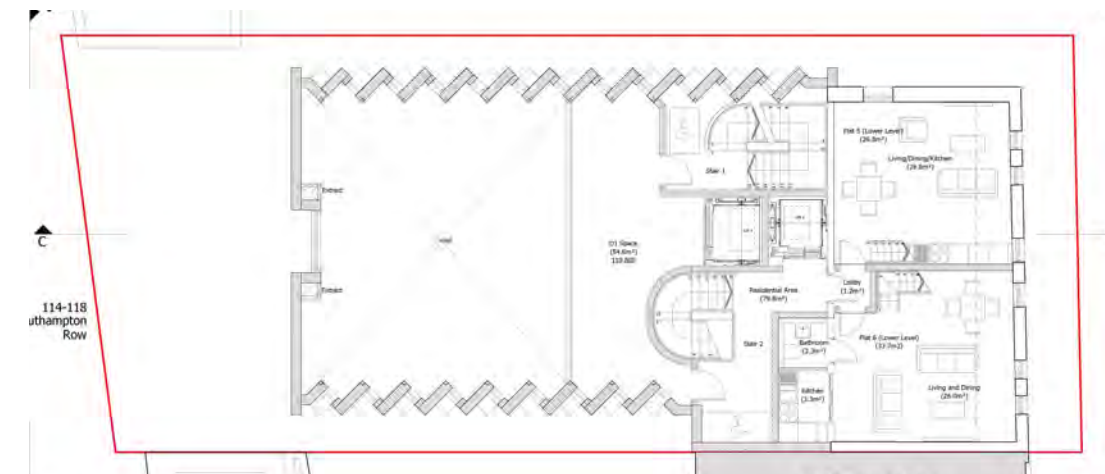
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Proposed level 1 showing roof or rear hall



Proposed level 2 plan showing the twin interlocking D1 and C3 cores



Proposed level 3 plan where the lower levels of the two upper duplex flats are visible

## SCHEME DESCRIPTION

### 4.0 Current scheme

Following the third round of pre-application advice from Camden Council the application scheme was prepared and is described below:

The revised proposal will create additional new-build D1 space on several levels, all served by new stairs and lift, permitting varied and flexible use within this Use Class by both the applicant organisation and other local community groups. Most of this will be brand new, state of the art accommodation, with full servicing and lighting – greatly superior to the old accommodation being replaced. The proposed residential (C3) accommodation has been located entirely within the retained frontage building, originally constructed as residential accommodation for the school staff and, in addition to the rear hall, the only substantial surviving element of the original institution. Access to the two separate uses will be separated, with the D1 access being to the north and the C3 access being the original residential door at the south end of the frontage building.

Floor	Existing D1	Proposed D1	Proposed C3	
Level B	219	278	0	
Level 0	295	285	0	
Level 0M	0	152	0	
Level 1	199	141	45	(Flat 1)
Level 2	58	142	54	(Flat 2)
Level 3	58	141	56	(Flat 3)
<b>Total</b>	<b>829</b>	<b>1139</b>	<b>155</b>	
Uplift		310	155	
C3 as % of uplift			50%	

Table of existing and proposed GIAs for both residential and D1 use. Areas are stated in square metres.

The above table shows both existing and proposed gross internal areas on the application site for D1 and residential use. The D1 floor space in the proposed development will remain both for use by members of the BAPS organisation and other local groups.

The figures above demonstrate that the quantity of D1 space in the redevelopment is greater than the current, so no D1 space is lost in the proposal, rather C3 accommodation will be added on the site. In accordance with the Council's policy, an amount of residential floorspace equal to half the total increase in floorspace is given over to residential use.

### 4.1 Amount of development

The development quantity is accounted for by three principal parts of the scheme – the frontage building, the replacement main hall and the rear accommodation (including new basement space). The total amount of D1 space delivered by the proposal is 1139 m<sup>2</sup> – being 310 m<sup>2</sup> more than the current D1 space on the site, so there will be no loss of D1 space but instead a net gain. The total amount of new C3 space in the proposal is 155 m<sup>2</sup>, plus communal areas such as stair and lobbies – comprising three self-contained flats arranged vertically in the character frontage building.

The D1 space is arranged over six levels, with alternate full and mezzanine floors, generating flexible individual floorplates of various sizes – maximising the flexibility of the facility to appeal to many user groups. Toilets are provided at basement level to cater for a substantial maximum population within the building as a whole. A kitchen and servery are proposed for the D1 space, again to cater for a large gathering if required, but which could also be used to cater for different groups within the centre.

There is lift access from the ground floor entrance to all levels in the D1 space. The residential space is also arranged over three levels within the retained frontage building. Flat sizes of circa 50m<sup>2</sup> are proposed, sizes that are constrained by the dimensional parameters of the existing structure. All are tightly and efficiently planned to optimise use of the available space, and all incorporate generous storage in the layout.

Residential sizes cannot reflect exactly the policy guidelines in this area due to the constraints of the existing structure but they are attractive, thoughtfully arranged and high quality. Likewise there is no opportunity for private external amenity space to be provided for any of the flats, but the building housing them is very close to the public amenities of Queen Square.



