

Refer to Koko Social
AHA-KKC-GA-104
Proposed 4F Plan








NOTES :

DRAWING TO BE READ IN CONJUNCTION WITH

1. SLHA SCHEDULE OF WORKS
2. RTKA STRIP-OUT SPECIFICATION OF WORKS

AS PER RTKA REPORT, ALL M&E IS TO BE STRIPED OUT IN EVERY ROOM, INCLUDING ALL SMALL POWER CONTAINMENT, WIRES, LIGHT FITTINGS, VENTILATION UNITS, TV, SURFACE MOUNTED WIRING, ETC.

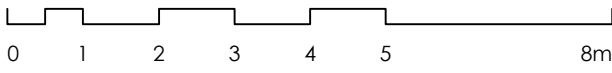
NOTE : DRAWING, STRIP-OUT CLAUSES, AND TAG NUMBERING ARE BASED ON SLHA STRIP-OUT PACKAGE (15.07.2020) AND REDHOUSE STRIP OUT INFORMATION (07.2020)

STRIP OUT & DISPOSE		FLOORS		WALLS		CEILINGS		JOINERY		OFF-SITE		PROTECTION IN SITU		GENERAL	
FLOORS	FLOOR FINISHES AND STRUCTURE	62-F1	Strip out, dispose of modern timber rising to stair heads. Care to be taken not to damage concrete slab.	62-W1	Strip out, dispose of historic lime plaster with modern lining and patch repair in flat areas only, using hand tools only, retaining all chased plaster moulding, such as chased skirting, mouldings around openings, etc. If edges to openings are moulded on both sides, the plaster in the joints and soffit of the opening are to be protected. For chased skirting plaster strip to be terminated 50mm above level of the moulding detail (skirting). Care to be taken not to damage historic masonry wall, and chased mouldings in various locations. If cement plaster is found, notify the conservation architect before proceeding with the works (refer to specifications for further details).	62-C1	Strip out, dispose of historic lime plaster from ceiling using hand tools only. Care to be taken not to damage concrete slab. If cement plaster is discovered, bring to attention of conservation architect before commencing works.	62-J1	Strip out, dispose of modern polyboard lining from walls, including any fixing nails, screw etc. Care to be taken not to damage masonry wall. Any concealed services discovered under ply openings are to be brought to the attention of the M&E consultant.	62-F2	Carefully remove and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-1	PROTECT IN SITU areas / elements of historic significance for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.		EXISTING BUILDING FABRIC (1900)
	FLOOR FINISHES ONLY	62-F1	Strip out, dispose of timber floorboards , ensure supporting structure is not damaged, to be undertaken by Asbestos removal contractor. Provide temporary plywood boarding with perforations to access the void. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-W2	Strip out, dispose of timber floorboards , if concrete slab (assumed) is found below, care to be taken not to damage the slab. If floorboards are supported on timber battens laid over slab, then battens to be stripped out and disposed of. Representative samples (to be agreed with conserv. architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-C2	Strip out, dispose of historic plain plaster in the complete area. Extreme care to be taken of the edges not to be damaged the highly decorative bargeboards facing meet the plain plaster ceiling. Ensure that all samples and squerees of relevant details have been taken by Lockyer & Riley, before commencing works.	62-J2	Strip out, dispose of modern board around columns , services, encased by boarding.	62-F3	Carefully remove historic architrave with mouldings and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-2	PROTECT IN SITU historic architrave with mouldings for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.		BUILDING FABRIC TO BE DEMOLISHED
	FLOOR - MARBLE	62-F1	Strip out, dispose of timber floorboards , ensure supporting structure is not damaged, to be undertaken by Asbestos removal contractor. Provide temporary plywood boarding with perforations to access the void. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-W2	Strip out, dispose of timber floorboards , if concrete slab (assumed) is found below, care to be taken not to damage the slab. If floorboards are supported on timber battens laid over slab, then battens to be stripped out and disposed of. Representative samples (to be agreed with conserv. architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-C2	Strip out, dispose of historic plain plasterboard ceiling in all areas without damaging ceiling structure. Ensure that all objects, elements such as firm rolls, door etc., stored in the ceiling void are carefully removed, bagged, labelled and safely stored on site prior to strip out works. If any archival elements, objects are found, these are to be brought to the attention of the architect immediately (refer to specifications).	62-J3	Strip out, dispose of modern board around beams . Care to be taken not to damage any structural elements, services, encased by boarding.	62-F4	Carefully remove historic timber dado rail with mouldings and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-3	PROTECT IN SITU historic timber dado rail with mouldings for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.	RM, 4-06	ROOM NUMBER
CEILINGS	CEILING PLASTER & STRUCTURE	62-F2	Strip out, dispose of timber floorboards , ensure supporting structure is not damaged, to be undertaken by Asbestos removal contractor. Provide temporary plywood boarding with perforations to access the void. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-W3	Strip out, dispose of timber skirting in all areas without damaging masonry wall behind. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-C3	Strip out, dispose of historic timber skirting from walls, including any fixing nails, screw etc. Care to be taken not to damage masonry wall. Any concealed services discovered under ply openings are to be brought to the attention of the architect immediately (refer to specifications).	62-J4	Strip out, dispose of modern board around beams . Care to be taken not to damage any structural elements, services, encased by boarding.	62-F5	Carefully remove historic timber skirting with mouldings and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-4	PROTECT IN SITU historic timber skirting with mouldings for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.	D4-02	DOOR NUMBER
	CEILING PLASTER ONLY	62-F2	Strip out, dispose of timber floorboards , ensure supporting structure is not damaged, to be undertaken by Asbestos removal contractor. Provide temporary plywood boarding with perforations to access the void. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-W3	Strip out, dispose of timber skirting in all areas without damaging masonry wall behind. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-C3	Strip out, dispose of historic timber skirting from walls, including any fixing nails, screw etc. Care to be taken not to damage masonry wall. Any concealed services discovered under ply openings are to be brought to the attention of the architect immediately (refer to specifications).	62-J4	Strip out, dispose of modern board around beams . Care to be taken not to damage any structural elements, services, encased by boarding.	62-F5	Carefully remove historic timber skirting with mouldings and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-4	PROTECT IN SITU historic timber skirting with mouldings for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.	D4-02	PROPOSED DOOR NUMBER
	CEILING PAINT ONLY	62-F2	Strip out, dispose of timber floorboards , ensure supporting structure is not damaged, to be undertaken by Asbestos removal contractor. Provide temporary plywood boarding with perforations to access the void. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-W3	Strip out, dispose of timber skirting in all areas without damaging masonry wall behind. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-C3	Strip out, dispose of historic timber skirting from walls, including any fixing nails, screw etc. Care to be taken not to damage masonry wall. Any concealed services discovered under ply openings are to be brought to the attention of the architect immediately (refer to specifications).	62-J4	Strip out, dispose of modern board around beams . Care to be taken not to damage any structural elements, services, encased by boarding.	62-F5	Carefully remove historic timber skirting with mouldings and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-4	PROTECT IN SITU historic timber skirting with mouldings for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.	W4-05	WINDOW NUMBER
