

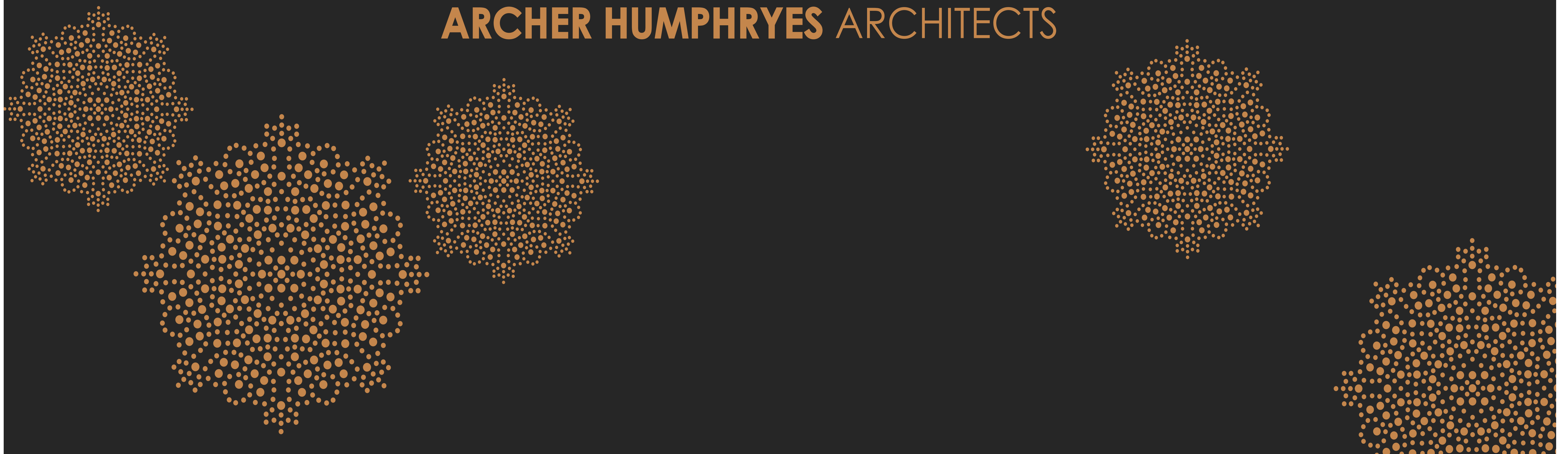
# Koko Refresh and Renew, 1a Camden High street, London nwi 7je

Planning Application  
September 2020

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“ a great space is performance in progress.”

**ARCHER HUMPHRYES** ARCHITECTS



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### Design & Access Statement

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Site Plan and location plan  
Scale 1:1250

Existing Drawings

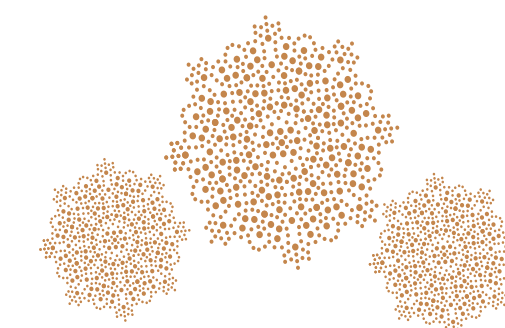
As Approved drawings

Demolition GA's Drawings

Proposed GA's Drawings

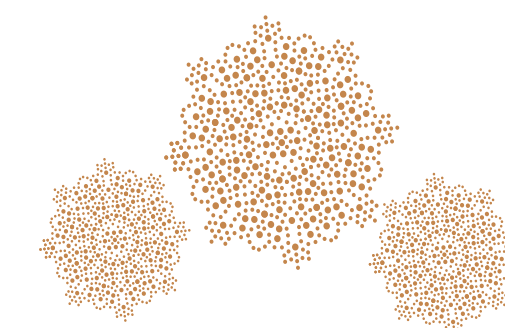
Room by room: Existing, Demolition & Proposed

Drawing Schedule



Archer Humphries Architects

Design & Access Statement



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DESIGN & ACCESS STATEMENT

Job No: KKC Fire Reinstatement and refresh and Renew works  
Job: Koko + Hope & Anchor, 1 Bayham St and 65 Bayham Place  
Date : September 2020  
Revision: A



Image 1: Indicative Proposed View 1 from Camden High Street

Executive Summary

*The approved development comprises the sensitive refurbishment and extension to the block bounded by Camden High Street, Crowndale Road, Bayham Place and Bayham Street containing the Grade II Listed venue known as Koko, the Hope and Anchor Public House and a dilapidated corner building comprising of no.1 Bayham Street and no.65 Bayham Place.*

*This new development that has been granted approval by the council will deliver part new and refurbished high quality Private Members club, food and beverage spaces, rehearsal room and enhanced live music venue and performance space. These symbiotic uses will ensure the longevity of the live music venue and allow for the grade II listed building's refurbishment and maintenance.*

*The new building works along Bayham Street and Bayham Place are of exceptional design quality and will result in a significant enhancement of the buildings relationship and contribution to the character of the surrounding streetscape.*

*The proposals for the site were approved in March 2018 under application reference 2017/6058/P and 2017/6070/L.*

*Due to the fire that broke out within the dome on the 6<sup>th</sup> of January 2020 a complete reinstatement of the dome was required and its subject to a separate application Ref; 2020/2428/L. The fire also caused extensive water damage to the interior and deterioration of the building fabric. The decision was made to ensure a group of consultants were appointed to tackle a like-for-like reinstatement of the dome and areas damaged by water ingress. Stephen Levrant Heritage architects and Archer Humphryes architects were appointed to oversee the strip out and reinstatement process.*

*The damaged areas meant that all bars, toilets, floors and walls needed to be stripped to allow the building to breath and dry out. By stripping the building back and removing all fixed furniture and wall plaster, it gave the opportunity to modernise refresh and renew the interior, bar areas, toilets and allow to upgrade the M&E and Fire alarm system to meet current regulations.*

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Image 2: Indicative Proposed View 2 from Camden High Street looking down Crowndale Road



Image 3: Site location plan

## 2.0 Introduction / Background

The site is located within Camden Town Centre and the Camden Town Conservation Area. It is made up of a cluster of buildings, which are located to the rear of Grade II Listed KOKO, formerly known as Camden Palace. These include, Hope & Anchor Pub, 65 Bayham Place and 1 Bayham Street.