The new community space will be both modern and flexible and available to a range of local groups

4.2 Scheme layout

The layout is largely dictated by the current layout of the building on the application site. This is characterised by three main parts – the shallow-plan four storey frontage building, the modern deep plan three level replacement hall behind this and, at the very rear, an earlier transverse hall and modern toilet block.

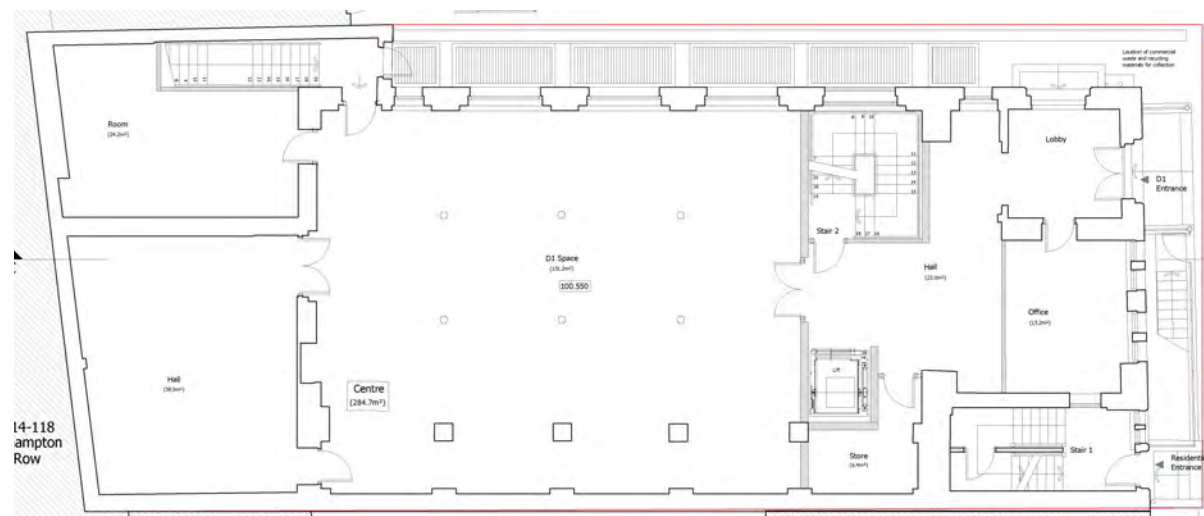
In these proposals the frontage building will be converted into residential accommodation, the modern hall behind will be redeveloped into high quality accommodation in the same use as at present and the rear hall will be retained, also in that D1 use. A new basement will be created at the rear of the site under the rear hall, that is the subject of a basement impact study in the application documents.

There will be a new central stair and lift core, containing dedicated stairs for the use of D1 space. The C3 space will be accessed by the retained stair of the frontage building serving all residential levels, but there is no possibility of a residential lift with this scheme.

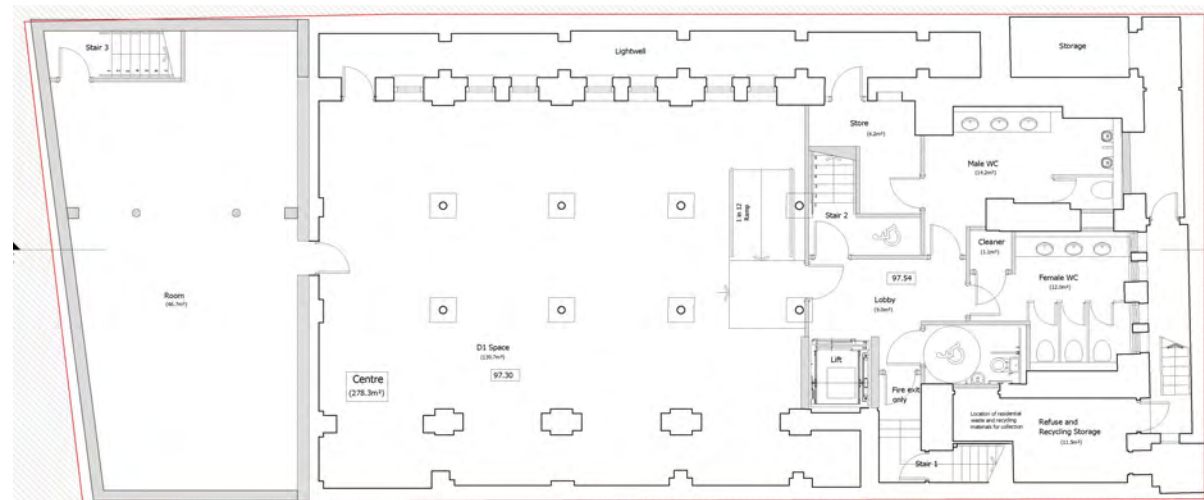
The new structure accommodating the D1 space comprises six levels of space, all served by a large wheelchair accessible lift, and useable in multiple size modules for maximum flexibility. The retained rear hall will be connected directly to the ground floor space as at present, and male, female and disabled toilets will be located in the basement for use by all users of the D1 space. The proposed residential element will be confined to the

frontage building, whose character is more suited to such cellular accommodation, and accessed via one of the original external street doors. The drawings on this page show the proposed basement and ground floor plans and the proposed front elevation to Old Gloucester Street. The whole of the basement and ground floor will remain in D1 use, except for a small area containing the residential entrance and stair.