WALLS	WALL PLASTER & STRUCTURE	62-F3	Strip out, dispose of timber floorboards , ensure supporting structure is not damaged, to be undertaken by Asbestos removal contractor. Provide temporary plywood boarding with perforations to access the void. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-W4	Strip out, dispose of timber skirting in all areas without damaging masonry wall behind. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-C4	Strip out, dispose of historic timber skirting from walls, including any fixing nails, screw etc. Care to be taken not to damage masonry wall. Any concealed services discovered under ply openings are to be brought to the attention of the architect immediately (refer to specifications).	62-J5	Strip out, dispose of board nail from all walls. Care to be taken not to damage the masonry wall behind.	62-F6	Carefully remove historic handrail and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-5	PROTECT IN SITU historic handrail for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.	W4-05	PROPOSED WINDOW NUMBER
	WALL PLASTER ONLY	62-F3	Strip out, dispose of timber floorboards , ensure supporting structure is not damaged, to be undertaken by Asbestos removal contractor. Provide temporary plywood boarding with perforations to access the void. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-W4	Strip out, dispose of timber skirting in all areas without damaging masonry wall behind. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-C4	Strip out, dispose of historic timber skirting from walls, including any fixing nails, screw etc. Care to be taken not to damage masonry wall. Any concealed services discovered under ply openings are to be brought to the attention of the architect immediately (refer to specifications).	62-J5	Strip out, dispose of board nail from all walls. Care to be taken not to damage the masonry wall behind.	62-F6	Carefully remove historic handrail and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-5	PROTECT IN SITU historic handrail for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.		KOKO R&R DENISE
	WALL PAINT ONLY	62-F3	Strip out, dispose of timber floorboards , ensure supporting structure is not damaged, to be undertaken by Asbestos removal contractor. Provide temporary plywood boarding with perforations to access the void. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-W4	Strip out, dispose of timber skirting in all areas without damaging masonry wall behind. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-C4	Strip out, dispose of historic timber skirting from walls, including any fixing nails, screw etc. Care to be taken not to damage masonry wall. Any concealed services discovered under ply openings are to be brought to the attention of the architect immediately (refer to specifications).	62-J5	Strip out, dispose of board nail from all walls. Care to be taken not to damage the masonry wall behind.	62-F6	Carefully remove historic handrail and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-5	PROTECT IN SITU historic handrail for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.		KOKO R&R AND KOKO SOCIAL
JOINERY	VINYL DADO TILES	62-F3A	Strip out, dispose of timber floorboards , ensure supporting structure is not damaged, to be undertaken by Asbestos removal contractor. Provide temporary plywood boarding with perforations to access the void. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-W4A	Strip out, dispose of timber skirting in all areas without damaging masonry wall behind. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-C4A	Strip out, dispose of historic timber skirting from walls, including any fixing nails, screw etc. Care to be taken not to damage masonry wall. Any concealed services discovered under ply openings are to be brought to the attention of the architect immediately (refer to specifications).	62-J5A	Strip out, dispose of board nail from all walls. Care to be taken not to damage the masonry wall behind.	62-F7	Carefully remove historic handrail and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-6	PROTECT IN SITU historic handrail for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.		KOKO R&R AND KOKO SOCIAL
	VARIOUS FIXTURES	62-F3B	Strip out, dispose of timber floorboards , ensure supporting structure is not damaged, to be undertaken by Asbestos removal contractor. Provide temporary plywood boarding with perforations to access the void. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-W4B	Strip out, dispose of timber skirting in all areas without damaging masonry wall behind. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-C4B	Strip out, dispose of historic timber skirting from walls, including any fixing nails, screw etc. Care to be taken not to damage masonry wall. Any concealed services discovered under ply openings are to be brought to the attention of the architect immediately (refer to specifications).	62-J5B	Strip out, dispose of board nail from all walls. Care to be taken not to damage the masonry wall behind.	62-F8	Carefully remove historic handrail and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-7	PROTECT IN SITU historic handrail for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.		KOKO R&R AND KOKO SOCIAL
	CAREFULLY: - REMOVE - PHOTOGRAPH - CATALOGUE - TAG - RECORD ORIGINAL LOCATION - TAKE DIMENSIONS - STORE OFF-SITE	62-F3C	Strip out, dispose of timber floorboards , ensure supporting structure is not damaged, to be undertaken by Asbestos removal contractor. Provide temporary plywood boarding with perforations to access the void. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-W4C	Strip out, dispose of timber skirting in all areas without damaging masonry wall behind. Representative samples (to be agreed with conservation architect) to be photographed, bagged, tagged, location recorded and stored off-site.	62-C4C	Strip out, dispose of historic timber skirting from walls, including any fixing nails, screw etc. Care to be taken not to damage masonry wall. Any concealed services discovered under ply openings are to be brought to the attention of the architect immediately (refer to specifications).	62-J5C	Strip out, dispose of board nail from all walls. Care to be taken not to damage the masonry wall behind.	62-F9	Carefully remove historic handrail and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications).	PRO-8	PROTECT IN SITU historic handrail for duration of strip out works using bubble wrap, ply-banking or similar (to be agreed with conserv. architect). Protective covering to be removed and disposed of after strip out works to enable drying out of area.		KOKO R&R AND KOKO SOCIAL
OFF-SITE FLOORS															
62-F10 Carefully remove all stone tiles and store in off-site storage for future re-installment. Element to be photographed, clearly catalogued and tagged with details of original location and dimensions (refer to specifications). Extreme care to be taken not to damage the stone tiles or the surrounding wall fabric including stone wall cladding, floors, plaster, etc.															
62-F12 Timber floor to be retained and stripped of existing floor and re-sealed to approved sample, please confirm with Design team prior to commencing any finishes.															
62-F13 Timber floor carefully removed and stored off site (strip out phase 1)															
M&E															
62-M6 Refer to M&E strip out package (including drawings and schedule). Existing radiator to be disconnected, carefully removed and tagged with details of location (floor, room number, location within room) and stored off-site. (Refer to specification for further details).															
MODERN JOINERY															
62-M6 Strip out, dispose of all modern bay window counter, back bay and associated balustrade / fitting up to surface of masonry wall on the South side. Care to be taken not to damage historic masonry wall. All associated M&E pipes, fittings, etc. are to be dealt with as per M&E strip out package. Any live connections to be switched / turned off and terminated for the duration of the works.															
62-M6 Strip out, dispose of all modern bay window counter, back bay and associated balustrade / fitting up to surface of masonry wall on the South side. Care to be taken not to damage historic masonry wall. All associated M&E pipes, fittings, etc. are to be dealt with as per M&E strip out package. Any live connections to be switched / turned off and terminated for the duration of the works.															