### Background, Context and History:

The building is Grade II Listed and was completed in 1900 by WGR Sprague who was a prominent theatre architect in London at the time. It has had a colourful history and has been a live music venue since the beginning of the 1970's. The building fabric has not been well maintained and the building is now in dire need of a refurbishment. Similarly the buildings surrounding KOKO has in the past been occupied by squatters and have fallen into disrepair. Furthermore KOKO has also been threatened through various development proposals seeking residential use on the site. In these circumstances the conflicting use would directly threaten the operational hours and uses within KOKO.

The development of the "KOKO block " including the Hope & Anchor, 1 Bayham Street and 65 Bayham Place has been a forward as a positive response to solve a number of social and physical difficulties that have blighted the site in recent years. Following its closure, the Hope & Anchor has fallen into disrepair and dereliction and was occupied by squatters misusing the building and preventing any possible positive connection with the neighbourhood. 1 Bayham St and 65 Bayham Place had suffered similarly. In addition to these problems KOKO has also been threatened through various development proposals seeking residential use on the site. In these circumstances the conflicting use would have directly threaten the operational hours and uses within KOKO.

Seeking to address these issues KOKO and its owners purchased both sites and are implementing the approved development as a viable and long-term solution and means to secure a long and stable future for the KOKO building. The property is large, old and delicate requiring a significant level of investment to maintain it as an important music venue as well as the upkeep to the fabric of the listed building.

### The Private Members Club:

The approved private members club is designed as a separate building and business from KOKO, which both about the club and in certain areas penetrate its public areas. The entertainment uses are both sympathetic and symbiotic to the KOKO venue. The private members accommodation is located on the 1<sup>st</sup> to 3<sup>rd</sup> floors and provides dining, lounge, functions rooms and suite for members, guests, artists and crew.

### The Hope & Anchor:

At ground floor the reinstated public house provides bar and dining accommodation with an open kitchen in addition to a retail space.

### The Dome:

The new wing will find its unique quality through the physical relationship of the public areas located on the upper floors. The first of these is the connection and opening up of the KOKO dome will be provided with entrances both from the theatre's second circle and the new rooftop Lobby. The dome will provide a new bar and function room available to KOKO, private members and guests.

### The Rooftop Lobby:

The second area open to private members and guests is the approved roof top lobby. This sits directly above the KOKO auditorium in a space created between the existing dome and the flytower and is currently used to houseplant equipment. The roof top lobby is reached by two public lifts that lead directly off the ground floor reception. The lobby is contained by a glazed pavilion that will provide dramatic views of the KOKO dome and re-instated cupola as well as South over the West-end and East across the city. The roof top lobby will be central to the Koko private members unique character, experience and the revenue projections under pinning the project's viability.



#### The Flytower:

The third unique space contributing to the development is the interior of the flytower; which will be viewed from below. This view shows the original sceneographic lattice, open queen post truss roof structure and the theatre's gigantic flywheel all of which are to be retained and displayed to visitors. Members will be able to appreciate the space and structure from the gallery bar, which occupies the historic gallery running around 3 sides of the open fly tower at the theatre's second floor level. The flytower will also be accessible from the Hope and Anchor and will be used to host events and booked diners services from the main kitchen and supporting accommodation. This will provide one of London's most distinctive and atmospheric theatrical spaces and is indispensable within the projects overall programme and inventory.

#### KOKO refresh and renew:

The reinstatement works post fire will allow the auditorium from basement level up to third floor level to be upgraded. All bar areas, lighting, flooring, M&E will be stripped to allow the building to dry out. Hutton and Rostron are the drying out specialist who will oversee the process, they will continually test the area affected by water to ensure that the reinstatement works will be installed within acceptable moisture levels. All bar areas and interiors have been re-designed to meet the music venues requirements and upgraded. By reinstating all the interior like-for-like we intend to improve the areas by adding back missing skirting, handrails, and dado rails that may have been lost during its historical past. This reinstatement will also be more sensitive towards the introduction of M&E as we will ensure that all M&E works with sensitivity to the existing historical decorative plasterworks in the building. We will ensure that all reinstated elements are sensitive to the historic past of this building to keep the character and history intact with a better approach to the modern integrations of bars, lights, floors, seating and M&E.

While the proposal to re-use an existing 19thC entertainment and leisure building has much in common with other intelligent, recent conservation projects, the brilliance of the KOKO project is that it sets itself apart by also maintaining the actual original use of the building, as an entertainment venue, as well as retaining and enhancing the physical fabric of the structure. Beyond the building's use and physical extension replacing derelict and redundant parts of the local street scape the development further enhances the overall character and quality of the conservation area, including the re-instatement of the dome's crowning cupola, retention of the Hope & Anchor and re-modelling of the Bayham St / Bayham Place corner building.