The appearance of the frontage building will be largely unaffected by the proposed development, although repairs and refurbishment to the fabric of this part of the structure will improve its contribution to the quality of the Conservation Area.



Proposed ground plan showing main D1 entrance at the top and residential door and stair at bottom right



Proposed basement plan showing new basement on the left, retained original structure and new toilets on right hand side



Proposed front elevation remains largely unaltered in the proposal

## SCHEME DESCRIPTION

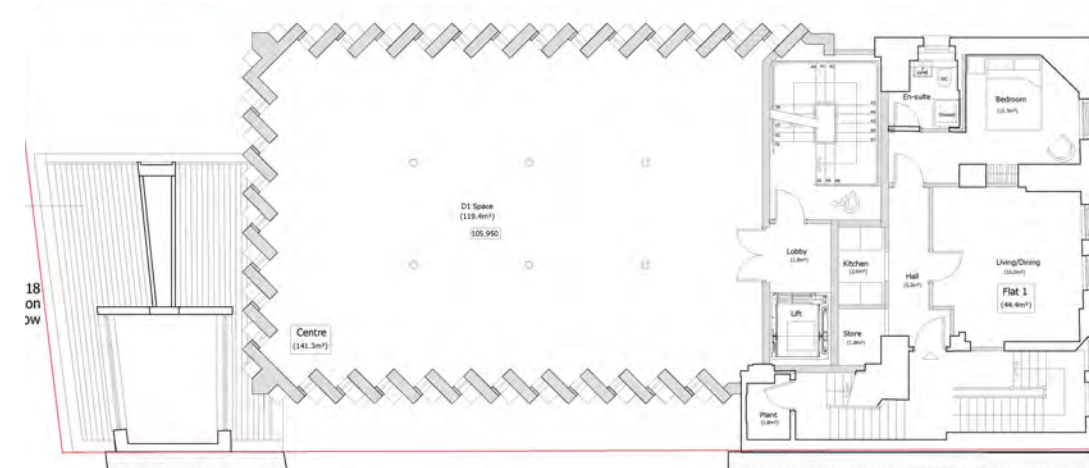
The drawings below show the side (south) elevation of the new rear hall as seen from the adjacent building at No 26 Old Gloucester Street, and the plans of typical upper floor levels showing the retained frontage building on the right of the picture and the replacement D1 space on the left of the picture.

The new hall is distinguished by its complex façade treatment that uses a combination of brickwork and high quality pre-cast concrete elements. This is highly modelled to give visual interest to what is otherwise a large flat wall on three sides enclosing the replacement hall within. The façade includes fenestration to provide natural light to the hall, but windows on the south flank will be fitted with obscured glass to prevent overlooking to

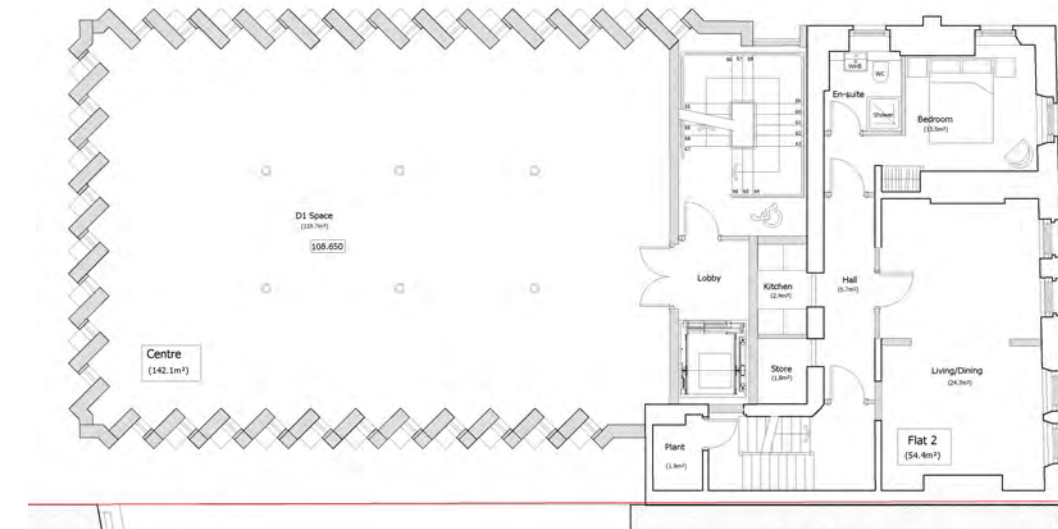
the neighbours on that boundary.