25.09.20



1:100



PLANNING

Archer Humphryes Architects

Basement
Central House
142 Central Street
London, United Kingdom
EC1V 8AR
T : +44 (0) 20 7251 8555

project title
KOKO + Hope & Anchor + Bayham
Place, Camden, London

drawing title Fourth Floor Demolition RCP	scale 1:100 @ A1	date 18.08.2018
drawing number AHA/KKCR/DM/154	drawn PD	checked DA
	revision	P1

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Only the original drawing should be relied upon. Contractors, subcontractors and suppliers must verify all dimensions on site before commencing any work or making any shop drawings.

All shop drawings to be submitted to the architect for comment prior to fabrication.

This drawing is to be read in conjunction with the Architect's specification, bills of quantities / schedules, structural, mechanical & electrical drawings and all discrepancies are to be reported to the architect.

Do not scale from this drawing. Dimensions are in millimetres unless otherwise stated.

revision / date / amendments

P1 / 25/09/20 / FIRST ISSUE

DEMOLITION



25.09.20

1:100

0 1 2 3 4 5 8m

PLANNING

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project title			
KOKO + Hope & Anchor + Bayham Place Camden, London			
drawing title	scale	date	
Demolition Koko Front Elevation	1:100 (A1)	19.08.20	
drawing number	drawn	checked	
AHA/KKCR /DM/200	PD	DA	
	revision		
	P1		

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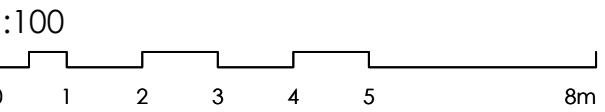
revision / date / amendments
P1 / 25/09/20 / FIRST ISSUE

DEMOLITION

- PAINT REMOVAL
(UPPER FLOORS)
- PAINT REMOVAL
(GROUND FLOOR)



