



Reference: 101 Camley Street, London

Project No: 1616471

Date: 14th September 2020

Re: Additional Roof Condenser Plant - Noise

The following is provided in respect to atmospheric noise emission from an additional air conditioning unit proposed for the north block roof of the 101 Camley Street development.

1.0 Preamble

- 1.1 The unit is related to a cooling system in one of the risers. The unit cannot fit within the existing roof enclosure, therefore this will be located just outside.
- 1.2 The acoustic plant assessment for the scheme was addressed in our report of 18.10.19. This assessment was accepted for the discharge of Planning Condition 17 (planning application No. 2016/6311/P of 14.07.17 [var. 2014/4385P of 18.03.15]).
- 1.3 Camden decision letter of 22.09.19 states:

The Council's Pollution Planning Consultant has reviewed the details and confirmed that they are acceptable in environmental health terms....On this basis, the condition is discharged as the amenity of occupiers of the development site/surrounding premises would not be adversely affected by noise from plant/mechanical installations/equipment in accordance with the requirements of policies A1 and A4 of the Camden Local Plan

2.0 Plant

- 2.1 The unit is a Daikin RYYQ10 vertical discharge unit with a declared noise level between 57-58 dBA at 1 metre, but for surety of calculation taken as 61 dBA at 1 metre horizontally (which predicts closer to the declared sound power level for the unit).

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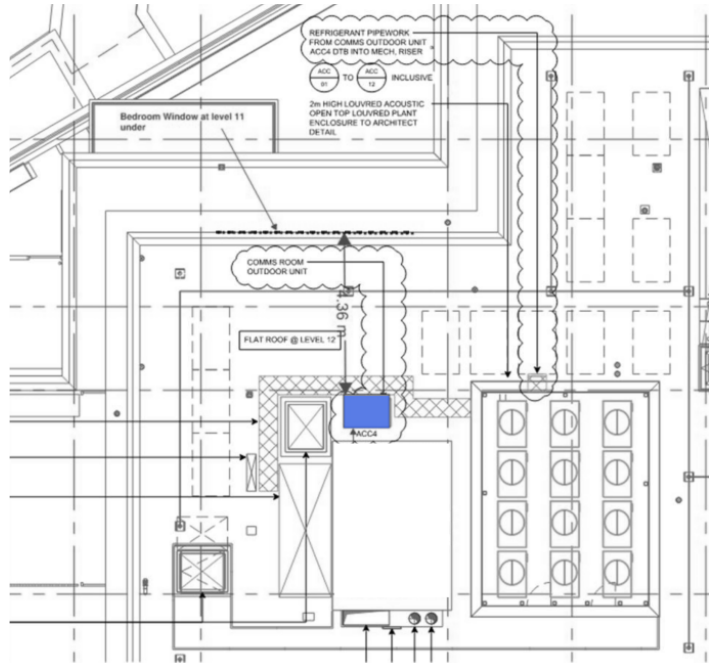
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3.0 Noise to Residence

- 3.1 The distance from unit to the balcony of the newest residence is about 5 metres (which equates to a 14 dB distance reduction) $61-14 = 47$ dBA. (See roof plan image – unit highlighted in blue). To the nearest existing noise sensitive receiver outside the development this approximately 38 metres away with a noise level of 29 dBA.
- 3.2 There may be some roof edge screening, but this is not certain so not included, hence the level is robust in terms of decay, screening and source level.
- 3.3 To existing residences at 29dBA this noise 13 dBA below the background noise level, therefore aligns with Condition 17.
- 3.4 At 47 dBA this 5-7 dB below the estimated background noise level during the day-time on the nearest balcony and 8 dB below BS 8233:2014 guidance for external amenity areas. This is also considered acceptable at night when balconies will not be use and internal level are within BS 8233 limits, via the air conditioned apartments.



On this basis the single unit aligns with the planning approach, as outlined within the already approved acoustic report for the discharge of Condition 17, and its contribution is not considered significant to affect those findings.

We trust this is sufficient for your purposes.

Best Regards,

Rory

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