Image 4: Historical photograph of the Camden Palace facade



Image 5: Historical photograph of the Camden Palace facade

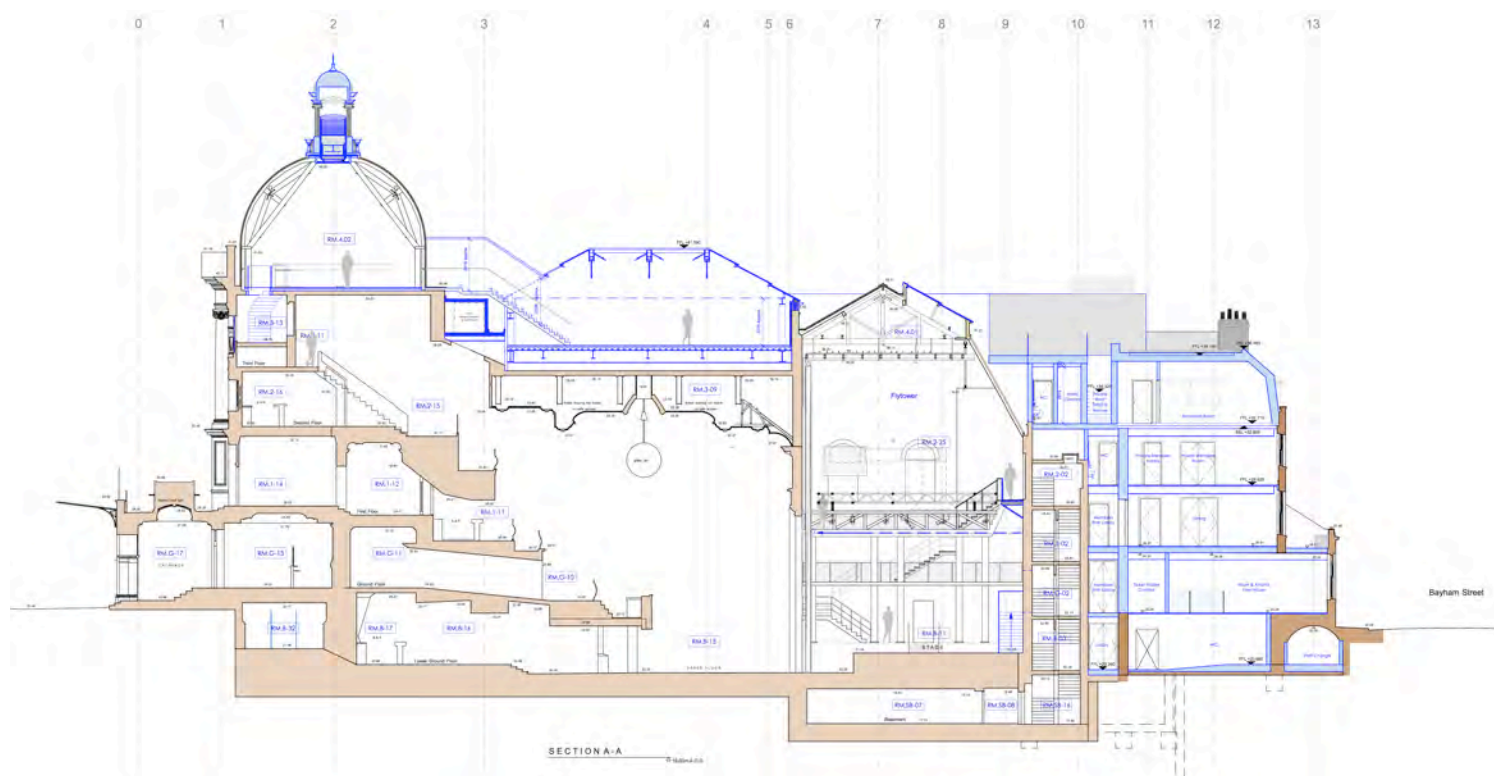


Image 6: Proposed section AA through the dome, rooftop lobby, flytower and the Hope & Anchor.

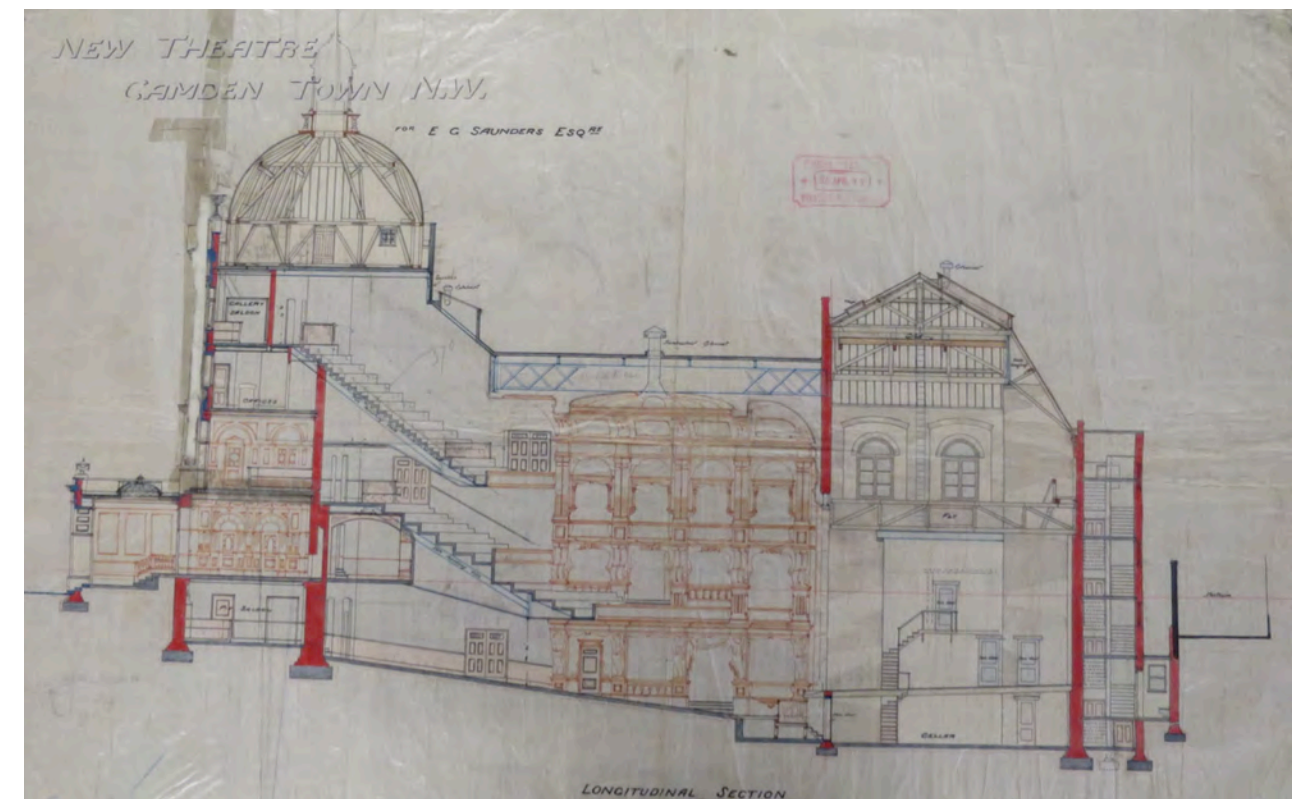


Image 7: Historical section AA through the dome, rooftop and flytower.



3.0 Proposal 'Repair & Restoration'

2.01 Pre Application meeting:  
A pre-application meeting was held to discuss the drawings that will be issued for the LB Camden application. The drawing shown below were shown to the planning officer. The drawings showed the process from the initial photos of the existing condition, then the strip out plan to the internal elevations of the strip out and proposal of the plans and elevations. This process and set of drawings conveyed how the interior of this building will be reinstated to its original state and be improved by adding missing details that have been lost throughout its historic past as well as through the most recent fire and water ingress damage.