25.09.20



PLANNING

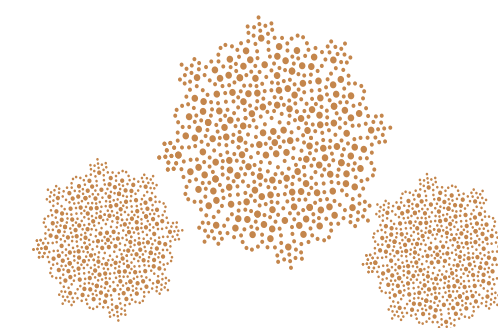
Archer Humphryes Architects

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project title KOKO + Hope & Anchor + Bayham Place Camden, London			
drawing title Demolition Crowndale Rd Elevation	scale 1:100 & A1	date 19.08.20	
drawing number AHA/KKCR /DM/201	drawn PD	checked DA	revision P1

Archer Humphries Architects

Proposed GA's Drawings



PROPOSED

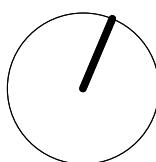
PROPOSED ITEMS KEY

1. New drinks dispense station.
2. Existing sound desk shifted 400mm away from stage and refurbished to create a private area (finishes to match existing).
3. Reinstate fireplace and surround in existing location.
4. Existing counter retained and refurbished.
5. New partitions to form new function areas.
6. Repositioned technicians sound and light booth.
7. Merchandise desk
8. Bar installation with washing facilities.
9. New fixed seating.
- 10A. New screen mechanically fixed to floor and internal sides of existing opening.
- 10B. New decorative planting divider.
- 11A. New WC facilities.
- 11B. WC facilities in existing location, refurbishment.
- 12A. New staircase to Dome.
- 12B. Re-instate existing doorway and install new service staircase.
13. New plant installation to flat roof.

LEGEND

- Existing Building Fabric KOKO née Camden Palace Theatre (1900)
- Proposed Koko
- RM.4-06 Room Number
- D4-02 Door Number
- D4-02 KS Proposed Door Number
- W4-05 Window Number
- W4-05 KS Proposed Window Number
- Koko R&R & Koko Social Boundary line
- Koko R&R Demise
- Koko R&R Proposed
- Temporary Structure
- Riser
- Riser

25.09.20



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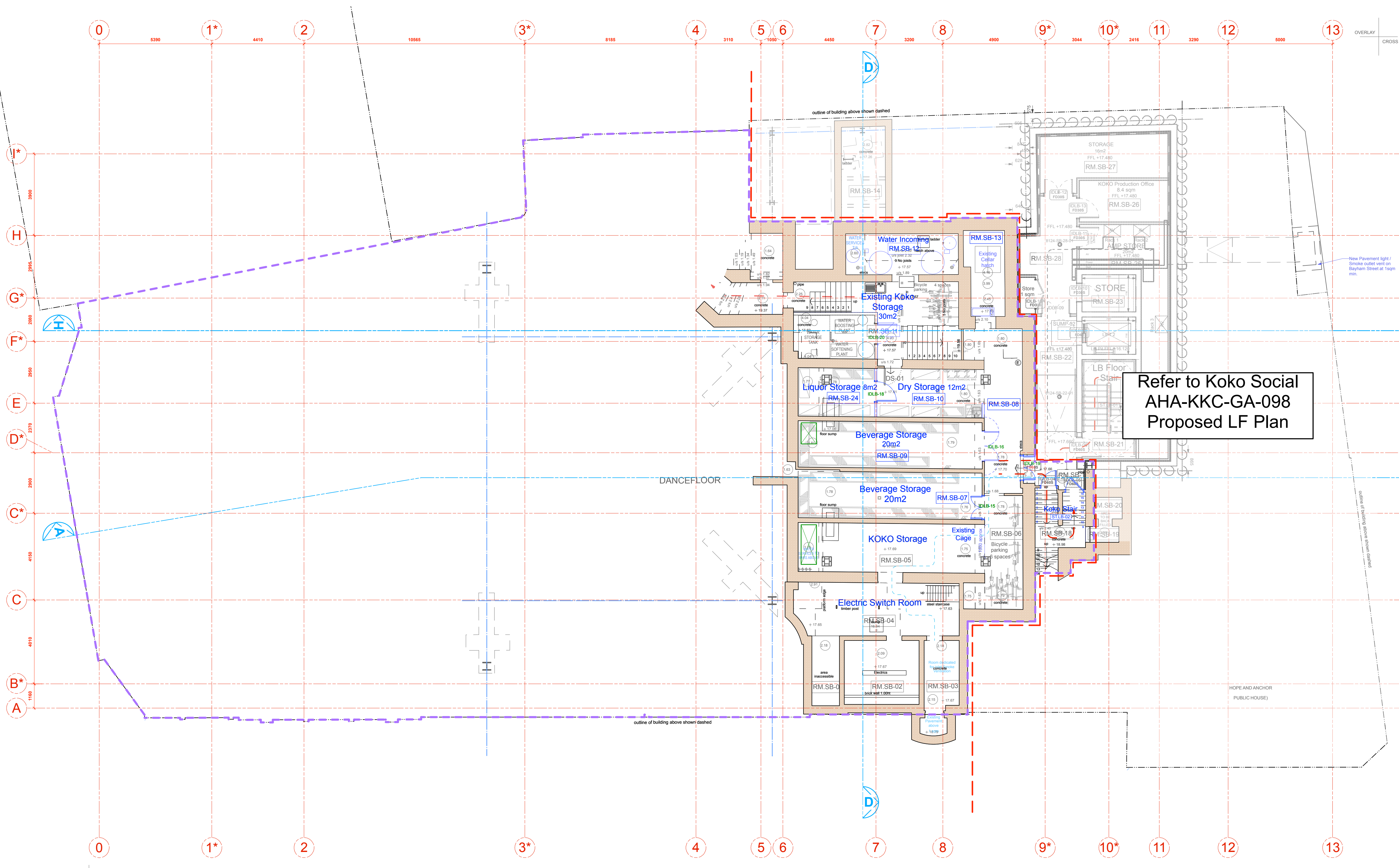
PLANNING

