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Proposed Rear Elevation	PA 203A	1:100@A3



## The Practice

National award-winning practice Robert Dye Associates is based in NW London, and has more than 20 years experience in the design and management of domestic/residential architecture. Architectural project experience ranges from new-build houses, careful restoration and conversion of existing buildings for residential and commercial use, to international museum and university buildings.

Following RIBA regional success in London, the practice received the profession's highest award for residential architecture in 2005, winning the RIBA Manser Medal for a sustainable modern house in a sensitive conservation area context in Southwark.

The practice has a burgeoning reputation for delivered projects that have sustainability at their core, and has well-established contacts with structural and environmental engineers, quantity surveyors, and landscape/arboricultural consultants who are sympathetic to the studio's particular approach within new and existing contexts.

Typically the studio manages projects from inception through all stages to completion; it has extensive experience of preparing construction documentation and administering building contracts on site, from one-off residential to large-scale public works. The practice is particularly experienced in London's complex urban and suburban context, whether building new or modernising and extending historic residential buildings.

The work of Robert Dye Associates has been televised in the UK and Japan, the subject of various exhibitions in London over the last decade, and is regularly published in the architectural press worldwide.

## Principal, Robert Dye BA Hons Dip Arch RIBA

Robert won the annual RIBA student prize before graduating with honors in 1977. He has practised architecture both in England and abroad. Working for Sir James Stirling, his major projects included the Clore Gallery at the Tate, London, and as project architect a new-build expansion of the Fogg Art Museum for Harvard, and a new Performing arts Centre for Cornell University.

Since establishing his own practice in 1989, he has continued the successful pursuit of design quality in more fine-grain, predominantly residential work. The practice's (timber-framed/recycled materials) new-build Stealth House was a finalist for a RIBA sustainability prize, then for the European Conference of Leading Architects annual Putz prize, and picked up the prestigious Manser Medal for 2005's best contemporary house at the Stirling Prize ceremony.

Robert has taught sustainability, architecture and urban design at various universities in the UK and America for more than 20 years, and is currently a lecturer on sustainable cities for the Urban Design Masters course at the Bartlett School, University College London.

He has received several awards, contributed to a BBC2 programme on the future of London's architecture, was a member of the LDDC Urban Design Advisory Group shaping the future of Docklands, and is active in judging architecture awards for the RIBA.



Stealth House, Grove Lane, SE4 - Manser Medal winning semi-detached house, adjoining Conservation Area.



Ardleigh Road N1 - Side and rear extensions to semi-detached house in a Conservation Area



Kingstown Street, NW1 - Two neighbouring projects, both including partial rebuilds, modernisation & extensions to article 4 conservation area mews houses.

Shortlisted for two 2013 Camden Design Awards 'Enhancing Context Award' and 'Don't Move, Improve Award'



Hamilton Terrace, NW8 - Extension & modernisation of grade II listed terrace house.





a) Aerial view of 33 Hampstead Lane from front showing garage site to west of property.



b) Aerial view of 33 Hampstead Lane from rear showing garden and garage site to west of property.

### Existing Context

33 Hampstead Lane is a 4 storey semi-detached Victorian house in the London Borough of Camden. The property is located in the Highgate Conservation Area and forms part of a sextuplet of houses of the same original design; two on the south side and four on the north side of the street. No 33 and 31 are in Camden on the south side of the lane whilst the other four houses are in Haringey.

These six houses of the same typology as no. 33 are all built in a distinct pale London stock brick, with slate pitched roofs. They have a dominant protruding 3 storey gabled face on each elevation, which define the particular character of these houses. Features on the fronts are highlighted with ornamented painted render. The rear elevations are built in a darker stock brick than that of the front and side elevations, with the paler stock brick used to highlight window openings and decorative bands.

The neighbourhood generally is a collection of mid-to-late 19th-century houses with some 20th-century infill. The nearby properties are generally three or four storeys in height with pitched roofs, with some two-storey properties interspersed between them. There is significant variation of typology, style and materiality to these houses, with pitched or flat roofs, painted render and different types of brickwork all featuring. Many of the houses have been significantly extended at all levels, including side infill extensions of 1 to 4 storeys height, full mansard storeys and large rear extensions. The adjoining property at no. 31 had a large side area, which has been developed into a 4 storey side extension to the main house as well as a detached 2 storey new-build property, Highwood Lodge.

There is no consistent building line to the street on either side of the street at front or rear. (see fig.) This, along with the variation in material and house type helps to create the village-like atmosphere of the street, despite the scale of the majority of properties

No. 33 has existing off-street parking in front of the house and in the single storey stand-alone garage located in the large side way to the west of the property. To the rear there is a large garden which backs on to the extensive service buildings of the mansion property beyond. The extent of the neighbouring garden, along with the geometry of the local street layout, means that there are no houses facing the rear of the property. The rear adjoining property is a vast distance from the boundary and is completely hidden from view by existing trees, fences and hedges.

No 33 was at some point poorly converted into two maisonettes, which created many of the problems which are now in need of attention. Externally, this conversion is currently manifest through external access and fire-escape stairs in the side way, and a badly re-built main bay on the rear elevation.

A recent application (2020/0484/P) has been granted on number 33 for a new side entrance and front and rear dormers to the Upper Maisonette. At the time of application, the alterations consented in this application were complete or nearing completion. The external fire stair consented for removal has not yet been removed as it is used for construction access.

A further application (2020/2194/P) has also been granted on number 33 for alterations to the lower maisonette (at ground and lower ground floor levels) including to the side and rear elevations, and creating access to the garden. The consented proposal drawings are included in this application for information purposes.

The proposals following are for the Lower Maisonette only, varying minorly from those consented in application 2020/2194/P.





c) view of existing front elevation of house \*



d) view of existing flank elevation of house \*



e) view of existing rear elevation of house \*

\* N.B. photos taken prior to completion of alterations consented in application 2020/0484/P





f) view of 31 Hampstead Lane



g) view of Highwood Lodge



h) view of property and stucco villas at no 35 and 37





i) view of rear extensions at no 35 and 37



j) gap to no 35 from eye-level on street with garage obscuring views to rear



k) multiple balconies at rear of adjoining property at no 31



l) Map of existing context and nominal building lines

■ - indicates houses of the same typology



l) view of extensions nos 35 & 37 showing upper ground floor level full width balcony at no 37



**The proposal**

The owner wishes to remain in the property long term and this proposal is for renovations and alterations to the Lower Maisonette.

Both existing maisonettes are non-compliant with building regulations, suffer from years of general wear & tear and lack of renovation. This has left them tired and dingy, and falling far below current thermal and environmental standards. Both the rear main and secondary bays are in need of significant work, with the secondary bay showing signs of ongoing subsidence.

The alterations will upgrade the existing accommodation, improve the amount of natural light within the property, create generous access to the garden, and complete the works to properly separate the two maisonettes. They will bring the property up to modern living and regulatory and environmental standards.

The alterations envisage;

- alterations to doors and fenestration on the side elevation at ground and lower ground floor levels,
- cleaning up the rear elevation and re-constructing the main bay
- creating access from the lower ground and ground floors to the garden,
- a new minor extension to the existing brick bay at lower ground floor level
- a new garden balcony

There are no alterations proposed to the front of the house.