The plans clearly show the sub-division of space within the building - the cellular residential accommodation at the front, the vertical circulation cores packed in tightly behind and the open floors of the multi-level hall at the rear with the characteristic zig-zag façade modelling.

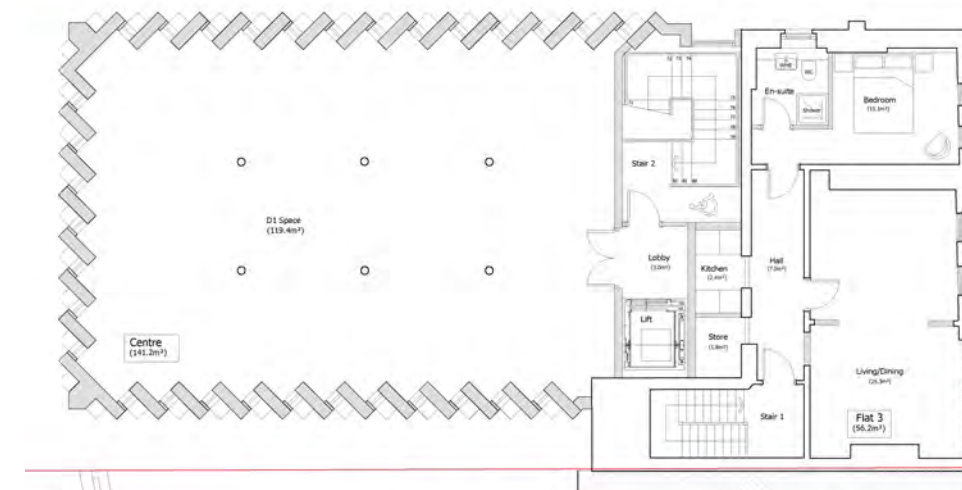
The residential accommodation is served by the existing stair in this building and the D1 space is served by a new stair and lift in the centre of the plan. The residential layouts have been optimised given the severe constraints of the existing historic structure, with some support accommodation housed within the new structure behind the frontage building.



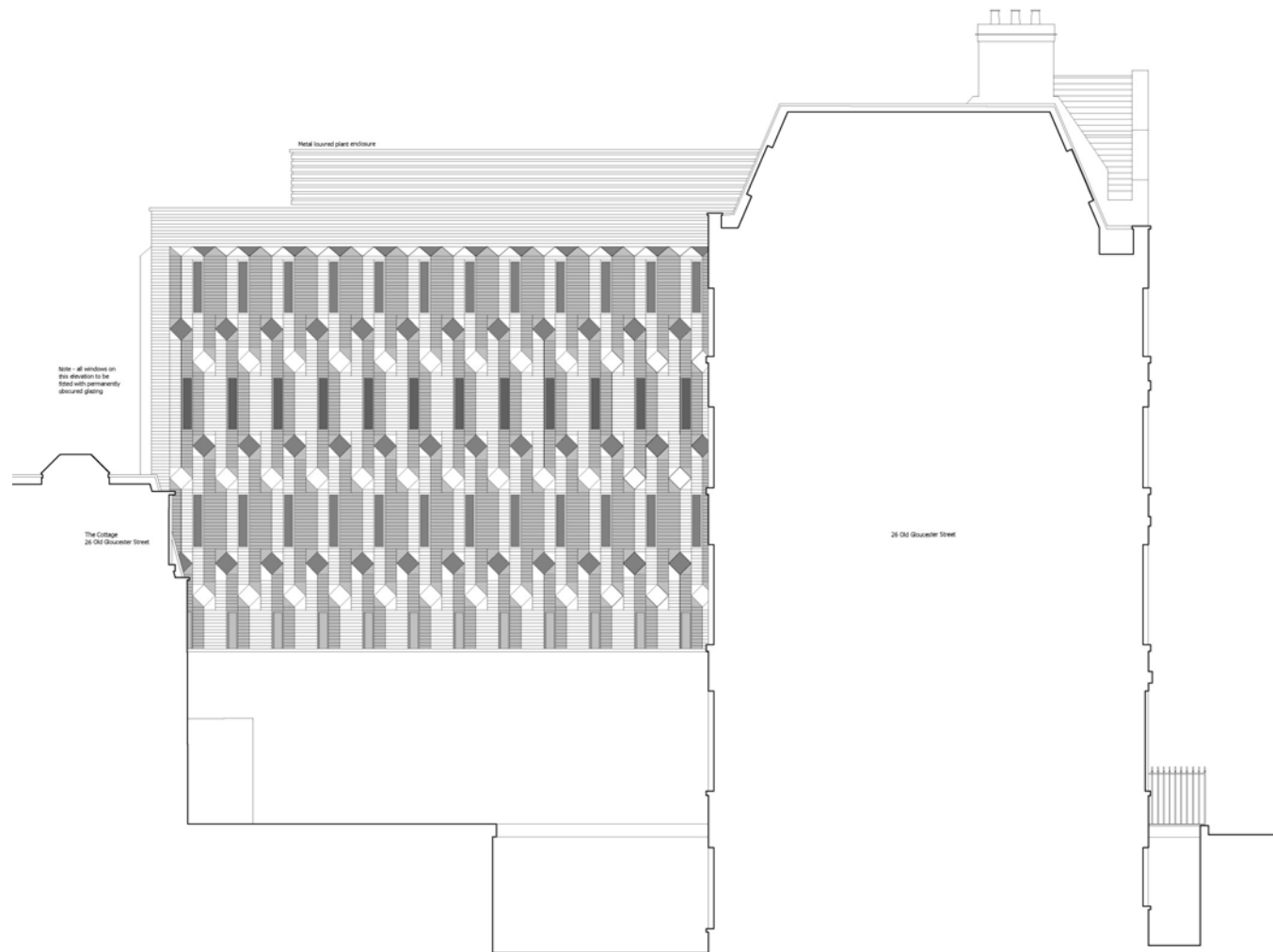
Proposed level 1 showing the residential accommodation housed in the converted frontage building and the new hall in the centre of the plan



