

The Goodenough on Mecklenburgh Square

Listed Building Consent Application

September 2020



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The following document has been prepared by Roz Barr Architects on behalf of Goodenough College. The design narrative summarises the design process currently underway for the refurbishment of 65no. bedrooms and common parts within the Goodenough Club.

The Goodenough Club is a 4 star guest house with a mix of single, double and family suites housed across 5 no. Town Houses and 6 no. Mews Houses. The Goodenough Club, which comprises no. 21-25, forms part of a terrace (no.11-26) of Grade II* Listed Buildings.

This document forms the Listed Building Consent Application submission for consent to refurbish 53no. bedrooms in the 5no. Grade II* Listed Buildings and 12no. bedrooms in the 6no. Mews Houses, which are within the curtilage of the listed town houses.

The town houses have been refurbished over the years to adapt to the requirements of a guest accommodation. For this reason the internal layout of the existing bedrooms varies from room to room.

We have set a detailed design palette that responds to the historic fabric and proportions of the rooms.

The following pages identify the scope of works that we propose and require permission for, the description of the existing condition and the layouts of the proposed bedrooms and common parts.



LISTED BUILDING CONSENT APPLICATION

The Goodenough on Mecklenburgh Square

Roz Barr Architects

THE GOODENOUGH, MECKLENBURGH SQUARE- PRE-APPLICATION
ADVICE RECIEVED JUNE 2019

The following are excerpts from the pre-planning feedback received from Camden Council, with our comments in [blue](#).

SCOPE OF WORKS FOR BEDROOMS:

The scope of works for the bedrooms seem acceptable in general, bearing in mind the following:
Details of radiators to be provided will be required. Details of any additional servicing elements need to be provided.

ELECTRICAL WORKS

Electrical works should be carried out in a sympathetic manner. As with all historic properties the aim will be to work with and respect the elements that make the building significant. That means minimising cabling, minimising impact on significant features of the building and designing with a view to making the design reversible. Any affected lime plaster must be replaced ‘like to like’.

HE say, ‘Works should be carried out in such a way as to not damage or should minimise the loss of, and permanent scarring to, historic fabric (such as old walls, floors or ceilings). You should only carry out the minimum amount of work that involves disturbing existing historic fabric. Where such work is needed, keep as much of the original fabric as possible and position any new or additional items discretely where possible and where their function is not compromised.’

Please refer to HE’s Guidance on ‘Installing Heating, Electrical or Other Services’ at <https://historicengland.org.uk/advice/your-home/making-changes-your-property/types-of-work/installing-services/>
The SPAB advises that electrical contractors are NICEIC-registered and, just as important, have experience of working on old buildings. Major electrical work should be overseen by a suitably qualified consulting mechanical and electrical (M&E) engineer. SPAB’s guidance can be found at <https://www.spab.org.uk/advice/electrical-installations>

LIGHTING

Light fittings must be sympathetic to the historic context of the building. Pendant and surface mounted lighting is considered to be sympathetic to historic buildings and is encouraged.

Ceiling mounted LED spot lights (Surface Mounted): There appear to be several proposed in rooms which will be detrimental to the historic and visual character of spaces, if installed within the historic fabric of the listed building. Light fittings must be sympathetic to the character and appearance of the room and must aim to preserve and enhance the character of the room. The usage of spotlights must be kept to a minimum as they do not contribute to the historic character of the building. They can, however, in cases be permitted on non-original ceiling fabric i.e., non-historic and in less significant rooms and in any case, away from windows.

[Noted. Surface mounted LEDs are now proposed only to rooms on lower ground, 2nd, 3rd and 4th floors-with non-original ceilings. Surface mounted lighting is kept to the centre of the plan, at the entrance to rooms and away from windows.](#)

– Details of light fixtures designs, installation methods and how related services, cabling and maintenance details for instance are to be provided. Lighting and any associated services should aim to be integrated within the existing fabric to avoid or minimise harm and methodologies to mitigate any impact must be provided. The lighting design strategy must minimise the amount of cabling and switches. An automation package can be possibly explored.

PANELLING

In principle, it is recommended that the rooms at principal levels and their significant features, including the ground floor and ‘piano nobile’ level are preserved to the maximum extent. Proposed interventions must be kept to a minimum at these levels and any significant joinery must not be affected by the proposals, for example, the boxing in of the skirting will not be supported at this level. Historic joinery and significant architectural features will need to remain visible as they contribute to the significance of the rooms and therefore to that of the listed building. There may be slightly more flexibility at the less principal levels i.e., upper levels, basement.

The general design of the proposed panelling is considered to be sympathetic to the historic building. However, the treatment applied would need to be treated on a ‘room by room’ basis depending upon the significance of the rooms as identified. As mentioned earlier, new panelling must not conceal historic architectural features (including skirting). In rooms of historic significance, it is recommended that panelling/treatment is kept to a minimum, primarily to only two walls, one to the wall including the headboard and one other wall (including the tea point, storage etc.)