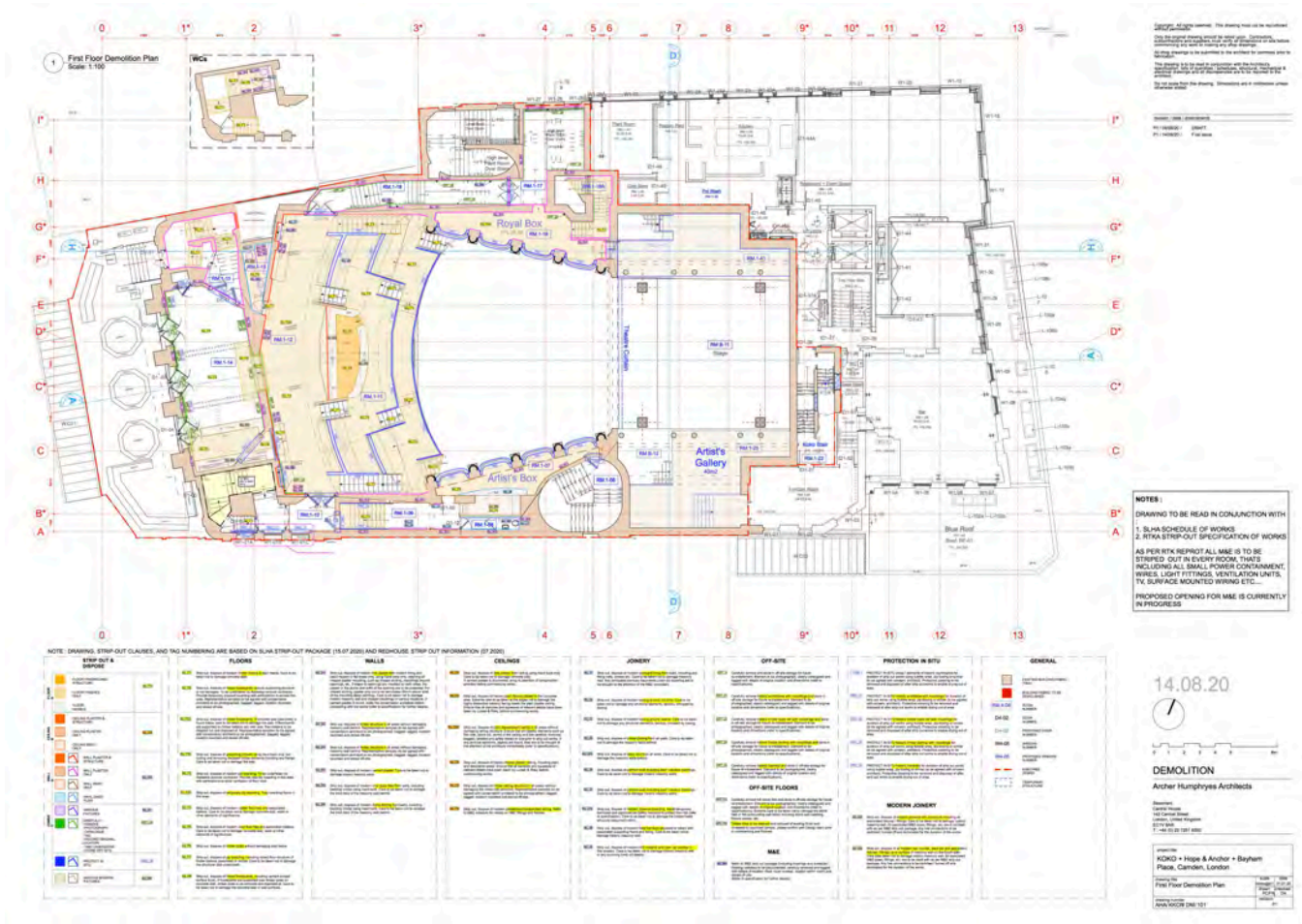
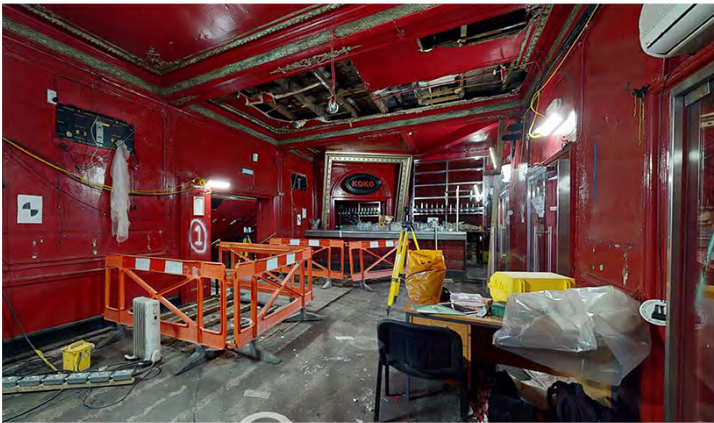


Image 08: DEMOLITION / STRIP OUT first floor plan room 1-14  
Key showing the strip out of elements that will be Stripped, disposed or protected and shown to explain The process taken on each floor and area / roo.



EXISTING PHOTOS  
ROOM RM 1 14

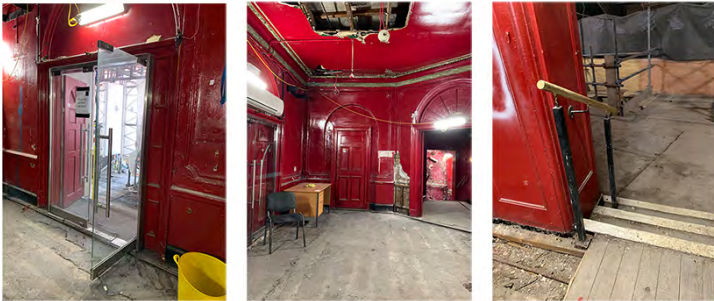


Image 09: EXISTING site photos of room 1-14

- 2.02 Strip out:
- The strip out is an essential part of the drying out process for the interior part of koko. The consultant Stephen Levrant Heritage Architects coordinated the phase 2 of the strip out package and presented this to the planner on the 20<sup>th</sup> of May 2020. The strip out was divided into three parts:
- Asbestos strip out works prepared by DeRisk uk.
  - M&E Strip out works prepared by Ralph T King and Associates.
  - Fabric strip out works prepared by Stephen Levrant with the consultation plaster expert Locker & Riley, Hutton & Rostron drying out specialist and Catherine Hassall paint specialist.

Stephen Levrant Heritage Architects prepared a room by room drawings and schedule of works to remove, retain and protect in situ plaster, timber, masonry and paint. Archer Humphryes Architects compiled the strip out information from all consultant including that of SLHA and produced a set of drawings that showed demolition as well as strip out, these were an informative set that also includes all Builders works for M&E and clearly shown in plan. We have also produced a set of internal elevations that give clarity on other details such as skirtings, dado rails, handrails. These set of drawings show the extend and intention of the works but also how this will be reinstated in a better and conscientious and respectful manner to its historic past. The strip out is an ongoing process and the removal of these elements will allow the building to dry out for the next stages of the process.