Proposed level 2 showing new and original buildings, with the recessed glazed link between each at the top centre of the image



Proposed level 3, which is the top floor of the building showing the two stairs, new and original, serving the two different uses



Proposed south elevation showing the carefully crafted elevational treatment employing a palette of brickwork and pre-cast stone

### 4.3 Sunlight and daylight

The massing of the new D1 building has largely been dictated by the light flow requirements of neighbouring buildings to the rear and sides of the application site and closely follows the envelope established by the implemented planning permission reference 2011/6097/P.

This new accommodation will be naturally lit by means of windows in the south, west and north facades. The south facade is a valuable source of daylight for the new accommodation but there is a risk of overlooking the rear yards of the neighbouring properties in Old Gloucester Street from this direction. The windows in this façade will therefore be configured to prevent such overlooking, whilst still admitting light and air into the application



Detail of fenestration to frontage building, where there will be little alteration to the original windows of the listed building

building. Light will also be available for the D1 space from the north flank facing the side of the church, and the west facing façade, where privacy for neighbouring occupants is not an issue.

The proposed apartments are lit by the existing windows in the retained frontage building, with an easterly and northerly aspect. Due to the constraints of the frontage building it is not possible to alter this fenestration to improve aspect, but the character and outlook of this building compensates for the lack of ideal south and west aspect to windows. However this building is provided with a large number of windows and it is anticipated that the new apartments will benefit from adequate internal daylight.

### 4.4 Residential amenity

The proposed dwellings are appropriately sized and well planned within the inherent site constraints. There is no opportunity for external private amenity space in this conversion, but all the flats are close to Queen Square, to which the residents will have free access, and which is high quality public amenity space of great amenity value to the residents of the new flats.



A relatively small space can be both capacious and comfortable as demonstrated by St Jerome

### 4.5 Noise and pollution

The site is located some distance from the nearest main roads and it is not anticipated that ambient noise will be above acceptable levels. Noise from aircraft will be adequately contained by the type of roof and envelope construction proposed.

Even though Southampton Row is in close proximity, the frontage buildings of this extremely busy road will provide a sufficient shielding for the new residential development to have this arterial road remain unnoticed.

Potential noise between flats within the development (and between the residential and D1 floorspace) will be prevented by Building Regulation compliant structure and finishes. There will be a substantial masonry wall between the residential and others uses.

The possibility of noise breaking out from the development and affecting existing neighbours and on-site residents will be minimized by the relatively substantial envelope construction and effective sealing of the building.

A noise report has been produced in support of the application.

In terms of pollution, the development sits in a residential area with no industry or major transport infrastructure nearby. Pollution levels in central London are relatively high, but subject to ongoing measures at City and Borough level to reduce.



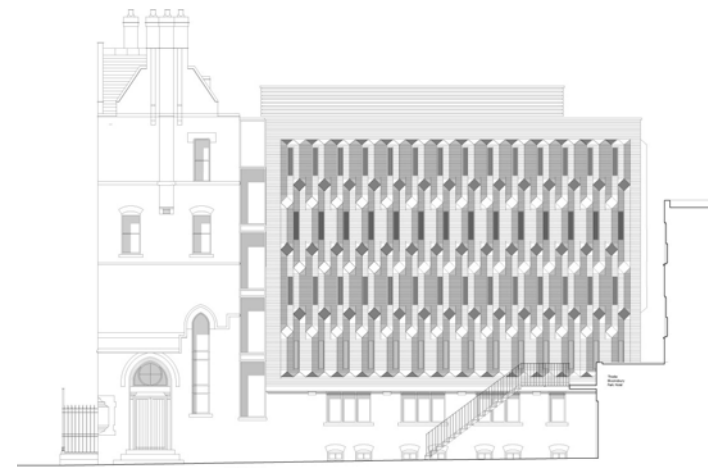
Busy traffic on Southampton Row will hardly be noticeable from the site which is shielded by the frontage properties.