Overall, the design strategy has been to clean up and restore the main body of the house, removing substandard later alterations, and to make new high quality, elegant and distinct additions that compliment and do not compete or compete with the original Victorian building.



m) View of existing boiler and utility access to be removed



n) View of existing rear door and entrance steps to be removed.

**Alterations to Doors and Fenestration on the Side Elevation.**

The alterations to the side extension comprise the formation of three new low level windows and the removal of two redundant doors along with their access steps.

Currently access to the boiler and utility room is from the outside descending via an external access door and steps (see fig m). This lack of direct access is both inconvenient and creates safety issues. The proposal provides a new internal access to the room to remedy this. The redundant external door and steps will be removed and infilled with brick matching the existing. A new window will be created to allow light into the utility room, immediately below and aligned with the window above using existing brick lintols, and stone cills salvaged from the redundant door.

The internal layout has returned the main stairs to their original position, which means that a non-original door on the rear face of the side extension is now redundant (see fig n). The concrete steps to this door will be removed and the opening will partially infilled with brick and partially used as a new window opening. This window will allow light into the internal stairwell from the south as well as allowing ventilation to the central area of the flat.

One further window will be added at lower ground floor on the main gable face. This will allow additional light into the rear library/study room. It will be the same as the existing small window to this room and positioned symmetrically about the chimney breast of this face.

Any brick infill will match the building in type, bond and mortar. Window frames will be painted to match the existing windows.

These alterations have been consented in application 2020/2194/P.



p) View of existing re-built main rear bay, redundant platform, un-orderly soil pipes and satellite dishes

**Cleaning up the rear elevation and re-constructing the main bay.**

At some point in the past, the two storey main rear bay was modified and poorly rebuilt. This has resulted in a bay which is still built in the original geometry at lower ground floor, but with a different geometry at ground floor. The windows are different on each floor and do not match each other, in type or configuration (see fig p). This modified bay also has a side access onto a raised, unguarded platform, which presumably formally had steps down to the garden.

During the conversion to maisonettes, various soil pipes and rainwater pipes, along with satellite dishes have been added to the gable façade element.

The proposal will remove the satellite dishes and move the soil and rain pipes to a concealed return reveal. The glazed elements of the bay will be re-built at both levels on the lines and geometry of the original bay, and the raised redundant platform removed. The glazing at both levels will feature casements with fanlights above and be in the same construction, to form a cohesive and current elevation to the bay.

The re-constructed bay along with the other alterations will re-instate the prominence of the gabled face of the rear elevation.

These alterations have been consented in application 2020/2194/P.



**Access from the Ground and Lower Ground Floors.**

There is currently no access from either the ground floor or lower ground floor to the garden at the rear, as this was moved into the sideway when the maisonettes were converted.

At lower ground floor there is no compliant means of escape from either of the rooms at the rear, with escape through windows leading only into a trapped condition in the rear areaway. The proposal places three small steps within the well, to allow access up to garden level. Thus escape through the windows from both the relevant rooms will become compliant. The light-well walls will be repaired re-instating them as straight true and level, with missing coping stones replaced. The later brick wall and cap that presently forms a vented void (see fig r) will be removed to reveal the full width of the rear areaway.

Historically the house had access from the ground floor to the garden through a set of French doors and stairs in the middle of the main bay. These doors are still present on number 31 next door and across the road on nos 18 and 20 (see fig q) It is proposed that when the main bay is re-built to the original geometry, central french doors with fanlights above are re-instated. These will then lead to a lightweight steel rear balcony, and subsequently down to the garden via an elegant and lightweight steel stair. The stair and balcony will be in painted metal design, typical of Victorian stairs and similar to the former escape stair



q) Rear elevations of no 18 and no 20 Hampstead Lane showing central access from main bay (from Haringey planning consent for no 10) and alignment of bay window openings

to the house (now removed). The proposed balcony will be positioned over and projecting beyond the rear wall of the house by the same amount as the existing lightwells below, and replaces the existing projecting platform that once served as a landing/balcony.

Rear balconies are already present on neighbouring property nos 37, 31, 29 & 27 (see fig & k). 5 no rear balconies pepper the rear elevation of no 31, and the upper ground floor rear balcony at no 37 is full width, spanning up to the boundary with the adjoining neighbour, and projects further than the bay on the adjoining property. In keeping with those upper ground floor balconies already present in the street, the proposed balcony at no 33 is accessed through both the existing rear bays, and its extent and projection beyond the rear wall of the property is similar to, or less than, those other properties.

**New Lower Ground Floor Extension**

A small glazed extension is proposed at lower ground floor level. It is positioned on the existing secondary bay, below the proposed balcony and extends only as far as the existing lightwell. This position places it away from the neighbours on both sides and has zero impact on neighbours in terms of light, enclosure or amenity. It is set at lower ground level to allow direct visual access to the garden, and with only 1/2 a storey visible above ground from the rear garden it has negligible visual impact. In length it will not extend further than the existing lightwell or the proposed balcony above. The overall dimensions of the extension are such that it is a clearly subordinate element on the rear elevation and on the bay. The position and volume of the extension also means that it will not be visible from the street through the gap between no 33 and 35. (see fig k)

The design strategy is to create a subordinate, 'barely there' extension that compliments the main house, and deliberately does not seek to imitate the Victorian construction. The existing, subsiding bay (see fig s) will require remedial works at lower ground floor level. The proposed alterations will increase the existing lower ground floor window opening to align with the windows above, emphasising the form of the existing bay and returning it to its original form - as seen on no 20 (see fig q). The lightweight construction of both the extension & balcony above will allow the form of the brick bay to remain clearly visible & legible.

The extension itself will be of lightweight and elegant construction, primarily of glass, with metal framing at the door location. The glass will be full height on two sides, with a door opening at lower ground level to the rear to the garden, providing access and means of escape. This configuration will allow the extension to feel open to the garden, whilst its low level will prevent any sense of overlooking to no 35 Hampstead Lane which sits at a distance, and downhill of no 33.



r) vented void infill to rear areaway to be removed, with existing projecting platform above



s) Rear secondary bay showing subsidence of both sides.



**Landscape and Trees**

The existing rear garden layout will be retained as a lawn with border planting and is not affected by these proposals. Along the sideways, oversite concrete will be removed and the current compacted gravel paths extended to create a water permeable covering to the ground.

There are 2 on-site trees and two in neighbouring properties. All of these trees have been assessed by an arboriculturalist ACS (Trees) Consulting. They are distant to the proposals and not affected by them. A schedule of the tree types, category and condition is attached to this document (see fig t). The tree survey plan showing the BS root protection area along with the modified root area due to site obstructions follows (see fig v).

