





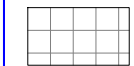

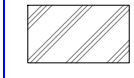




Key	
	Walls to be retained
	Parts to be stripped out, refer to the planning consent and listed planning consent (ref. 2019/0318/P and 2019/0374/L) for the removal of the non-original bay window.
	Parts to be stripped out
	Soil infill within crawl space to be removed
	Area to be Excavated
	Wall finishes and architectural features to be retained and protected throughout the construction programme (unless stated otherwise on drawings)
	Floor tiles to be retained, refurbished and protected throughout the construction programme
	Parquet flooring to be retained, refurbished and protected throughout the construction programme
	Existing floor finishes to be removed; any historical floor boards to be retained and protected throughout the construction programme
	Floor finishes and floor structure to be removed
	Existing concrete floor to be removed and lowered to suit proposal levels
NOTES:	
All works to be in accordance with Conservation Specifications.	
All redundant services to be removed.	
None of the existing fabric, including floor finishes, window joinery, door joinery, plasterwork, skirting and ironmongery are to be altered or removed unless otherwise shown on the drawings.	
Demolition Workmanship: Standard: Demolish structures in accordance with BS 6187. Operatives: <ul style="list-style-type: none">- Appropriately skilled and experienced for the type of work.- Holding or in training to obtain relevant CITB Certificates of Competence. Site staff responsible for supervision and control of work: Experienced in the assessment of risks involved and methods of demolition to be used. Dust Control: General: Reduce airborne dust by periodically spraying demolition works with an appropriate wetting agent. Keep public roadways and footpaths clear of mud and debris. Lead dust: Submit method statement for control, containment and clean-up regimes. Health Hazards: Precautions: Protect site operatives and general public from hazards associated with vibration, dangerous fumes and dust arising during the course of the Works. Partly Demolished Structures: General: Leave in a stable condition, with adequate temporary support at each stage to prevent risk of uncontrolled collapse. Keep safe outside working hours. Temporary works: Prevent debris from overloading. Unauthorized persons: Prevent access. Dangerous Openings: General: Illuminate and protect. Keep safe outside working hours. Asbestos Containing Materials: Discovery: Give notice immediately of suspected asbestos containing materials discovered during demolition work. Avoid disturbing such materials. Methods for safe removal. Submit details and statutory risk assessments. Unforeseen Hazards: Unrecorded voids, tanks, chemicals, etc. discovered during demolition: Give notice. Methods for safe removal, filling, etc. Submit details. Site Condition at Completion: Debris: Clear away and leave the site in a tidy condition. Other requirements: Building occupied at all times and must be kept clear	
Recycling All Materials removed from site are to be recycled offsite where ever possible. This includes existing floor finishes noted for removal (i.e. existing vinyl and carpet), metal framework and concrete/blockwork.	

FLOOR FINISH

Existing floor finish to be removed.

TIMBER LOUVRE

Timber louvre to be retained and refurbished. Paint to be stripped back, substrate to be made good and prepared to receive new paint application.

EXTERNAL WALL

Existing face brickwork to be cleaned using water based system only; no chemical clean permitted. Masonry to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork.

WINDOW

Existing window and associated ironmongery to be removed.

FLOOR

Existing floor finishes and floor structure to be removed.

SIDE EXTENSION

Load bearing walls and roof structure to be removed. Where brickwork is toothed in with masonry forming flank wall, this is to be carefully cut-out.

WALLS

Walls to be removed. Substrate to wall, ceiling and floor to be made good with all materials to match existing.

CEILING

Lath and plaster ceiling to be retained and refurbished. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials. New penetrations introduced where required.

WALL FINISH

Walls to be removed, substrate to be prepared to receive new finish. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials. New penetrations introduced where required.

WINDOW

Existing window and associated ironmongery to be removed.

BUILT-IN FURNITURE

Built-in furniture to be removed.

WINDOW CILL

Existing window cills to be removed. Substrate to wall, ceiling and floor to be made good

BUILT-IN FURNITURE

Built-in furniture to be removed.

STEPS

Steps at the side entrance to be removed.

STAIRS

Stairs to be removed, with the top tread to be retained and kept in situ.

WALLS

Walls to be removed. Substrate to wall, ceiling and floor to be made good with all materials to match existing.

BUILT-IN FURNITURE

Built-in furniture to be removed.

WINDOWS

Windows and associated ironmongery to be removed. Cill to be lowered forming new door opening. Brickwork to be carefully cut-out and/or toothed in as required. Re-use salvaged brickwork where possible.