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project title
KOKO + Hope & Anchor + Bayham
Place, Camden, London

drawing title	scale	date
Sub-Basement Plan	1:100 @A1	25.09.20
Planning	drawn	checked
drawing number	revision	
AHA/KKCR PR/098-RR	P1	



PROPOSED

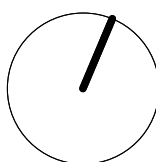
PROPOSED ITEMS KEY

1. New drinks dispense station.
2. Existing sound desk shifted 400mm away from stage and refurbished to create a private area (finishes to match existing).
3. Reinstate fireplace and surround in existing location.
4. Existing counter retained and refurbished.
5. New partitions to form new function areas.
6. Repositioned technicians sound and light booth.
7. Merchandise desk
8. Bar installation with washing facilities.
9. New fixed seating.
- 10A. New screen mechanically fixed to floor and internal sides of existing opening.
- 10B. New decorative planting divider.
- 11A. New WC facilities.
- 11B. WC facilities in existing location, refurbishment.
- 12A. New staircase to Dome.
- 12B. Re-instate existing doorway and install new service staircase.
13. New plant installation to flat roof.

LEGEND

- Existing Building Fabric KOKO née Camden Palace Theatre (1900)
- Proposed Koko Social Works
- RM.4-06 Room Number
- D4-02 Door Number
- D4-02 KS Proposed Door Number
- W4-05 Window Number
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- Koko R&R & Koko Social Boundary line
- Koko R&R Demise
- Koko Dome
- Temporary Structure
- Riser

25.09.20



1:100

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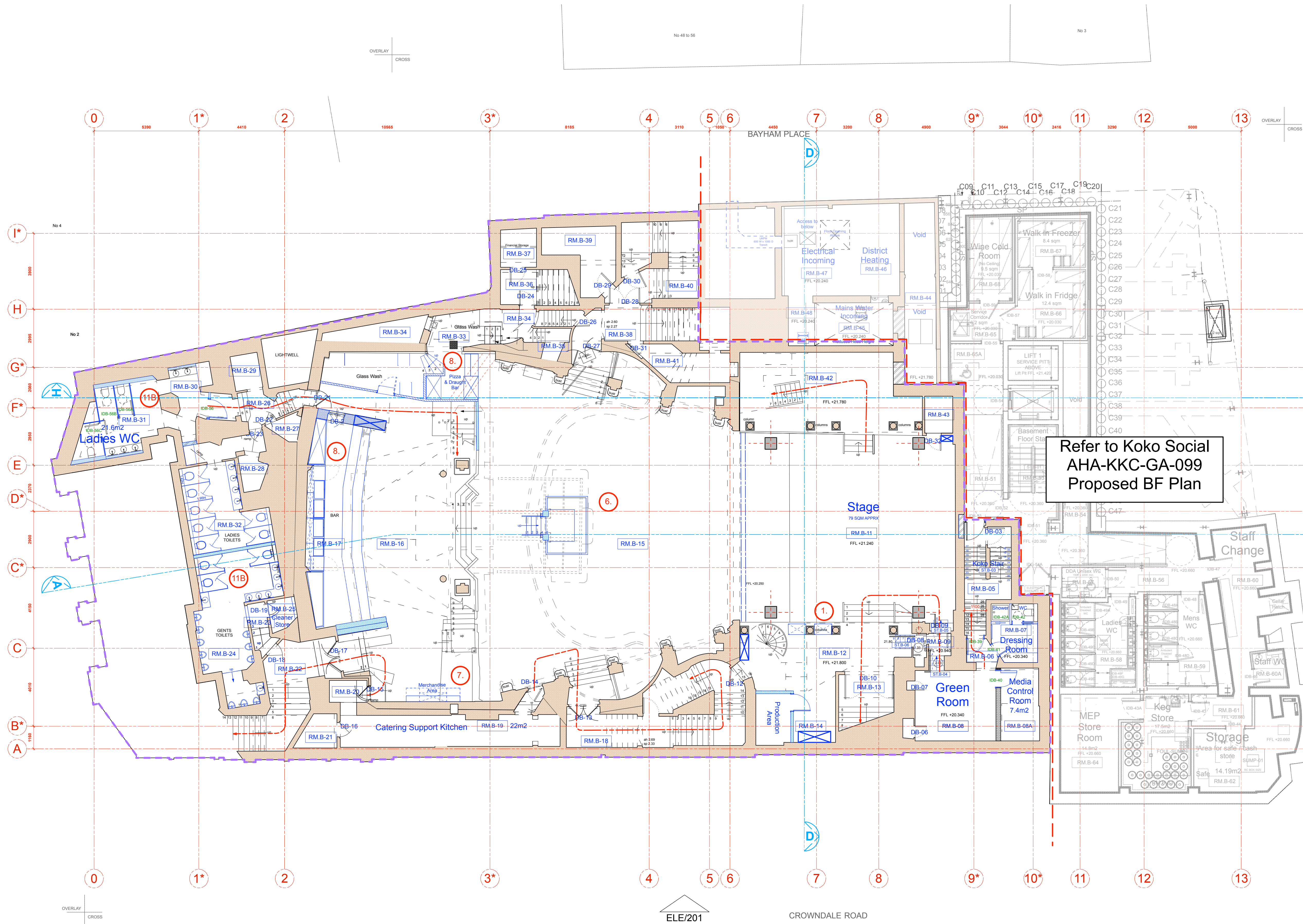
PLANNING