The on-site trees will be protected with exclusion zones and root protection as

ACS(Trees)Consulting  
E:info@acstrees.co.uk

Site:33 Hampstead Lane, London N6

Surveyor: H. Appleyard  
Date:09.03.20

No.	Species	Height	Trunk Dia.	Radial Crown Spread	Crown Clearance	Height to 1st Branch	Life Stage	Physiology	Struct. Condition	Landscape Value	Est. Years	Category	Comments	RPA Radius	RPA m2
T3	Common Holly ( <i>Ilex aquifolium</i> )	9m	250	3m	1m	2m N	EM	Good	Fair	Low	20+	B (2)	Self sown tree growing out of boundary wall stone work; dense canopy with added ivy growth.	3.0m	28.3m <sup>2</sup>
T4	Silver birch ( <i>Betula pendula</i> )	9m	150(e)	N3m E3m S2m W2m	3m	3m N	EM	Fair	Good	Low	20+	C (2)	Off site tree; limited access to inspect.	1.8m	10.2m <sup>2</sup>
T5	Lombardy poplar ( <i>Populus nigra 'Italica'</i> )	13m	900(e)	4m	3m	3m W	M	Good	Fair	Low	20+	C (12)	Off site tree; heavily pollarded with re-growth; boundary wall likely to deflect root spread.	10.8m	366.4m <sup>2</sup>
T6	Apple ( <i>Malus sp.</i> )	6m	300	N5m E3m S2m W3m	1m	1m N	M	Good	Fair	Low	20+	C (12)	Wind blown and leaning north; reduced canopy; garden fruit tree.	3.6m	40.7m <sup>2</sup>

1

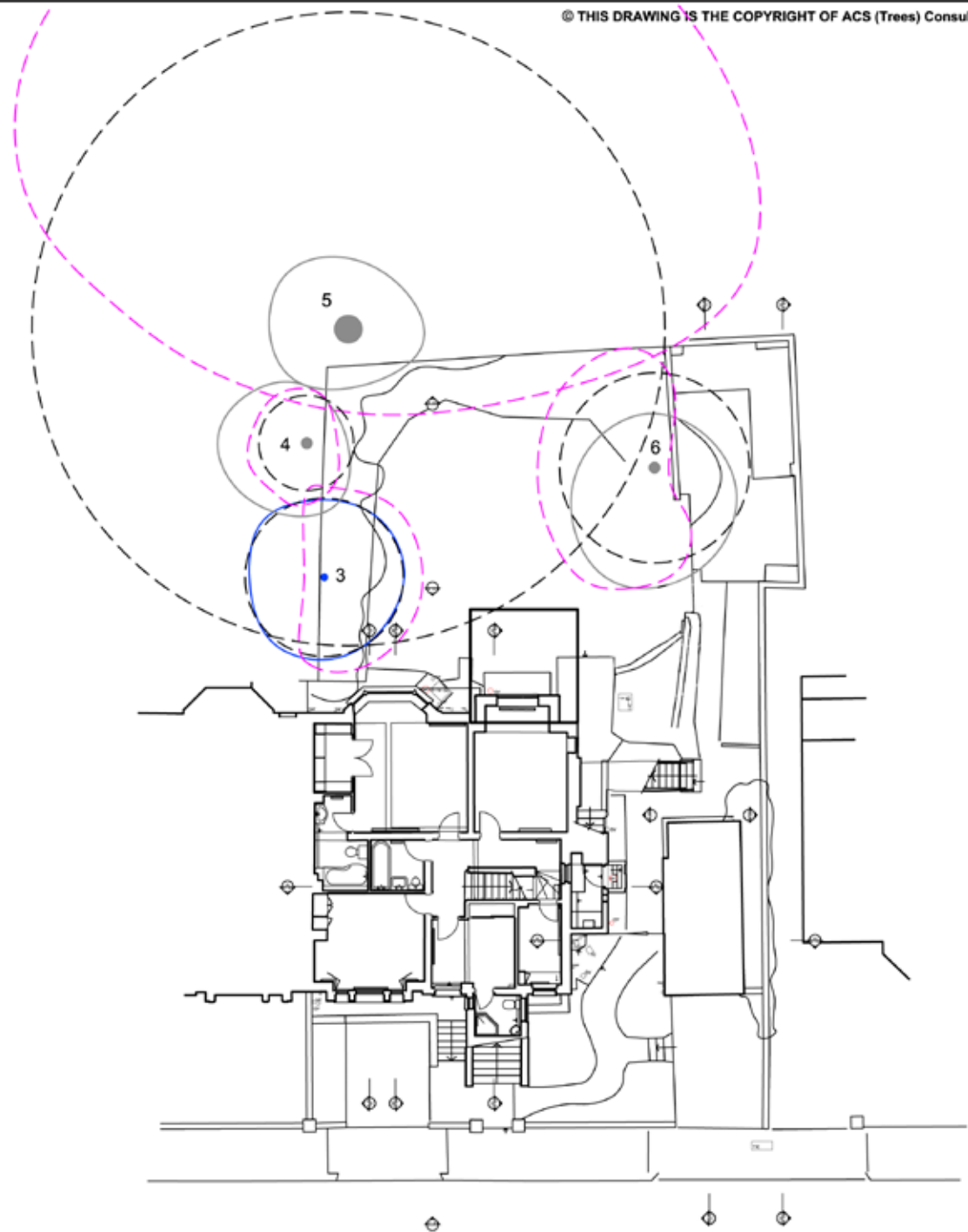
**Note:** Trunk Diameter (e) = Estimated

Refer also to 'Notes to the Schedules'


t) Tree Schedule







© THIS DRAWING IS THE COPYRIGHT OF ACS (Trees) Consulting.

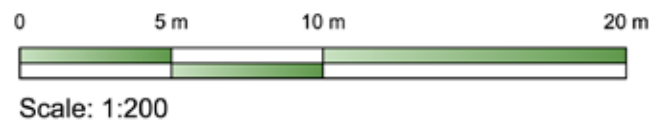


**ACS (Trees) Consulting LEGEND**

BS Root Protection Area, (RPA) shown uniform (above left) but site features such as roadways, retaining walls and foundations, may modify root patterns and therefore the RPA shape. 

 A grade trees  C grade trees

 B grade trees  U grade trees



Client : -	<b>ACS (Trees) Consulting</b> Consultants in the Management of Trees and Woodlands	<b>ACS (TREES)</b> Consulting Urban & rural tree management
Project : 33 Hampstead Lane Highgate	Tree Tops   Redwood Mount   Reigate   Surrey   RH2 9NB TEL: 01737 244819   07770 820105	
Title : Tree Survey and Constraints Plan	ALSO AT: Office Eighty Five   272 Kensington High Street   London   W8 6ND	
Scale : 1:200 A3	Dwg No : TCP1_HN_33	
Date : Mar. 2020	Rev : -	
Do not scale from this drawing. Any discrepancies are to be reported to ACS (Trees) Consulting. This drawing is to be used when printed to scale & in colour.		

v) Tree Survey Plan



## Planning Statement

### The proposal

This application is for alterations and extensions to the lower maisonette at no. 33 Hampstead Lane a 4 storey property originally built as a house which has been converted into 2 no. maisonettes. The existing maisonettes suffer from years of general wear & tear and lack of renovation, which has left them tired and dingy. The owner wishes to remain in the property long term and this proposal is for works to the lower maisonette.