EXTERNAL WALL

Existing face brickwork to be cleaned using water based system only; no chemical clean permitted. Masonry to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork.

SIDE EXTENSION

Load bearing walls and roof structure to be removed. Where brickwork is toothed in with masonry forming flank wall, this is to be carefully cut-out.

FLOOR

Existing floor finishes and floor structure to be removed.

CHIMNEY BREASTS & FIREPLACE

Chimney breasts, fireplace and surrounding details to be refurbished and protected throughout the construction programme; where infill/replacement is required details to match existing.

PARQUET FLOORING

Existing floor finish to be retained, refurbished and protected throughout the construction programme.

CEILING

Lath and plaster ceiling to be retained and refurbished. Architectural moulds to be retained, made good and protected throughout the construction programme; where infill/replacement is required details to match existing. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials.

WINDOWS

Paint to windows to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to window reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

SKIRTING

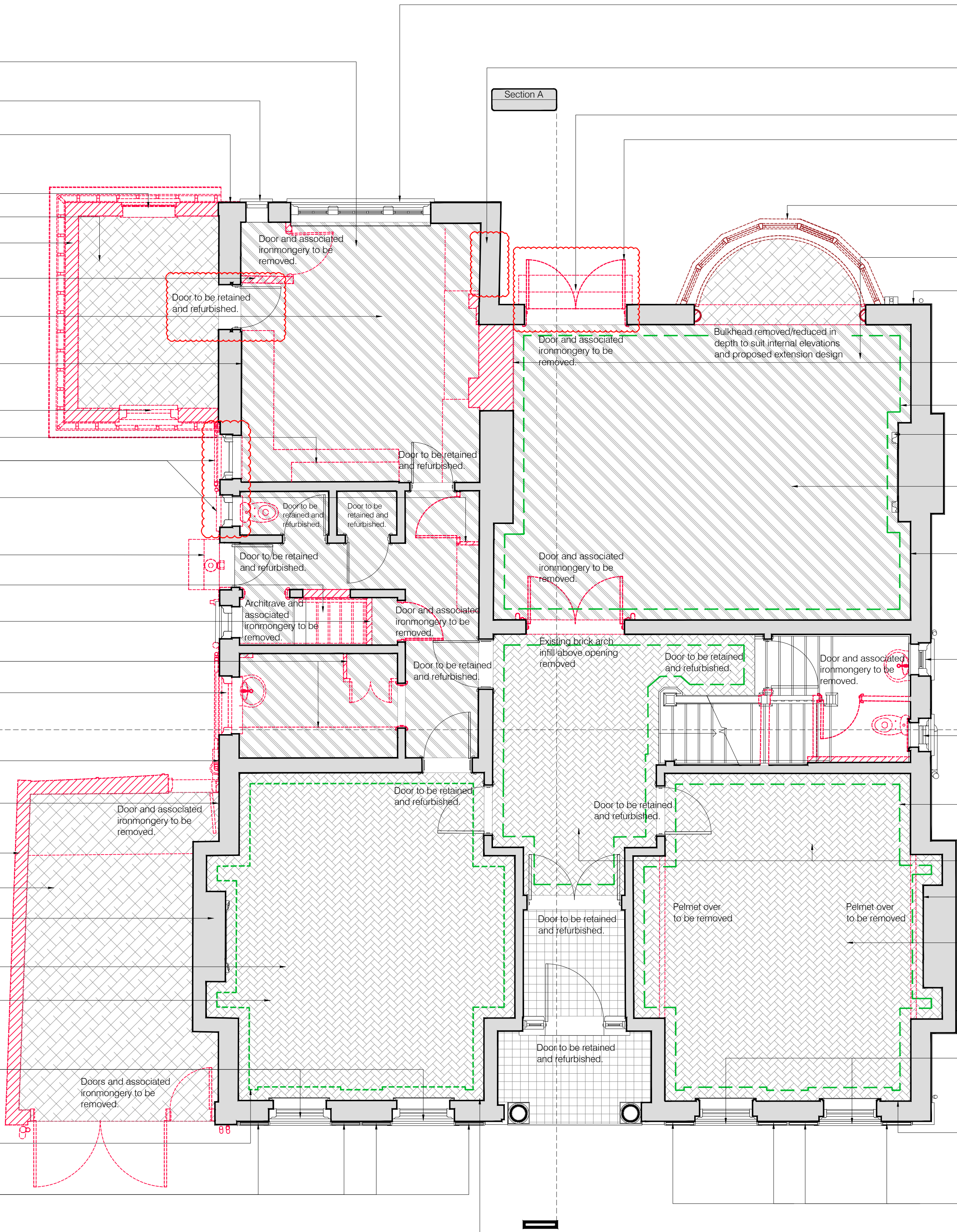
Skirting to be refurbished, made good and protected throughout the construction programme; where infill/ replacement is required details to match existing.