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project title
KOKO + Hope & Anchor + Bayham
Place, Camden, London

drawing title Basement Floor Plan Proposed	scale 1:100 @A1	date 21.09.20
drawing number AHA/KCCR PR/099-RR	drawn VR	checked DA
	revision P1	



PROPOSED

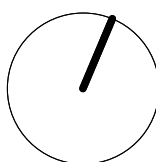
PROPOSED ITEMS KEY

1. New drinks dispense station.
2. Existing sound desk shifted 400mm away from stage and refurbished to create a private area (finishes to match existing).
3. Reinstall fireplace and surround in existing location.
4. Existing counter retained and refurbished.
5. New partitions to form new function areas.
6. Repositioned technicians sound and light booth.
7. Merchandise desk
8. Bar installation with washing facilities.
9. New fixed seating.
- 10A. New screen mechanically fixed to floor and internal sides of existing opening.
- 10B. New decorative planting divider.
- 11A. New WC facilities.
- 11B. WC facilities in existing location, refurbishment.
- 12A. New staircase to Dome.
- 12B. Re-instate existing doorway and install new service staircase.
13. New plant installation to flat roof.

LEGEND

- Existing Building Fabric KOKO née Camden Palace Theatre (1900)
- Proposed Koko
- RM.4-06 Room Number
- D4-02 Door Number
- D4-02 KS Proposed Door Number
- W4-05 Window Number
- W4-05 KS Proposed Window Number
- Koko R&R & Koko Social Boundary line
- Koko R&R Demise
- Koko R&R Proposed
- Temporary Structure
- Riser

25.09.20



1:100

0 1 2 3 4 5 8m

PLANNING

Archer Humphries Architects

Basement
Central House
142 Central Street
London, United Kingdom
EC1V 8AR
T : +44 (0) 20 7251 8555

project title	KOKO + Hope & Anchor + Bayham Place, Camden, London
drawing title	Ground Floor Plan Proposed
drawing number	AHA/KCCR AP / 100-RR
scale	1:100 @ A1
date	21.09.20
drawn	VR
checked	DA
revision	P1

1 Proposed Ground Floor Plan
Scale: 1:100

NOTE: NOT ALL AREAS RE-SURVEYED FOR R&R PROJECT. PREVIOUS SURVEY BY ONCENTRE USED

PROPOSED

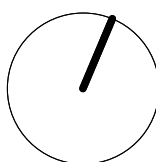
PROPOSED ITEMS KEY

1. New drinks dispense station and U shaped fixed seating.
2. Existing sound desk shifted 400mm away from stage and refurbished to create a private area (finishes to match existing).
3. Reinstate fireplace and surround in existing location.
4. Existing counter retained and refurbished.
5. New partitions to form new function areas.
6. Repositioned technicians sound and light booth.
7. Merchandise desk
8. Bar installation with washing facilities.
9. New fixed seating.
- 10A. New screen concertina doors mechanically fixed to floor and internal sides of existing opening.
- 10B. New decorative planting divider with door, 2Metres from finish floor
- 10C. New Hard wearing timber stained black pot shelves with Kiln Dried Olive tree Trunk with sculptured Faux olive tree branches.
- 11A. New WC facilities.
- 11B. WC facilities in existing location, refurbishment.
- 12A. New staircase to Dome.
- 12B. Re-instate existing doorway and install new service staircase.
13. New plant installation to flat roof.

LEGEND

- Existing Building Fabric KOKO née Camden Palace Theatre (1900)
- Proposed Koko
- Room Number
- Door Number
- KS Proposed Door Number
- Window Number
- KS Proposed Window Number
- Koko R&R & Koko Social Boundary line
- Koko R&R Demise
- Koko R&R Proposed
- Temporary Structure
- Riser