The proposed development comprises the following works;

- Re-construction of the rear bay window and construction of steps into garden area;
- Widening of existing lightwell to provide safe exit from lower ground floors;
- Construction of minor extension to bay window at Lower Ground Floor Level
- Alterations to doors and fenestration on the side elevation at ground and lower ground floor levels,

All of the proposed works are to the rear of the property at the ground and lower ground floor levels. This application should be read in accordance with recently approved changes for works across the upper maisonette at 33 Hampstead Lane (2020/0484/P).

### Design and heritage Policy position

The Camden Local Plan, as with all levels of planning policy, emphasises the importance of good design. Policy D1 (design) states that the Council will secure high quality design in development which respects the local context and character, preserves and enhances the historic environment, is sustainable in design and construction and (among other things) integrates well with the surrounding streets. Furthermore, proposals must incorporate details which are of high quality and complement the local character. To further support the Local Plan, the council has adopted a number of supplementary planning documents to guide development in the borough. The 'Altering and extending your home' CPG adopted in March 2019 provides guidance to residents about how best to make changes to their dwelling house.

As the site is located within the Highgate Conservation Area, it is necessary to review the relevant heritage and conservation area policies. Policy D2 of the Local Plan outlines the Council's approach to protecting heritage assets in the borough. For conservation areas, the council will require that development within conservation areas where possible, enhances the character or appearance of the area, resists the substantial or total demolition of a building within the conservation area. The Council will also resist development outside of the conservation area which causes harm to the character and appearance of the area. Furthermore, development which causes substantial harm to the conservation area where no public benefit can be demonstrated will not be permitted. In general the Council will resist applications which cause less than substantial harm to heritage assets unless the public benefits convincingly outweigh the harm.

The proposed development has been assessed against these policies in the following sections. For clarity, the proposals are dealt with item by item.

### Reconstruction to main bay window

The proposed development will re-construct the main bay window at the rear of the property. It is acknowledged through the design statement that the existing bay windows are in a poor state of repair and suffering from subsidence. As such, the secondary bay will be underpinned and altered at Lower Ground Floor Level, to secure this bay for the future. The main bay window will be rebuilt and rear access steps to the garden will be provided.

Through the preparation of this application, substantial research has been undertaken to understand the existing building. It is understood that the main bay to the rear is not original. The existing bay is a recreation of the original fabric which has been poorly constructed and demonstrates different proportions to the original structure.

The works associated with this application would replicate the original proportions in terms of window ratios and sizes as well as the angles of the bay-window. The proposed bay-window will also incorporate steps to the garden from the centre of the bay. The details of the rear elevation are provided in drawing number PA-203.

The works to the rear bay demonstrate high quality design in accordance with the requirements of Policy D1 of the Local Plan. As the proposals are reinstating the original proportions of the bay, the proposals would enhance the conservation area. The bay and associated steps have been designed sensitively and use comparable materials to ensure that the replacement reads well with the existing building. This replacement would reinstate traditional building characteristics which is encouraged by Policy D2 of the Local Plan. It is considered that the works to replace the bay window would reinstate traditional proportions of the building and would demonstrate a conservation gain. The proposals would cause no harm to the conservation area, as such, in accordance with Policy D2 and chapter 16 of the NPPF is acceptable in policy terms.

### Widening of existing lightwell and introduction of extension

The proposals seek to widen the existing lightwell to allow for safe, building regulation compliant access to the lower ground floors of the property. The widening works are minor and are detailed in drawings EX-102 (existing section) and PA-102 (proposed section). The widening works will allow for safe access from the property into the garden which will be aided by 3 small steps. Further details are provided in the design statement.

For clarity, the widening would not incorporate any excavation works, and as such the proposals do not need to be assessed against the adopted Policy A5 (basements).

The revised proposal incorporates a minor rear extension to the existing brick bay at lower ground floor level. The extension is subservient to the main building and to the brick bay itself, by merit of its proportions and materials. The extension would only extend half a storey above ground level (with the remainder being located within the existing lightwell) and therefore would be screened from view having minimal visual impact on the surrounding area. The extension is located away from neighbouring buildings and would have no impact on neighbouring amenity.

The careful design of the extension makes it suitable for the host building and the surrounding context. The extension utilises contemporary materials, is screened from view and by virtue has no impact on surrounding amenity and a

positive impact on the appearance of the rear elevation of the building. Overall it is considered that the revised rear extension complies with Policies D1 and D2 of the Local Plan and should be accepted by the Council.

### Introduction of balcony

The proposed works would construct a balcony at the rear of the property. As is outlined in the supporting design statement, rear balconies are prevalent along other properties within the site vicinity including number 37, 31, 29 and 27 Hampstead Lane. At number 31 Hampstead Lane, a total of 5 rear balconies exist with a ground floor structure spanning the full width of the property. Given the prevalence of balconies in the vicinity, it is considered that this introduction is acceptable in principle.

The proposed balcony is located at the upper ground floor level and is situated across the left rear bay window (detailed on drawing PA203). The balcony has been designed to be light weight and corresponds positively to the consented metal steps located on the rear elevation. The location of the balcony does not introduce any opportunities for overlooking to neighbouring properties or gardens meaning the proposals would have no impact on neighbouring amenity and therefore would comply with policy A3.

Overall, it is considered that the addition of the balcony is a positive design addition to the building and would have no impact on the Highgate conservation area. It is considered that the introduction complies with Policies D1 (design) and D2 (heritage) and should be supported.