### 4.6 Scale and massing

The scale and massing of the scheme has been carefully configured to be appropriate for the setting generally and in particular to avoid any negative impact on neighbouring properties. To ensure that this is achieved, the design of the scheme has been configured to match the existing conditions on the site. In this way the proposed scheme will neither have a greater impact on the adjacent buildings, nor compromise the amenity of the residents in proximity.



Existing flank elevation visible from the alley between the application site and St George The Martyr church



Proposed flank elevation from the same viewpoint



## SCHEME DESCRIPTION

### 4.7 Designing out crime

Local Plan Policy requires that the design takes account of crime prevention and community safety. The application scheme complies generally with the provisions in ACPO's 'Secured by Design' suite of guidance documents. Particularly applicable to this scheme are the new homes guide, plus the multi-storey dwellings and play areas. The Security of the development is enhanced by discouraging casual intrusion by non residents. Public access is restricted. A Proximity Access Control (PAC) system, CCTV, sensor lighting and door entry phone access control

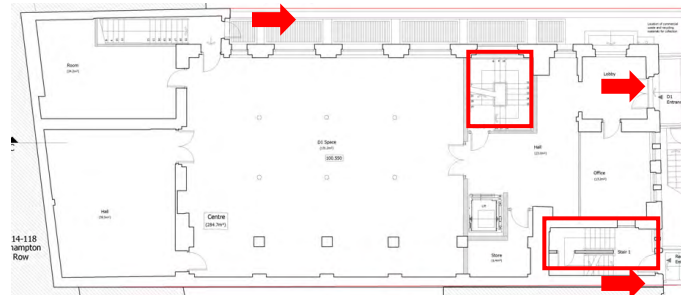


system will be provided for the dwellings. The main entrance is very well protected against unauthorised access whilst being easily identified by the emergency services and trade visitors etc. See access section for more detailed layout/information.



### 4.8 Fire strategy

The scheme has been designed to be constructed of non-combustible materials with separation between dwellings to full UK Building Regulations standard. It will also have sufficient separation from neighbouring properties and no unprotected areas in boundary walls. All the accommodation within will be fitted out in accordance with current statutory regulations and be provided with automatic heat, fire and smoke detection and alarm. The



Plan showing the emergency exits for the building. The fire vehicle will stop on the highway and access the building via the main entrance and use the main stair for circulation.

layout of common parts takes into account maximum safe travel distances from the accommodation to a place of relative safety (protected stair) from where a place of safety (the highway) is directly accessible via the exit doors to the street.

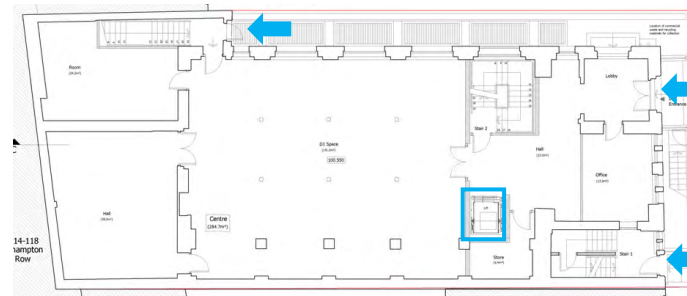
Should the fire service need access to the application site, this will be via two principal entrances in the frontage building on Old Gloucester Street.



Access for the fire service personnel will be directly off the street via the D1 and C3 main entrances connected directly to the building stairs

### 4.9 Servicing

Servicing of the development will be by means of the local road network with all servicing taking place via the front entrances of the building. Items brought into the residential part of the building will be via the residential entrance street door and up the stair. Items brought into the D1 part of the building will be either through the main entrance or possibly into the rear door at the head of the side alley. Access though each is not step free due to the age of the building but a lift serves all floors of the D1 accommodation, facilitating the movement of goods throughout this part of the development.



25 Old Gloucester Street servicing access diagram, showing the principal street entrances, the rear entrance to the D1 space and the internal lift serving the D1 space



Most deliveries will be by means of small lightweight vehicles that will use the local road network to service this site.

### 4.10 Waste strategy

Waste management of the development will be by means of the local road network. The residential waste and recyclables will be placed, in the appropriate sacks and caddy, on the pavement immediately in front of the building on the designated collection day. Should residents want to store these materials prior to collection there is a room at basement level accessible to them for this purpose.

The D1 operator will enter into an agreement with a commercial waste/recycling contractor, who will collect material by agreement with the operator. It is currently unclear how much waste/recyclable material will be generated by the D1 use, or where within the building it will be contained. However the basement refuse storage room referred to above will also be available to the D1 operator. Commercial waste collection will be programmed so as not to coincide with the residential waste collection carried out by the local authority.



### 4.11 Cycling facilities

It has been agreed with the Council that a commuted sum will be paid by the applicant for the provision of cycle parking facilities nearby, so no cycle storage provision is made in the application scheme.

### 4.12 Landscaping

The proposed building covers most of the site, leaving little scope for ground level landscaping. However the replacement main hall in the middle of the site has a large flat roof where it is proposed to use an intensive growing roof system to introduce a 'green' element into the development, on those areas not required for the siting of external plant. A proprietary green roofing system, such as that marketed by Bauder in the UK, will be used on those areas of flat roof not occupied by external plant.