25.09.20



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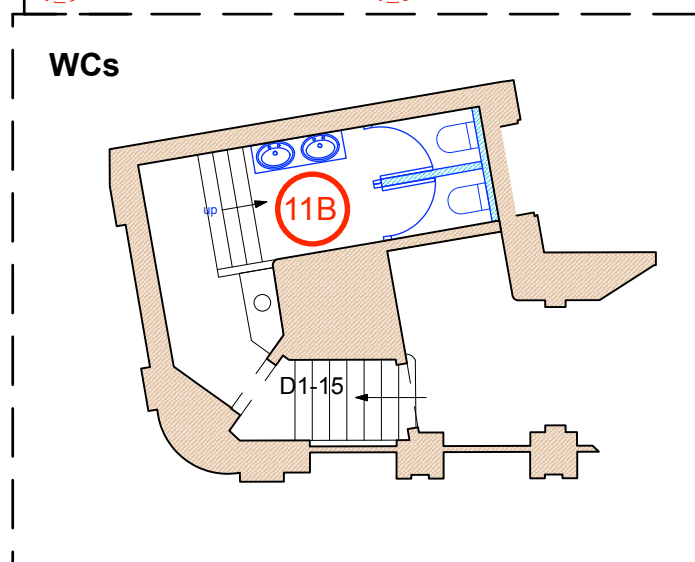
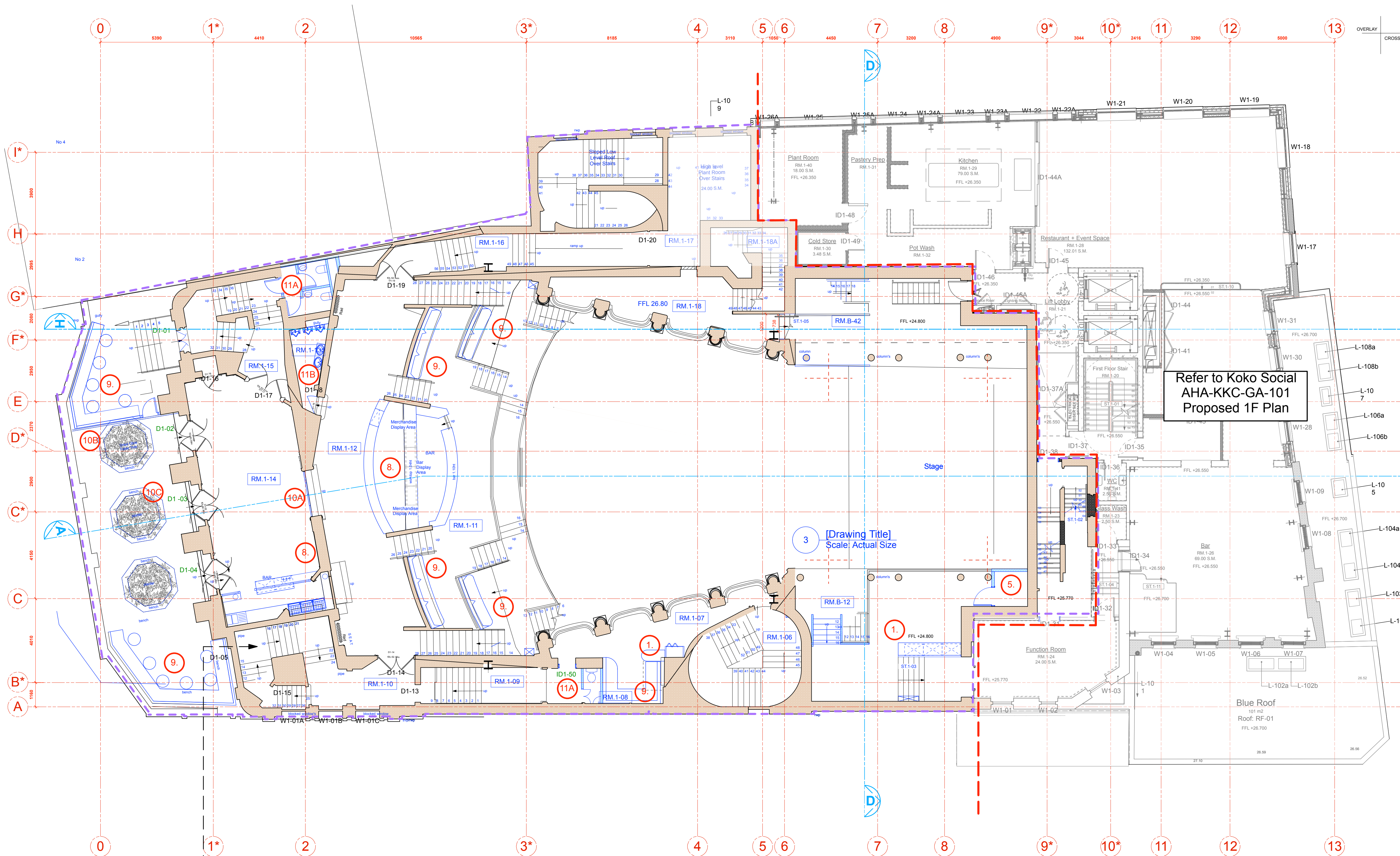
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PLANNING

Archer Humphries Architects

Basement
Central House
142 Central Street
London, United Kingdom
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T : +44 (0) 20 7251 8555

project title		KOKO + Hope & Anchor + Bayham Place, Camden, London	
drawing title	First Floor Plan	scale	1:100 @ A1
drawing number	Proposed	date	18.08.20
drawn	VR	checked	DA
revision	P1		