SHUTTERS

Shutters to be refurbished. Paint to be stripped back, substrate to be made good and prepared to receive new paint application.

WALL FINISH

Existing wall finishes to be retained and refurbished; plaster to be made good as appropriate. Architectural moulds to be retained, made good and protected throughout the construction programme; where infill/ replacement is required details to match existing. All redundant services to be removed. Any redundant penetration to be infilled with matching materials.



WINDOWS

Paint to windows to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to window reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

CONSENTED NEW OPENING

Consented new opening not taken.

CILL

Existing cill to be removed/adjusted to suit future level threshold patio.

DOORS

Existing door and associated ironmongery to be removed. Load bearing walls and structure to be removed. Brickwork to be carefully cut-out and/or toothed in as required. Where brickwork is toothed in with masonry forming flank wall, this is to be carefully cut-out.

BAY WINDOW

Existing window and associated ironmongery to be removed. Load bearing walls and roof structure to be removed. Where brickwork is toothed in with masonry forming flank wall, this is to be carefully cut-out.

TIMBER FLOORING

Existing floor finish to be replaced.

EXTERNAL WALL

Existing face brickwork to be cleaned using water based system only; no chemical clean permitted. Masonry to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork.

NEW OPENING

New opening to be formed in existing wall. Brickwork to be carefully cut-out and/or toothed in as required. Re-use salvaged brickwork where possible.

SKIRTING

Existing skirting to be removed.

CHIMNEY BREASTS & FIREPLACE

Chimney breasts, fireplace to be refurbished and protected throughout the construction programme. Fireplace surround details to be removed to suit proposals.

CEILING

Lath and plaster ceiling to be retained and refurbished. Architectural moulds to be removed and replaced to suit proposals. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials. New penetrations introduced where required.

WALL FINISH

Existing wall finishes to be retained and refurbished; plaster to be made good as appropriate. Architectural moulds to be removed to suit proposals. All redundant services to be removed. Any redundant penetration to be infilled with matching materials. New penetrations introduced where required.

WINDOWS

Paint to windows to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to window reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

SKIRTING

Skirting to be refurbished, made good and protected throughout the construction programme; where infill/ replacement is required details to match existing.

PARQUET FLOORING

Existing floor finish to be retained, refurbished and protected throughout the construction programme.

CHIMNEY BREASTS & FIREPLACE

Chimney breasts, fireplace and surrounding details to be refurbished and protected throughout the construction programme; where infill/replacement is required details to match existing.

CEILING

Lath and plaster ceiling to be retained and refurbished. Architectural moulds to be retained, made good and protected throughout the construction programme; where infill/replacement is required details to match existing. All redundant services to be removed. Any redundant penetrations to be infilled with matching materials.

EXTERNAL WALL

Existing face brickwork to be cleaned using water based system only; no chemical clean permitted. Masonry to be re-pointed; any damaged brickwork to be repaired where possible or replaced with matching brickwork.

WINDOWS

Paint to windows to be stripped back, substrate to be made good and prepared to receive new paint application. All detailing to window reveal to be retained, refurbished and protected throughout the construction programme. Materials and finish to match existing.

WALL FINISH

Existing wall finishes to be retained and refurbished; plaster to be made good as appropriate. Architectural moulds to be retained, made good and protected throughout the construction programme; where infill/ replacement is required details to match existing. All redundant services to be removed. Any redundant penetration to be infilled with matching materials.

SHUTTERS

Shutters to be refurbished. Paint to be stripped back, substrate to be made good and prepared to receive new paint application.

SCALE - 1:50

Rev:	Comments:	By:	Date:
E	Minor Material Amendments	RM	20-03-2019
F	Minor Material Amendments	MSL	27-03-2020
G	Minor Material Amendments	JC	08-09-2020

PLANNING

Client:

-

Project Title:

24 Heath Drive, London, NW3 7SB

Drawing Title:

Stripping-Out
Ground Floor

Scale:

1:50@A1

Date:

JAN 18

Drawn:

ST

Checked:

HV



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Project No.:

508-16

Drawing No.:

1500

Revision:

G

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