### Façade works

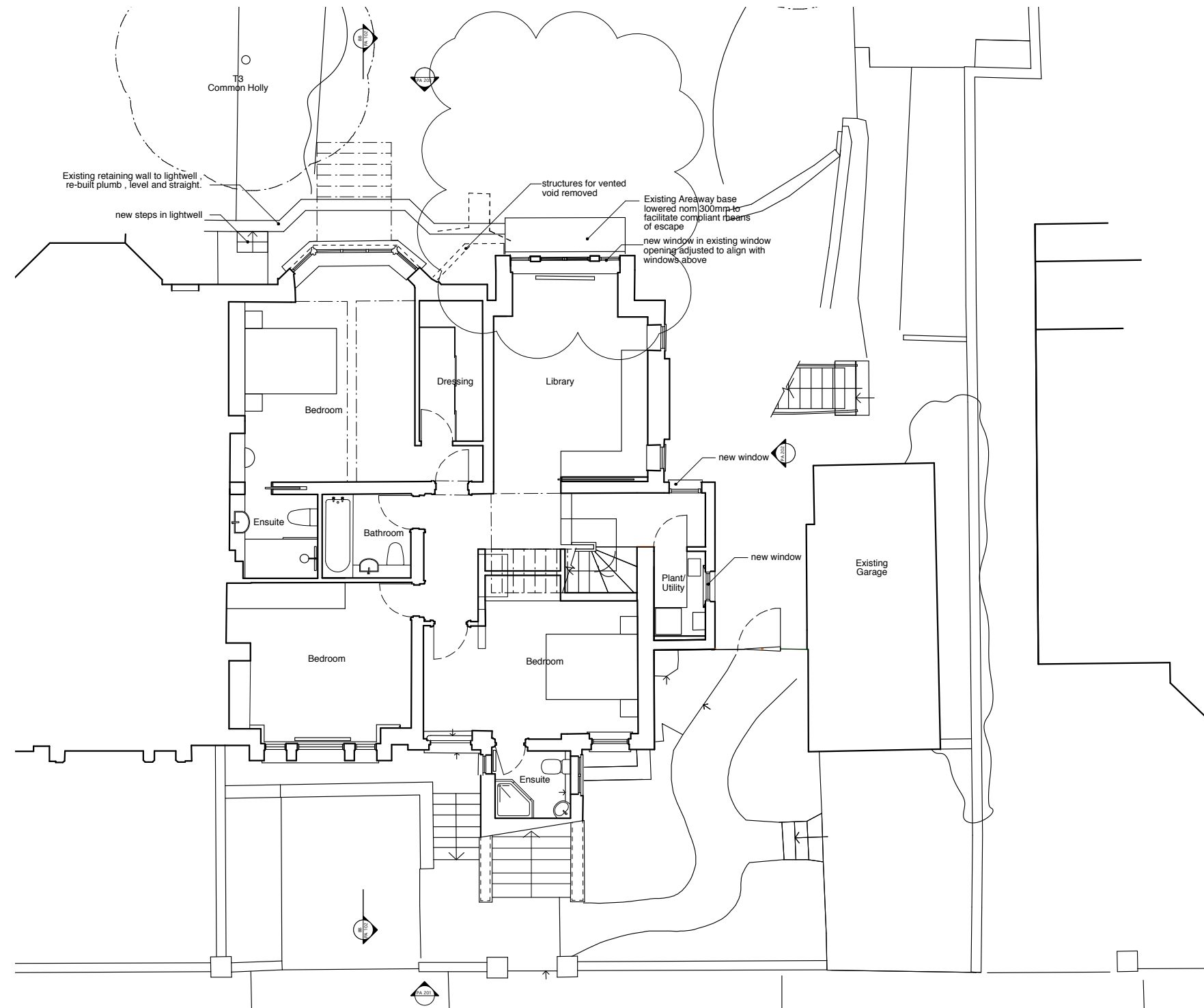
The proposals would seek to rationalise and refurbish the facades of the building. This would incorporate the removal of redundant pipe work, satellites dishes and other paraphernalia which has accumulated on the building over the years. These works would accord with the aspirations of Policy H2 and would improve the appearance of the building within the Conservation Area.

### Summary and conclusions

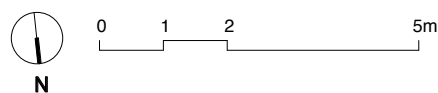
This submission seeks to make changes to the rear elevation of the lower maisonette at 33 Hampstead Lane. The proposals will incorporate the rebuilding of the existing bay window and provision of steps into the garden; minor widening of the existing lightwell and construction of a half-height glazed extension, introduction of a rear balcony and rationalisation of the fixtures and fittings on the façade. All proposals are of high quality design and incorporate appropriate materials for the existing building. The scale of the proposal remains subservient to the existing building. The proposed rear extension accords with Policies D1 and D2 of the Local Plan as well as the guidance of the adopted CPG.

The re-constructed bay window will reference the original proportions and the materiality of this section is in line with the existing building. The proposals will be of benefit to the conservation area as it will accord with the original proportions of the building.

All works demonstrate high quality design in line with the requirements of Policy D1. There will be no impact to the Highgate Conservation area as a result of the proposals thus complying with the requirements of Policy H2. The development is therefore in accordance with the requirements of the Local Plan and the NPPF.



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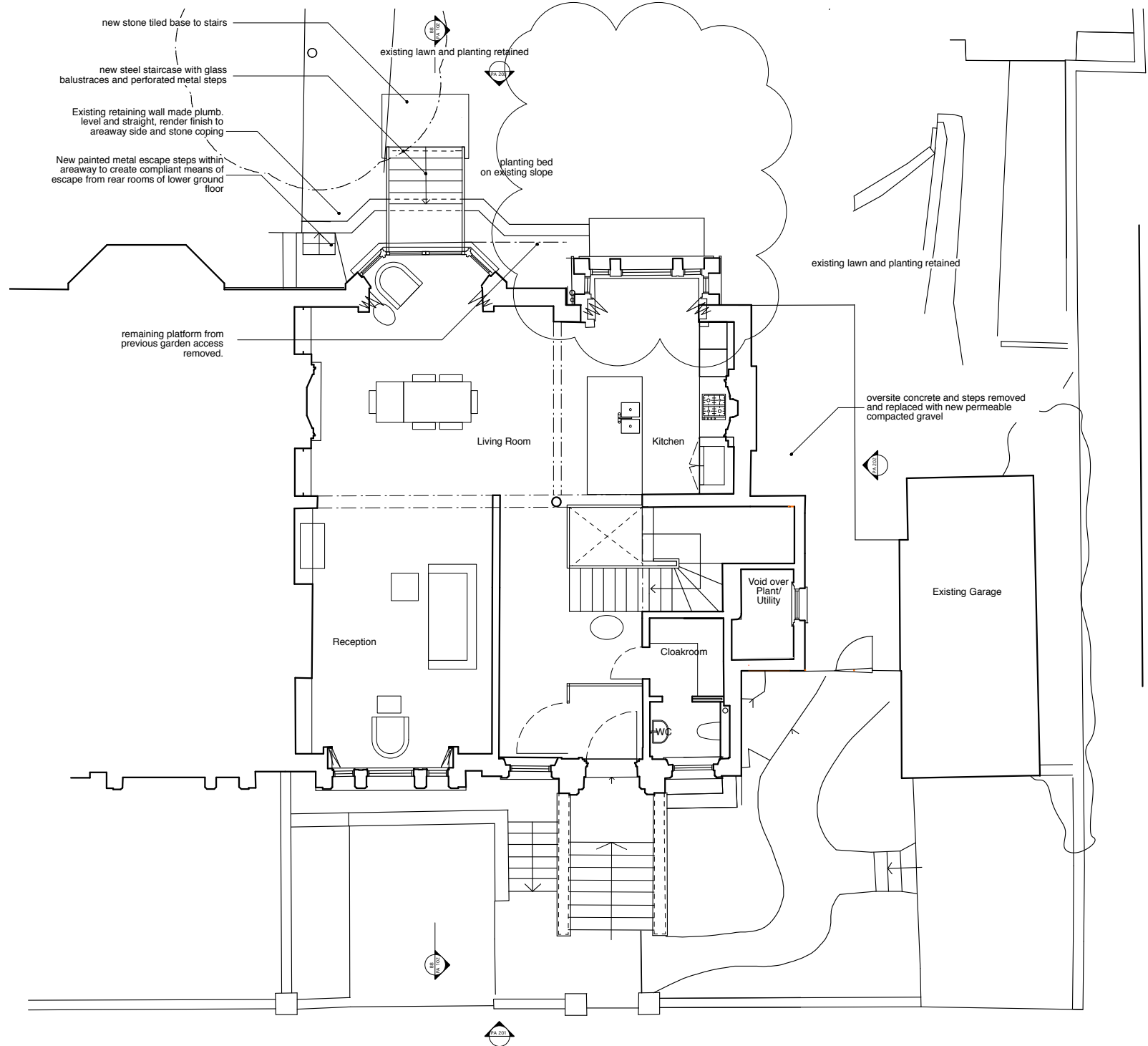