Image 10: EXISTING Elevation on the first-floor room 1-14



Image 18: PROPOSED Elevation on the first-floor room 1-14



Image 11: DEMOLITION / STRIP OUT elevation on the first-floor room 1-14

Due to the Fire and water ingress required to put out the fire the building's interior was completely flooded. Therefore prior to restoration and reinstatement there needs to be a drying out period and scope. The drying out scope is one of the most important processes to understand the buildings moisture level prior to begin the reinstatement works. With Hutton & Rostron as the drying out specialist we will ensure that the interior is at the required moisture levels prior to works commencing so when it is viable to do so. Through the investigation by Hutton & Rostron we will know when moisture level are at a point where work for reinstatement could begin. Currently the strip out to all affected areas are on going and the asbestos is been removed.

In the meantime the design has been ongoing, and together with REDHOUSE interiors the iconic red interior and bars/toilets are all been redesign to update and reinstate the music venue to its iconic look, but with an increase specification.

To prevent future serious damage to any of the newly fitted out rooms it is extremely important to dry the building slowly. The building has been drying out slowly throughout the summer month of 2020. All areas such as windows and doors and corridors have been left opened for fresh air ventilation to travel through the building. But during the colder months of the year extractor fans, background heating and dehumidifiers may be required. The next step of the project is reinstating all interior walls, floors and ceiling that were stripped out to match that iconic red / gold interior.

The result is a scheme that respects, enhances and secures the long-term future use of the historical building as a world leading music venue and leading cultural attraction.



#### 4.0. Design Proposal

The following is to be read in conjunction with General Arrangement drawings, demolition drawings and proposed set drawing with the heritage statement by SLHA.

##### 4.01 Lower basement AHA/KKCR/DM/098

- The lower basement is located underneath the stage. The lower basement is a low ceiling storage area and a space for services M&E (refer to images below). These spaces will contain beer barrels storage that will be chilled and dispensed from this location to basement and first floor bars and M&E services.
- The python beer pipes will travel from lower basement up into the floor void of the basement level using existing opening. These Pipes will then travel within a wall adjacent to the bar at ground. These pipes will enter a service room and travel to first floor and arrive at the back to back bar in the balcony area. These pipes will then travel within the void under the tiered ceiling, within existing openings and ceiling void to end up at the terrace bar.

Image 12: Existing Sub-Basement



13: Existing Sub-Basement



##### 4.02 Basement plan AHA/KKCR/PR/099 RR

- All floors, ceiling and walls that have been removed will be reinstated. The ornamental figures on columns will be protected to be repainted and restored in area of extensive damage. The back bar will be reinstated with a newly designed bar. A space adjacent to the bar area will be blocked off and allocated for washing facilities.
- A new Pizza area will be allocated adjacent to the main bar.
- Toilets will be updated and renovated.
- A large supporting kitchen will be allocated in RM B20 adjacent to the main staircase.
- In the main space in front of the stage, there will be an enclosed area allocated for sound and lighting control.



Image 14: Existing Basement photo of back bar area

##### 4.03 Ground floor AHA/KKCR/PR/100 RR – refer to image 21 on the previous page.

- The front entrance, staff entrance and means of egress to KOKO are to be retained as existing. The entrance lobby Room G-13 and G-17, it's the recommended by Locker and Riley that the timber supporting structure in this area should reinforced with a secondary structure. In this location the ceiling will be retained and not removed it will be saved and restored. It has been advised by Locker and Riley that a "Metal channel is securely fixed to the clinker concrete soffit where applicable to provide the means of introducing metal hangers down to the remaining section of fibrous plaster" this will improve the current structure and give it stability and strength. New Fibrous ceiling details will be cast to restore opening and damaged section.
- The glass domes at the entrance will be protected during construction and drying out period.
- All M&E that is currently surface mounted will be removed. New M&E will be introduced with sensitivity to these rooms interior and history.
- In room G-13 the main timber reception and smaller desks will be removed. The fireplace will be reinstated to its original state with a modern fire place.
- In room G-11 new upgraded cloak room enclosures will be reinstated as per the original layout pre-fire with new materials and finishes.
- The tunnel will be completely redecorated with mirrors on both sides of the wall, updated lighting and flooring.
- The old lighting and sound box at the front of the main balcony will have the front reconstructed and fixed seating installed.



#### 4.04 First floor AHA/KKCR/PR/101 RR

- All walls, ceiling will be removed and reinstated. Care will be taken to add any missing details to the ornamental features, dado rail and skirtings.
- The bar in Room 1-14 will be reinstated and upgraded with new materials and equipment.
- Room 1-14 leads out into the terrace outdoor space. The outdoor terrace proposal will have new floors installed, false trees and timber fixed seating.
- The outdoor terrace will contain a VIP area at grid line F - 0.
- Room 1-12 will have a newly proposed merchandise counter.
- Within the lightwell space at Gridline G – 2 there will be two toilets introduced with a new slab. There will be a male and female toilets which will facilitate these area at this floor level.
- All others toilets on this level will be stripped and finishes reinstated.
- Balcony bar in Room 1-11 will be removed and a new bar installed.
- In the Artist box, the toilets and bar area will be re-designed to create a small bar area with a super loo and fixed seating.
- Modern casement windows will be replaced in line with the architect's original drawings. These windows are W1-01A, W1-01B and W1-01C.

#### 4.05 Second floor AHA/KKCR/PR/102 RR

- The existing bar at this level will be removed. Fixed seating will be installed. A smaller pop up bar will be installed and, in the rear, staff areas Gridline A - 1 to 2 there will be storage for spirits, and a glass washing area. From this back area there will be a new door opening and stairs allocated to reach the areas below.
- Room 2-21 will be a new lettable area with its own dedicated toilet.