1 Proposed First Floor Plan
Scale: 1:100

NOTE: NOT ALL AREAS RE-SURVEYED FOR R&R PROJECT. PREVIOUS SURVEY BY ONCENTRE USED

PROPOSED

PROPOSED ITEMS KEY

1. New drinks dispense station.
2. Existing sound desk shifted 400mm away from stage and refurbished to create a private area (finishes to match existing).
3. Reinstate fireplace and surround in existing location.
4. Existing counter retained and refurbished.
5. New partitions to form new function areas.
6. Repositioned technicians sound and light booth.
7. Merchandise desk
8. Bar installation with washing facilities.
9. New fixed seating.
- 10A. New screen mechanically fixed to floor and internal sides of existing opening.
- 10B. New decorative planting divider.
- 11A. New WC facilities.
- 11B. WC facilities in existing location, refurbishment.
- 12A. New staircase to Dome.
- 12B. Re-instate existing doorway and install new service staircase.
13. New plant installation to flat roof and new access door from the stairs into plant room.

LEGEND

Existing Building Fabric KOKO née Camden Palace Theatre (1900)

Proposed Koko

RM.4-06 Room Number

D4-02 Door Number

D4-02 KS Proposed Door Number

W4-05 Window Number

W4-05 KS Proposed Window Number

Koko R&R & Koko Social Boundary line

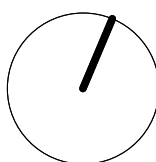
Koko R&R Demise

Koko R&R Proposed

Temporary Structure

Riser

25.09.20



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PLANNING

Archer Humphries Architects

Basement
Central House
142 Central Street
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project title			
KOKO + Hope & Anchor + Bayham Place, Camden, London			
drawing title	scale	date	
Second Floor Plan	1:100 @A1	16.07.20	
Proposed	drawn	checked	
drawing number	revision		
AHA/KCCR PR / 102-RR	P1		

PROPOSED

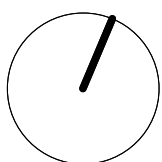
PROPOSED ITEMS KEY

1. New drinks dispense station.
2. Existing sound desk shifted 400mm away from stage and refurbished to create a private area (finishes to match existing).
3. Reinstate fireplace and surround in existing location.
4. Existing counter retained and refurbished.
5. New partitions to form new function areas.
6. Repositioned technicians sound and light booth.
7. Merchandise desk
8. Bar installation with washing facilities.
9. New fixed seating.
- 10A. New screen mechanically fixed to floor and internal sides of existing opening.
- 10B. New decorative planting divider.
- 11A. New WC facilities with new raised floor.
- 11B. WC facilities in existing location, refurbishment.
- 12A. New staircase to Dome.
- 12B. Re-instate existing doorway and install new service staircase.
13. New plant installation to flat roof.

LEGEND

- Existing Building Fabric KOKO née Camden Palace Theatre (1900)
- Proposed Koko
- RM.4-06 Room Number
- D4-02 Door Number
- D4-02 KS Proposed Door Number
- W4-05 Window Number
- W4-05 KS Proposed Window Number
- Koko R&R & Koko Social Boundary line
- Koko R&R Demise
- Koko R&R Proposed
- Temporary Structure
- Riser

25.09.20



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PLANNING

Archer Humphries Architects

Basement
Central House
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project title		scale	date
KOKO + Hope & Anchor + Bayham Place, Camden, London		1:100 @A1	21.09.20
drawing title	Third Floor Plan	drawn	checked
Proposed		VR	DA
drawing number	ABA/KCCR PR / 103-RR	revision	
		P1	

1 Proposed - Third Floor Plan
Scale: 1:100

NOTE: NOT ALL AREAS RE-SURVEYED FOR R&R PROJECT. PREVIOUS SURVEY BY ONCENTRE USED

PROPOSED

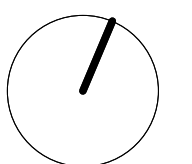
PROPOSED ITEMS KEY

1. New drinks dispense station.
2. Existing sound desk shifted 400mm away from stage and refurbished to create a private area (finishes to match existing).
3. Reinstate fireplace and surround in existing location.
4. Existing counter retained and refurbished.
5. New partitions to form new function areas.
6. Repositioned technicians sound and light booth.
7. Merchandise desk
8. Bar installation with washing facilities.
9. New fixed seating.
- 10A. New screen mechanically fixed to floor and internal sides of existing opening.
- 10B. New decorative planting divider.
- 11A. New WC facilities.
- 11B. WC facilities in existing location, refurbishment.
- 12A. New staircase to Dome.
- 12B. Re-instate existing doorway and install new service staircase.
13. New plant installation to flat roof.

LEGEND

- Existing Building Fabric KOKO née Camden Palace Theatre (1900)
- Proposed Koko
- RM.4-06 Room Number
- D4-02 Door Number
- D4-02 KS Proposed Door Number
- W4-05 Window Number
- W4-05 KS Proposed Window Number
- Koko R&R & Koko Social Boundary line
- Koko R&R Demise
- Koko R&R Proposed
- Temporary Structure
- Riser

25.09.20



1:100

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PLANNING

Archer Humphries Architects

Basement
Central House
142 Central Street
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project title KOKO + Hope & Anchor + Bayham Place, Camden, London			
drawing title Fourth Floor Plan Proposed	scale 1:100 B.A1	date 21.09.20	
drawing number AHA/KCCR/ PR /104-RR	drawn VR	checked DA	revision P1