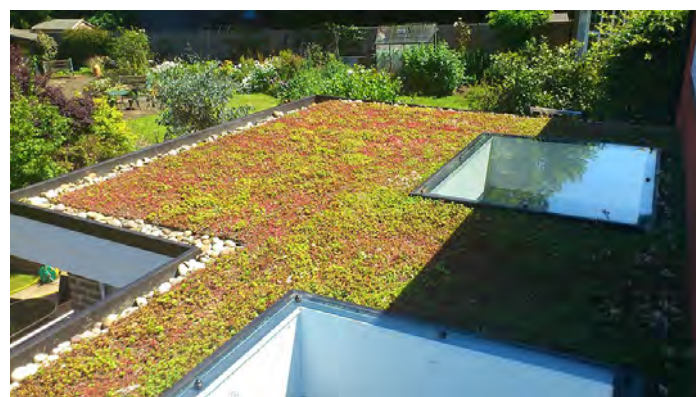


Image showing the typical appearance of the intensive green roof treatment intended for the flat roof of the replacement main D1 hall on this site.

### 4.13 Flood risk and drainage strategy

Due to the elevation of the site no flood risk assessment has been requested by the Council, so we do not deal with flood risk in this document. In terms of drainage, there is an existing street sewer that receives both the foul and surface water outflow from the building. It is proposed that this situation remains unchanged in the developed site.

### 4.14 Appearance

The replacement D1 hall will be just visible in an oblique view from the street, and efforts have been made in designing the façade of this building to create visual interest in this view. Brickwork and high quality precast stonework are combined in a faceted wall configuration. This is intended to capture the essence of the gothic style of the frontage building without resorting to pastiche. It is also intended to ensure that the façade of the rear building has visual interest at the scale of the brickwork modelling and window openings, for the benefit of those neighbours who look at it from rear windows. The old and new buildings visible from the street, as in the illustration below, are visually differentiated by the use of a vertical strip window, reflecting the location of the main stair, which is recessed behind the main façade plane. This can be seen in the elevational drawing, Section BB, which is part of the application set.



View of frontage building with modelling of new rear flank wall visible in the alley between this and St George the Martyr

### 4.15 Access



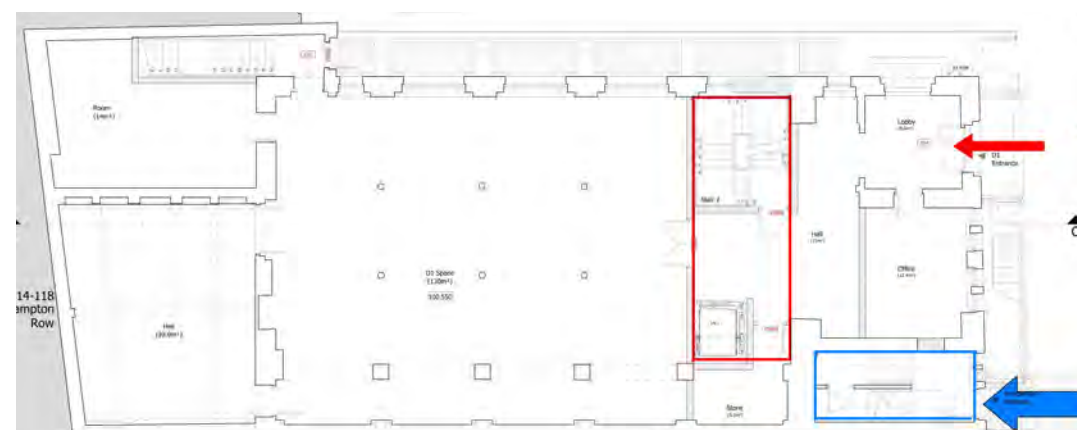
Red and blue arrows marking proposed D1 and residential access, respectively. Both doors face the street and are features of the original design of the frontage building.

The proposal places residential accommodation alongside D1 space in the same building. These uses will be kept completely separate and this separation begins with the street access.

Residents will access the building from the eastern side of the application site on Old Gloucester Street through a specifically designated entrance that originally served the residential accommodation of the school staff. There is provision for a solely residential stair core which will lead to the apartments within the upper floors of the frontage building. There is no step free access to any dwelling in the development due to the necessity to retain existing features.

D1 floorspace users will access the building through the principle entrance as seen from the street, which was originally the school entrance for pupils. This will lead to a main lobby and stair/lift that will give visitors the option to go up, down or forward into the main hall at level 0.

In terms of internal horizontal circulation, the building layout is clear, simple and reasonably legible, given the inherent space planning constraints of the site. In terms of vertical circulation, there is no possibility of providing step free access from the street due to the heritage constraints of the building. However, once inside the main entrance, there is step free access to all D1 levels by means of the new lift.