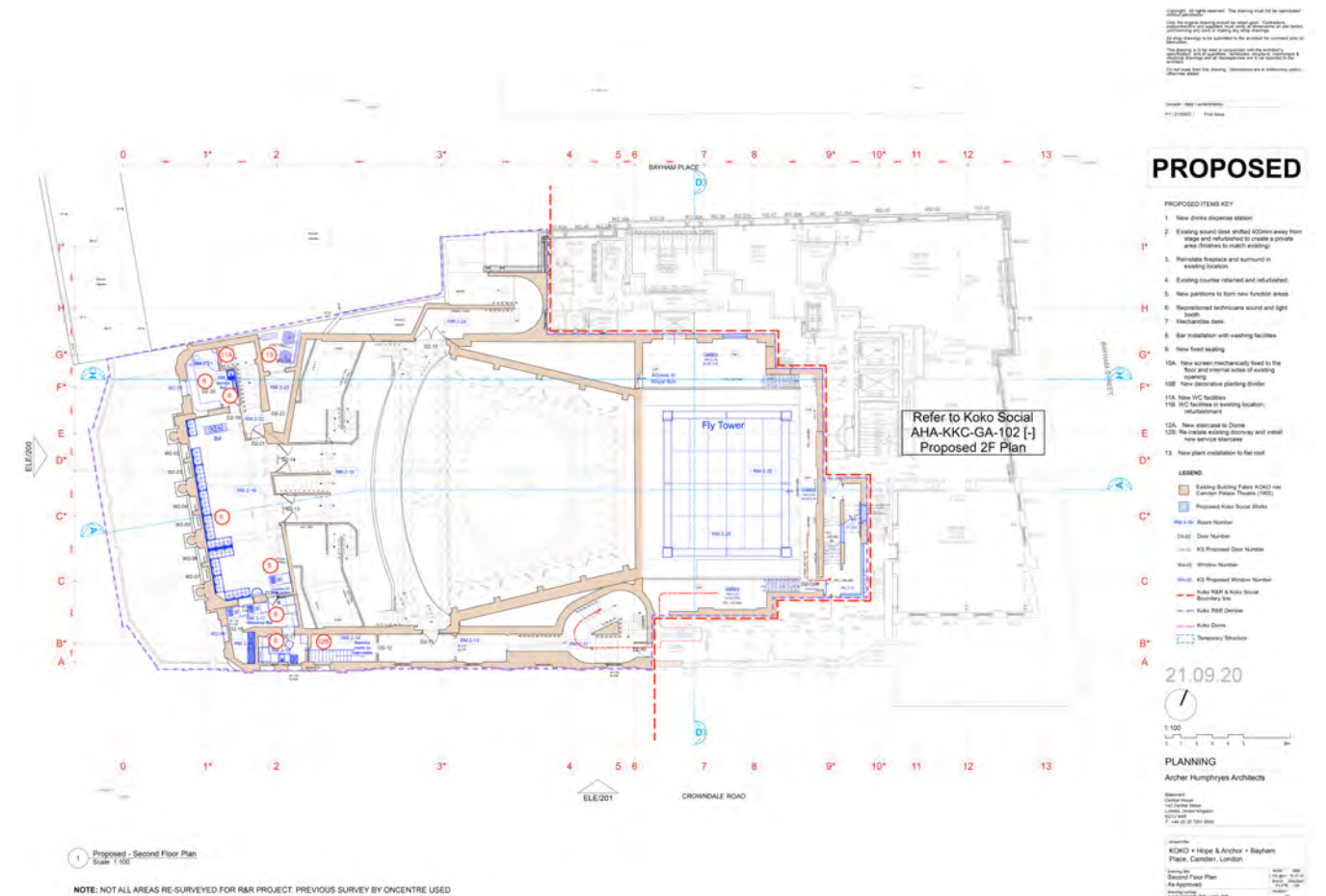
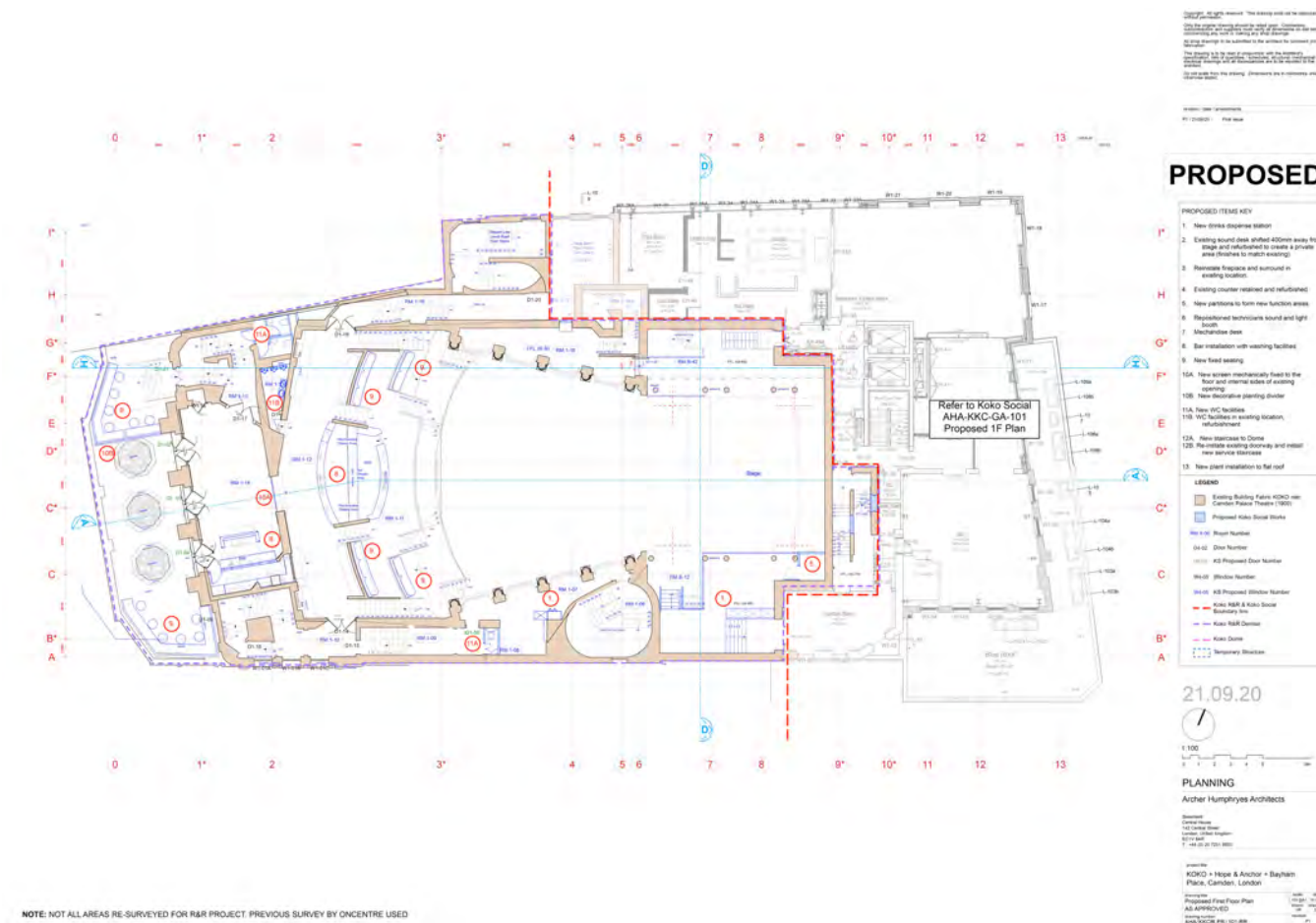


Image 15: Proposed First floor plan

Image 16: Proposed Second floor plan

#### 4.06 Third floor AHA/KKCR/PR/103 RR

- The existing toilets at this level will get refurbished / upgraded a new slab will have to be installed. The members VIP bar in the Dome will be accessible via a new proposed stair within room 3-13. New toilets will be introduced under the stairs for member only area and bar at Dome level.