**PROPOSAL DRAWING FROM CONSENT 2020/2194/P  
 FOR INFORMATION PURPOSES ONLY**

Rev	Date	Notes
A	24.07.20	adjusted as per planner's request

<b>robertdye</b>	
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tel: 020 7267 9388	www.robertdye.com
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project 33 Hampstead Lane	project no 291
drawing Proposed Lower Ground Floor plan	scale 1:100 @ A3
	drawn by MC
drawing no PA 001	rev A
	date March 2020
	dwg status planning





Notes

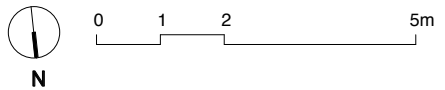
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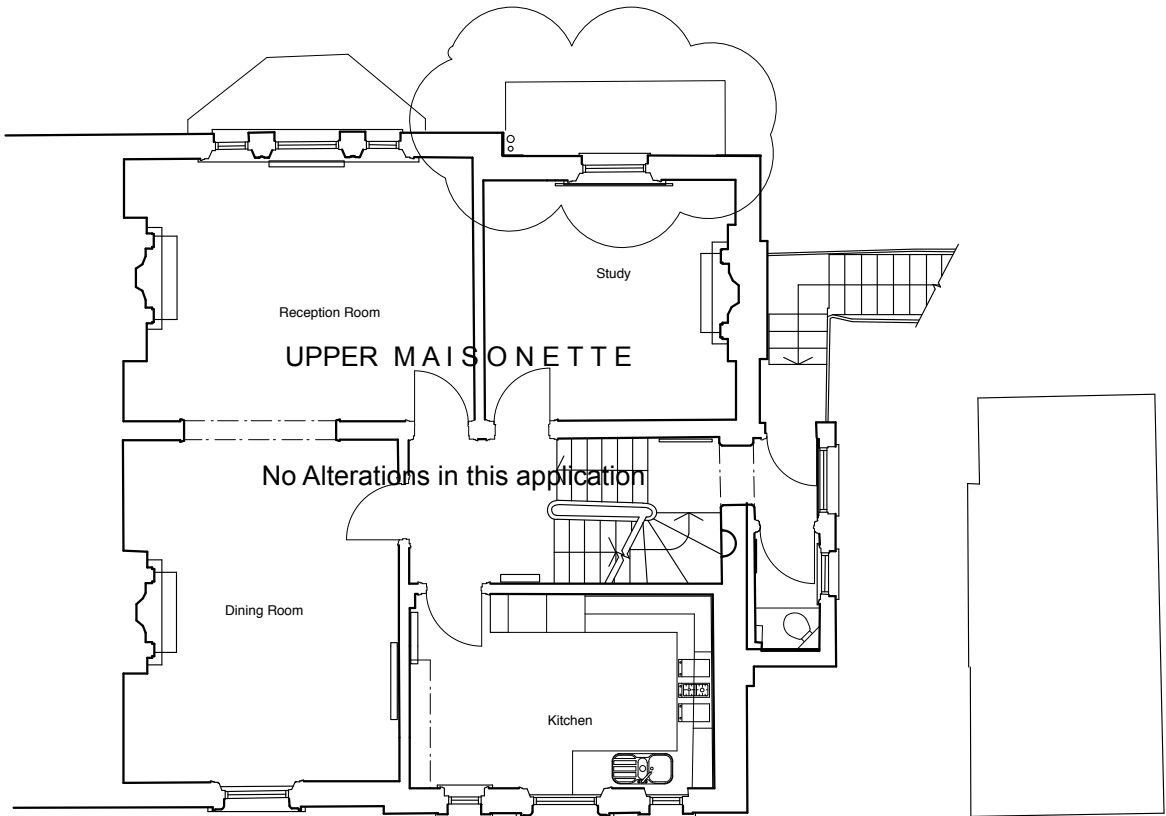
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**PROPOSAL DRAWING FROM CONSENT 2020/2194/P  
FOR INFORMATION PURPOSES ONLY**

Rev	Date	Notes
A	24.07.20	adjusted as per planners request

<b>robertdye</b>	
Robert Dye Architects LLP 4 Ella Mews, Cressy Road London NW3 2NH	
tel: 020 7267 9388	www.robertdye.com
fax: 020 7267 9345	email: info@robertdye.com
project 33 Hampstead Lane	project no 291
drawing Proposed Upper Ground Floor plan	scale 1:100 @ A3 drawn by MC
drawing no PA 002	rev A date March 2020 dwg status Planning



Notes

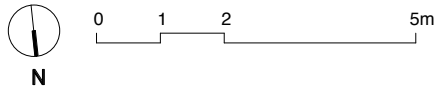
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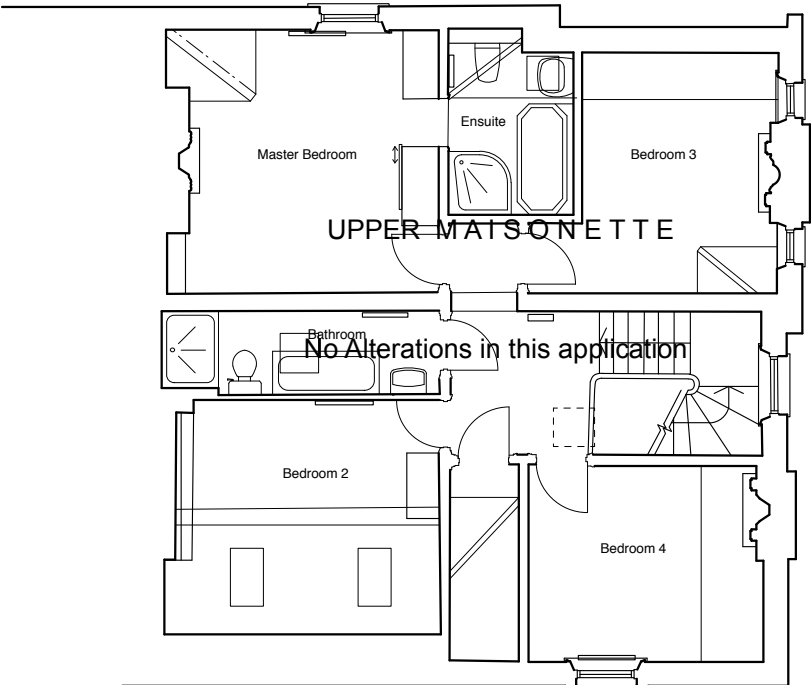


**PROPOSAL DRAWING FROM CONSENT 2020/2194/P  
FOR INFORMATION PURPOSES ONLY**

Rev	Date	Notes
A	23.07.20	revised as per planner's request

<b>robertdye</b>	
Robert Dye Architects LLP 4 Ella Mews, Cressy Road London NW3 2NH	
tel: 020 7267 9388	www.robertdye.com
fax: 020 7267 9345	email: info@robertdye.com
project 33 Hampstead Lane	project no 291
drawing Proposed First Floor plan	scale 1:100 @ A3 drawn by MC
drawing no PA 003	rev A date March 2020 dwg status Planning