Ground floor plan showing D1 access (red) showing vertical access in to all D1 spaces and residential (blue) and its vertical access to all C3 dwellings

#### 4.16 Transport and parking

The site is located in an area that is provided with excellent public transport and is intended to be car free. Motor vehicles can reach the site for deliveries and servicing as required by Old Gloucester Street. Cycle storage is not provided on site due to building constraints. The Planning Authority has agreed to accept commuted payments in lieu of on site provision. There is no parking for motor vehicles included in the scheme.

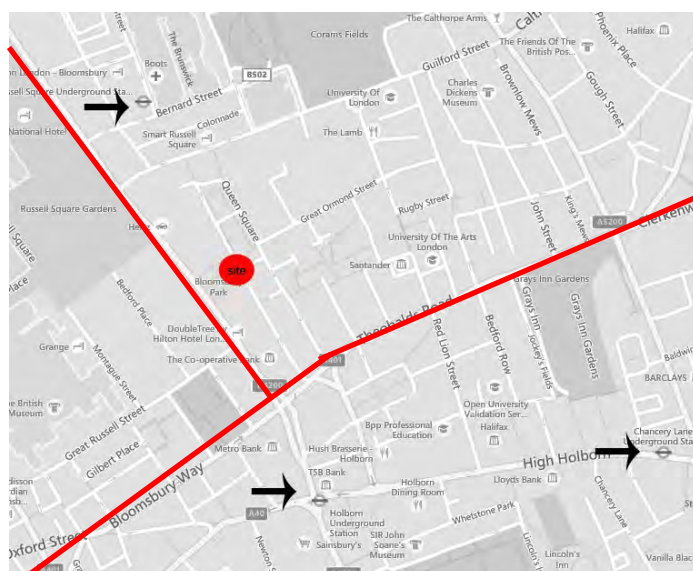


Diagram showing the local tube stations all within 5 minutes walk

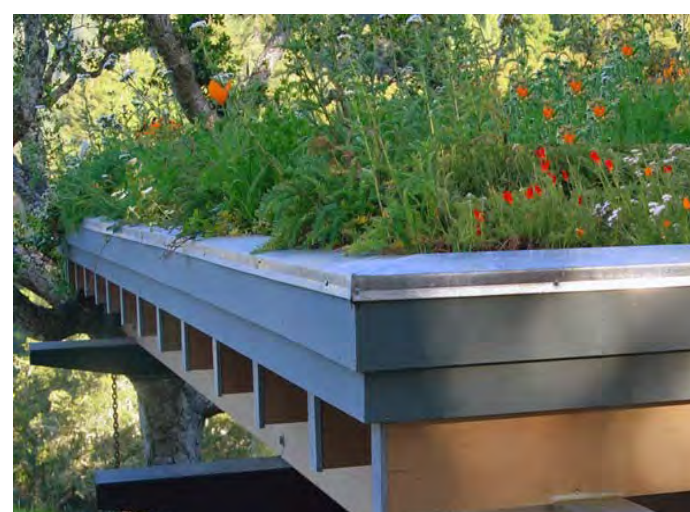
There are three underground stations in close proximity to the site. Southampton Row and Theobald's Road also have several popular bus routes running along them, providing access to the wider London travel network.

There are many public provisions for cycling in the locality of the site, such as designated highway cycle lanes, cycle stands and Santander cycle docking stations.



#### 4.17 Sustainability strategy

The development is inherently sustainable in terms of the utilisation of previously developed land within an established settlement, well provided with services of all types. The optimisation of the capacity of such land is one of the project goals already described. The proposed new building will be constructed of traditional materials easily available from the established supplier network, which are, in turn, fully recyclable into useful resources. The building envelope will be thermally insulated to a high standard, helping to minimise the future energy demands of the occupants and to preserve a reasonably low carbon footprint in use. Other features are being considered such as intelligent lighting controls and domestic heat recovery systems that will contribute to the overall sustainability of the scheme.



The development will meet or exceed the UK Building Regulations standards of energy performance.

#### 4.18 Structural strategy

The proposal includes the construction of new basement accommodation at the rear of the site, for which application supporting documents have been produced to deal with various impact assessments. The new build part of the scheme will necessitate the use of thin floor slabs to accommodate the number of levels required into the overall height available – a steel frame solution is likely to be adopted for this structure. The retained frontage building will require additional structural support due to the loss of original fabric during historic alterations, now being reversed.

The bearing capacity of the existing foundations and basement structure will need to be assessed to demonstrate that it has sufficient capacity to support the loads of the new D1 building to be erected over it above ground floor level.

#### 4.19 Mechanical and electrical strategy

MEP services consist of the mechanical, electrical and public health services to be installed in the building. All new services will be installed into the refurbished and extended premises in this case. The proposal is to provide the appropriate services in keeping with the overall energy strategy of the project. The apartments will be provided with self-contained electric boilers producing low temperature hot water for both space heating and water calorification. No air conditioning is proposed in the scheme. Mains electricity will be provided for lighting and small power. Mains drainage will be by means of the existing adopted street sewer below Old Gloucester Street. The D1 floorspace will be serviced in a similar manner to the residential space. A an area of the flat roof intended for the siting of any necessary external plant is screened from neighbours with acoustic louvred panels





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