#### 4.07 Fourth floor Dome / Roof - AHA/KKCR/PR/104 RR

- The Dome bar is part of a separate application but included here for information.
- The Dome bar is an added space that was introduced as an upgrade to the reinstated Dome. The Dome and copula will be built after the fire damages like for like. The Dome will be accessible via a new stair from third floor level which can be accessed via the Auditorium. This stair will be enclosed within an existing room and it will be accessible to member only.

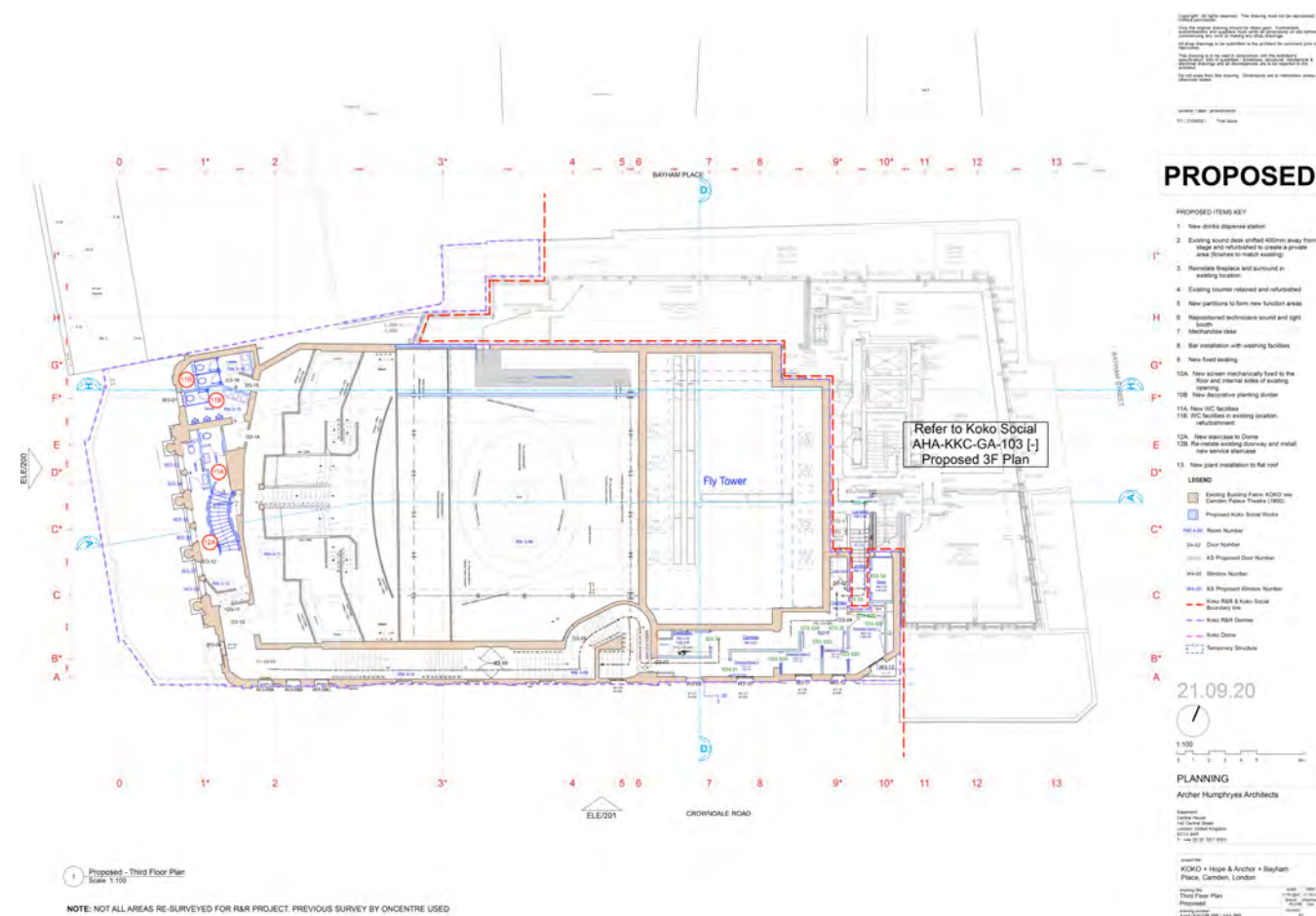


Image 17: Proposed Third Floor



#### 4.07 Proposed Elevations.

- The front entrance, staff entrance and means of egress to KOKO are to be retained as existing. The ground floor perimeter walls to the Hope & Anchor and 1 Bayham St are to be retained. The green glazed brick façade to the Hope & Anchor is to be protected, made good, repointed and cleaned. New fixed glazed canopies are fitted to the Camden High St and Crowndale Rd elevations of Koko to protect people when arriving and leaving the venue.
- The white and black paint on the Camden High Street and Crowndale Road will be removed, so that the façade can breath and dry out. The paint removal is par of the Dome application but relevant to this application as information for reinstatement. The building will then be painted of white making good a black plinth along the lower portion of the façade, please refer to the images 18 which show the existing black plinth and the proposed reinstated off white base and building in image 19.



Image 18: Existing view corner of Camden High street & Crowndale Road



Image 19: Indicative Proposed view corner of Camden High street & Crowndale Road



## 5.0 Crime Prevention

- 5.01 All communal entrance doors and opening windows on ground access levels will be to a security enhanced standard and monitored at all hours. The doors leading to cycle parking, including the lift will have fob control and self-closing latches. As approved by the main consents.
- 5.04 Consideration will be given to lighting. The client envisages a submittal of a future planning and listed building application covering proposed signage and lighting. This will provide high-level signage for the theatre and pub in line with the buildings uses and characteristics and a comprehensive study of lighting and way finding requirements for pedestrians interacting with the building and its various public and private entrances and doors. Careful attention has been given to the design and management of doorways within the scheme deterring vagrants or problems of urination.
- 5.05 The development will be subject to a site wide management plan previously approved.
- 5.06 KOKO currently works with Camden Police Licencing on the 'Quiet Streets' initiative, this will continue and encompass the new food buildings.
- 5.07 The venue will be a member of Camden Business Against Crime as is KOKO currently, all security personnel will have CBAC radios and can communicate with Camden Council CCTV, Police and other venues that are members of the CBAC to prevent crime and disorder in Camden.