[Proposed panelling is omitted from walls that contain specific historic features, such as original fireplaces or decorative window frames/ panelling. This relates primarily to rooms on ground floor and piano nobile.](#)

[In general, new panelling is proposed only to walls which integrate bed/ headboard and associated electrical fittings. In-built joinery has been avoided where possible, specifically on principal levels that contain significant architectural features. Freestanding joinery items, such as desks and wardrobes, are proposed to rooms containing historic architectural features, ensuring that original skirting is left untouched.](#)

Emphasis should be placed on maintaining the legibility of the original room proportions and features. Any panelling should stop well below the picture rail of a room, and no more than just above the lintel level, to maintain visibility of historic joinery. For example, the ‘Fixed Overhead Panelling’ (or Overhead Storage cupboards) proposed in Room 101 and 102 (House 21) at Ground Floor will not be supported, in addition to the wall to the right of the door (in 101), as they deteriorate and detract from the significance of the room’s historic features. Intervention must be kept to a minimum to preserve the significance of the room. The number of mini ‘partition walls’ proposed must be reduced, for example, the Tea Point may not need a wall to enclose it. Furniture in a sympathetic style to be integrated within the rooms can act as partitions or dividers themselves and this approach could be explored in more detail.

Room 501 in the Ground Floor: Can the overhead panelling be removed to expose the picture rail?

[We agree that emphasis should be put on maintaining the original features and proportions of the rooms, specifically at ground and ‘piano nobile’ levels. As such, the fixed overhead panelling and partition walls in room 101 and 102 have been omitted in the revised design. However, the existing overhead panelling in room 501 formed part of works that were approved as part of a listed building consent application on 25 February 2015 \(Application ref. 2014/7708/L\). Removal of overhead panelling does not form part of the project scope and is not included in this application.](#)

Any additional picture and dado rails must match the profile of original existing fabric and these details must be provided at application stage.

removing the skirting from within, as this will also enhance the significance and add to the quality of the rooms. Can these be reinstated and improved in an appropriate manner, exposing hearths where possible? A photographic condition survey and significance assessment of existing fireplaces within the building is required and any related strategy and proposals should be set out.

– It is recommended that an application for every house is dealt with separately in order to control and manage forthcoming information effectively and to expedite the application process.

[The five listed buildings are connected at lower ground and third floor, and have functioned under one use for a number of years \(21-25 Mecklenburgh Square\). In addition, nos. 11-26 Mecklenburgh Square are statutorily listed under a single entry. The proposed works relate to the building function as a whole - the hotel use - therefore we see no benefit in submitting five separate applications for Listed Building Consent. However, for ease of legibility, we have grouped the proposals house by house \(Appendix 2.3\).](#)

SCOPE OF WORKS FOR COMMON AREAS:

Treatment of the Entrance Hall: The chequered tiled floor finish is inappropriate. A more traditional floor finish must be proposed. It is welcomed that the existing unsympathetic wall mounted lights will be replaced. Light fittings are recommended to be of a sympathetic style to the listed building.

[Pendant and wall mounted light fittings will be sympathetic to the historic character of the building, details are included in this report. Existing carpets will be removed and new carpets are proposed.](#)

Can the additional handrail in the staircase be removed?

[Removal of the staircase handrail will not form part of this application.](#)

Corridor Areas: The scope suggests only wall mounted and pendant light fittings, however, the drawings seem to indicate ceiling mounted spot lights. Clarification is sought from the applicant. As mentioned above, Ceiling Mounted Spot Lights in the Corridor Areas, if proposed, are inappropriate to the historic and visual character of the building and installing several can cause adverse visual impact to significant historic interiors of the building. A more appropriate style of lighting is recommended to be explored. There may be some scope to install these in non-historic ceilings or less significant rooms.

Railings on the Roof-Top: Can this be removed as it is detrimental to the character and appearance of the listed building? Removing this will be of heritage benefit to the building.

[The roof top railing is currently required for protection from falling for roof access. It is not part of the project scope to revise the roof maintenance strategy and, as such, we cannot include alterations to the railing in this application.](#)

Details of ironmongery to be provided.

REQUIRED:

A Heritage Statement is required to support the proposals. This should include an assessment of the significance of the affected

1.2

INTRODUCTION
Pre-planning Feedback

rooms and how the proposals impact their significance, a justification of the proposals as set out in the NPPF, also supported by a photographic survey.

A Detailed Photographic Survey of each room is required of architectural features, ceilings, floors giving details if a feature is historic/later addition, to support the Heritage Statement.

A Design and Access Statement and Schedule of Works to support the proposals.

[For Schedule of Works see Appendix 1.0](#)

Methodologies for Electrical Works, Lighting, any changes proposed to Doors, Windows and Fireplaces will be required.