Notes

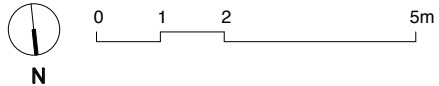
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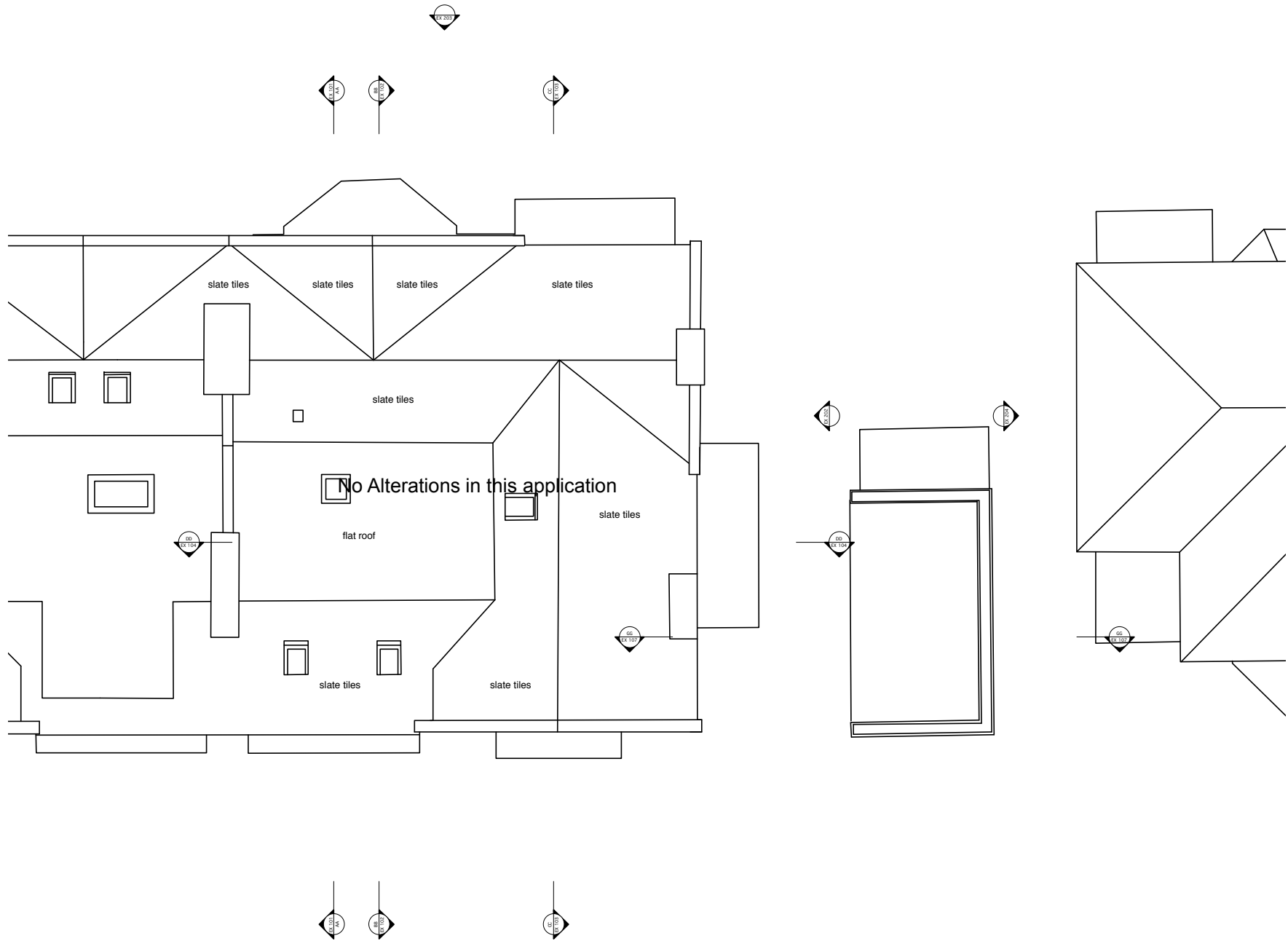
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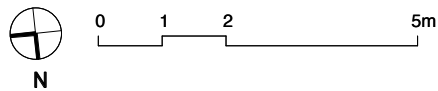
**PROPOSAL DRAWING FROM CONSENT 2020/2194/P  
FOR INFORMATION PURPOSES ONLY**

Rev	Date	Notes

<b>robertdye</b>	
Robert Dye Architects LLP 4 Ella Mews, Cressy Road London NW3 2NH	
tel: 020 7267 9388	www.robertdye.com
fax: 020 7267 9345	email: info@robertdye.com
project <b>33 Hampstead Lane</b>	project no <b>291</b>
drawing <b>Proposed Second Floor plan</b>	scale 1:100 @ A3
	drawn by MC
drawing no <b>PA 004</b>	rev /
	date March 2020
	dwg status Planning



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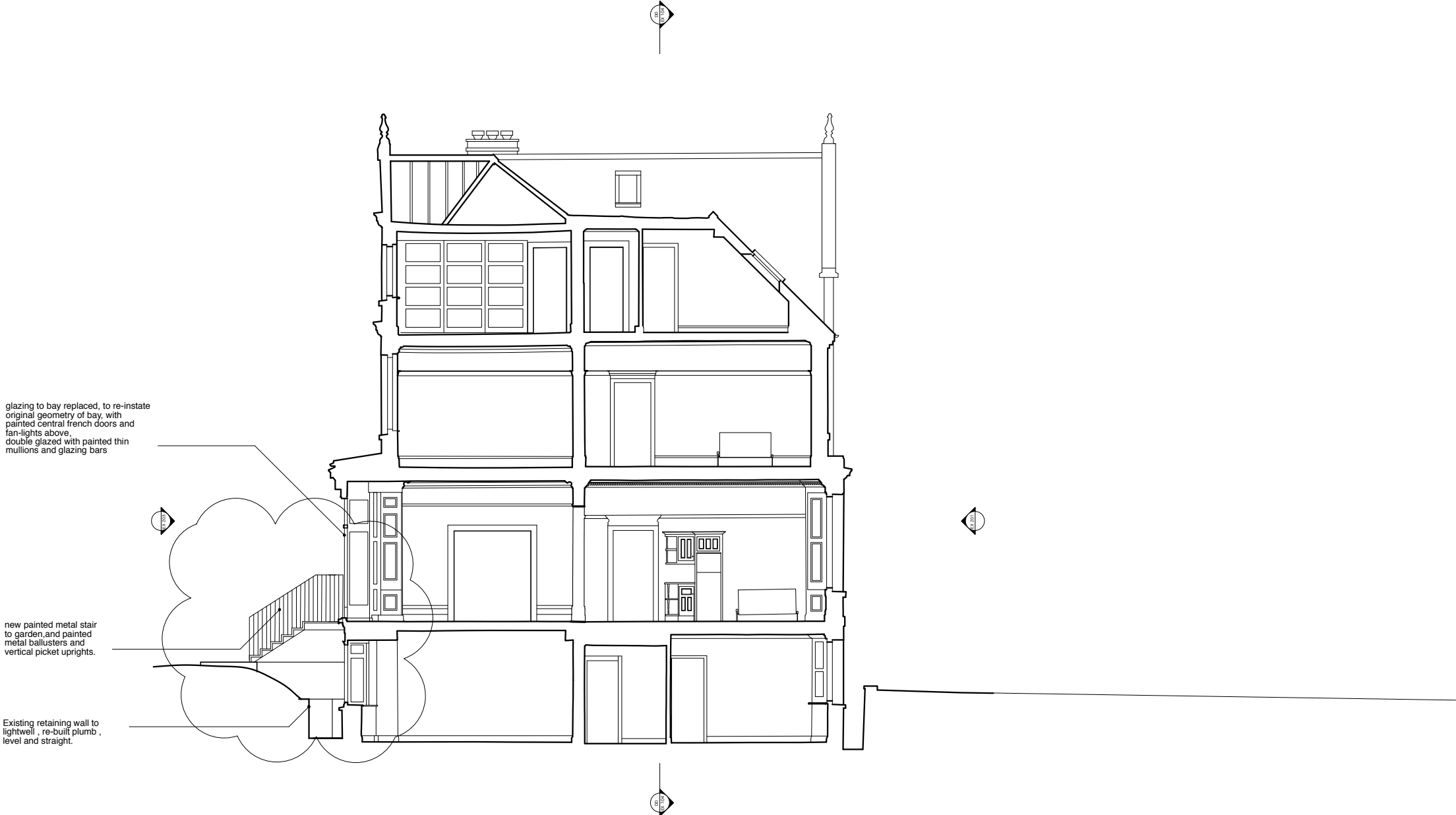