## 6.0 Sustainability and Energy

The proposal can be split into two parts, the refurbishment of the Grade II Listed Koko building and the redevelopment of The Hope & Anchor, 1 Bayham Street and 65 Bayham Place. It is proposed to renew the outdated services within Koko and improve the thermal performance of the building wherever possible unless doing so "*would unacceptably alter the character or appearance of the building*" in accordance with Section 3.1 of Part L2B of the Building Regulations. The redevelopment of The Hope & Anchor, 1 Bayham Street and 65 Bayham Place and the extensions to Koko will all be constructed in accordance with Part L2B of the Building Regulations.

## 7.0 Materials

KOKO façade:

- Existing render painted façade to be repainted.
- Redecoration throughout.
- Existing doors to be stripped to varnished natural timber finish, new doors and windows to match original.

KOKO R&R Interior;

- Complete reinstatement of interior walls and ceiling.
- Fibrous plaster to be reinstated.
- Bars, toilets, to be reinstated and modernised.
- M&E to be completely reinstated to meet regulations.
- New floors finishes through out.

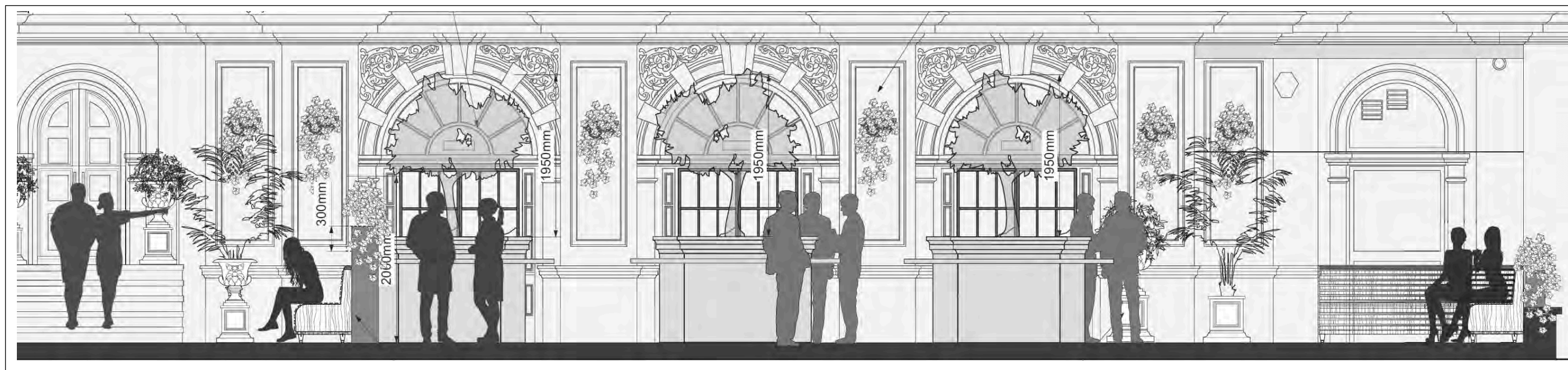


Image 20: Terrace outdoor space Redhouse

## 8. Conclusion

The Koko project will perform within the immediate neighbourhood as well as within London's arts and entertainment life in a number of important respects. The Koko club and venue will be supported and thrive retaining it's reputation as one of the capital's few preferred independent live music venues for an audience of 1500 people.

Due to the location and importance this venue is to Camden and London, it shows how important it is to reinstate and modernise the interior together with the rest of the building. The reinstatement and renovation of the interior will be enhanced not only by reinstated all the broken and chipped wall and ceiling plaster details but removing all surface mounted M&E and giving the auditorium and areas around a new lease of life with upgraded lighting, flooring, seating, and VIP areas that will be designed to fit the atmosphere and history of this unique venue.

Updating the auditorium will make this part of the project an important contribution to the improvement of the conservation areas and will enhance this venue historically and modernise it for many more generations to enjoy.



10. Fire Strategy



Fire Strategy Overview

The fire strategy for the premises can be summarised as follows:

- Means of escape from the venue is based on a simultaneous evacuation upon activation of the fire detection and alarm system
- The fire detection and alarm system within the building is:
  - A fire detection and alarm system in accordance with BS 5839 Part 1 2002 Category L2 protection (TBC)
- Travel distances and escape widths are as existing and in line with both ADB and the Technical Standards for Places of Entertainment as detailed in the Occupancy Capacity in section 16.0 of this assessment. (This assessment will be fully completed when all parts of the site are accessible but it is understood the existing capacities as per the premises licence will remain unchanged. If an alternative approach to the capacity assessment is required such as BS 9999 this will be fully detailed in any subsequent update of this report.
- All protected exit routes provided with 30 minutes fire separation to other parts of the premises and are provided with fire escape signage and emergency lighting
- Emergency lighting and signage provided to all other parts of premises
- All building fire service access is as existing and previously approved by building control
- Structural fire resistance to all elements of structure based on current approved arrangements (assumed a minimum of 60 minutes)

5.1 Life Safety

Whilst attention is drawn to the items noted in the prioritised action plan the occupancy and use of the building appears appropriate.

Escape routes will be maintained available for immediate use, with fire compartmentation and separating doors functioning correctly. Waste materials and storage will be located in designated storerooms within the building.

The provision of automatic fire detection and a simultaneous evacuation procedure in the premises will enhance the overall fire safety strategy thereby reducing the overall risk to occupants. Fire fighting equipment will be present as detailed in this report and this will be assessed at the final inspection also.

It was advised that staff will receive suitable fire safety awareness training in accordance with their roles at reoccupation and generally staff receive induction training and then quarterly refresher training as detailed in this report.

It is for these reasons that a grading of **Tolerable** has been concluded for this building at this stage and this will be reassessed at the final inspection and this report fully updated.

5.2 Building Preservation

There are some ignition hazards within the premises but given the level of management and housekeeping proposed the risk of a fire occurrence is not deemed high.

The automatic fire detection system will provide an early indication of fires starting. The fire doors and compartmentation should also prevent the spread of fire beyond the compartment of origin until the start of any necessary fire fighting operations.

Given the level of fire loading that will be present, particularly in back of house areas, any fire that is allowed to get established will cause damage to some parts of the building and impair sales and service activity.



It is for these reasons that a grading of **Moderate** has been concluded for this building at this stage and this will be reassessed at the final inspection and this report fully updated.