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Rev	Date	Notes

<b>robertdye</b> Robert Dye Architects LLP 4 Ella Mews, Cressy Road London NW3 2NH tel: 020 7267 9388 fax: 020 7267 9345		www.robertdye.com email: info@robertdye.com	
project	33 Hampstead Lane	project no	291
drawing	Proposed Roof plan	scale	1:100 @ A3
		drawn by	MC
drawing no	PA 005	rev	/
		date	March 2020
		dwg status	Planning





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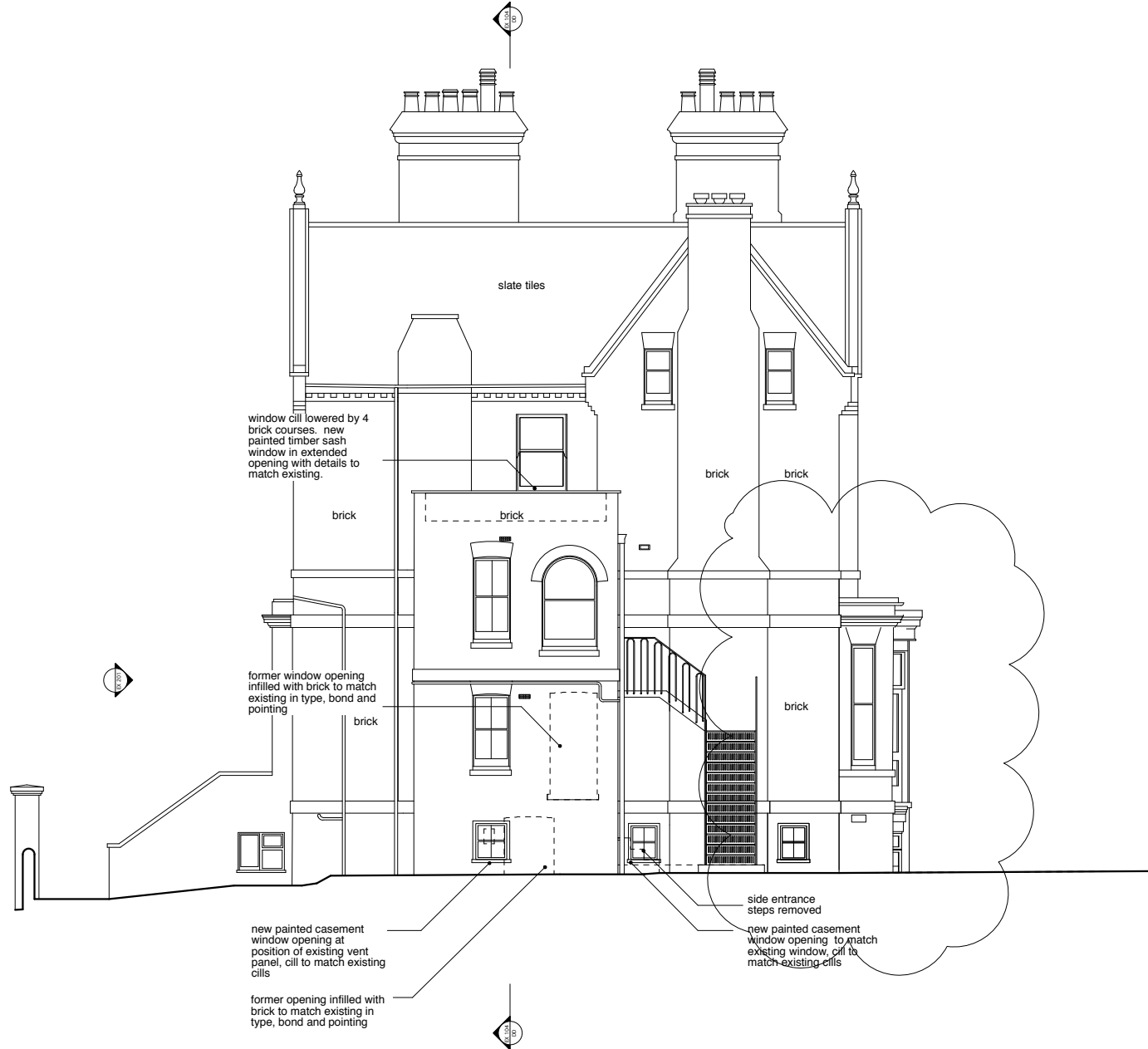
Rev	Date	Notes
A	23.07.20	revised as per planners request

**robertdye**  
Robert Dye Architects LLP  
4 Ella Mews, Cressy Road London NW3 2NH  
tel: 020 7267 9388 www.robertdye.com  
fax: 020 7267 9345 email: info@robertdye.com

project	33 Hampstead Lane	project no	291
drawing	Proposed Section BB	scale	1:100 @ A3
drawing no	PA 102	drawn by	MC
rev	A	date	March 2020
		orig status	Planning







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Rev	Date	Notes
A	23.07.20	revised as per planners request

<b>robertdye</b>	
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tel: 020 7267 9388 fax: 020 7267 9345	www.robertdye.com email: info@robertdye.com
project <b>33 Hampstead Lane</b>	project no <b>291</b>
drawing <b>Proposed Flank Elevation</b>	scale 1:100 @ A3 drawn by MC
drawing no <b>PA 202</b>	rev <b>A</b> date March 2020 dwg status Planning



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tel: 020 7267 9388	www.robertdye.com
fax: 020 7267 9345	email: info@robertdye.com
project	33 Hampstead Lane
project no	291
drawing	Proposed Rear Elevation
scale	1:100 @ A3
drawn by	MC
drawing no	PA 203
rev	A
Date	March 2020
dwg status	Planning