[Methodologies are included in section 4.3](#)

Drawings of all internal elevations of rooms affected and relevant details provided in an appropriate scale.
Internal alterations and extensions to a listed building
Submit existing and proposed internal elevations affected by proposed works at scale 1:50.
Submit existing and proposed sections in cases involving the removal or insertion of floors, ceilings, and alterations to staircases.
Submit drawings of new or replacement architectural features, for example joinery and cornices, at a minimum scale of 1:20.

[A comprehensive photographic survey will be included in the application and will illustrate the existing condition of all rooms. Layouts and internal elevations of all rooms affected by proposals are included. \(Appendix 2.0\)](#)

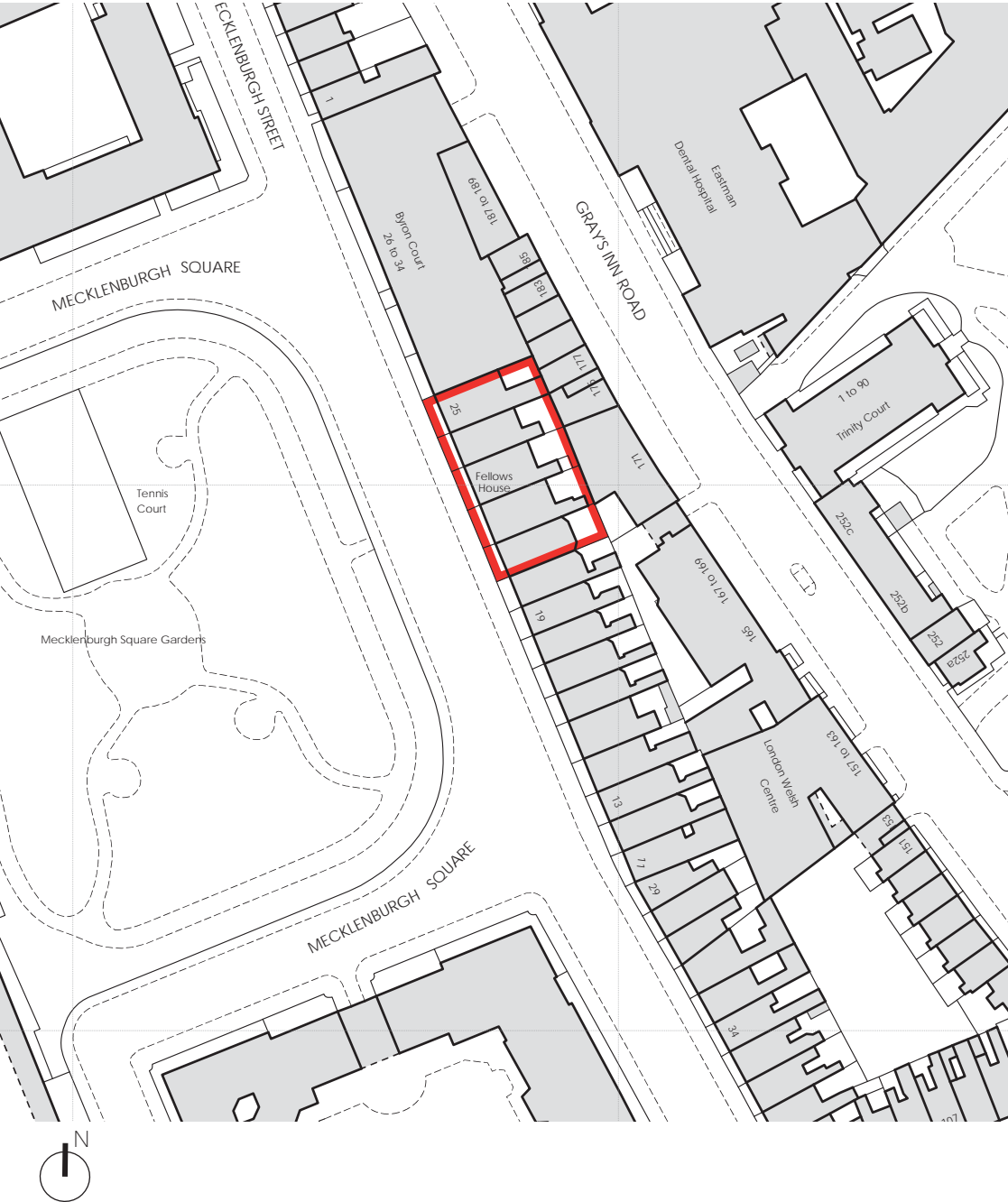
The 65 bedroom Club has just been re-branded as The Goodenough on Mecklenburgh Square. The aim of the bedroom and common parts refurbishment is to improve the current accommodation.

Summary scope of the works for the bedrooms:

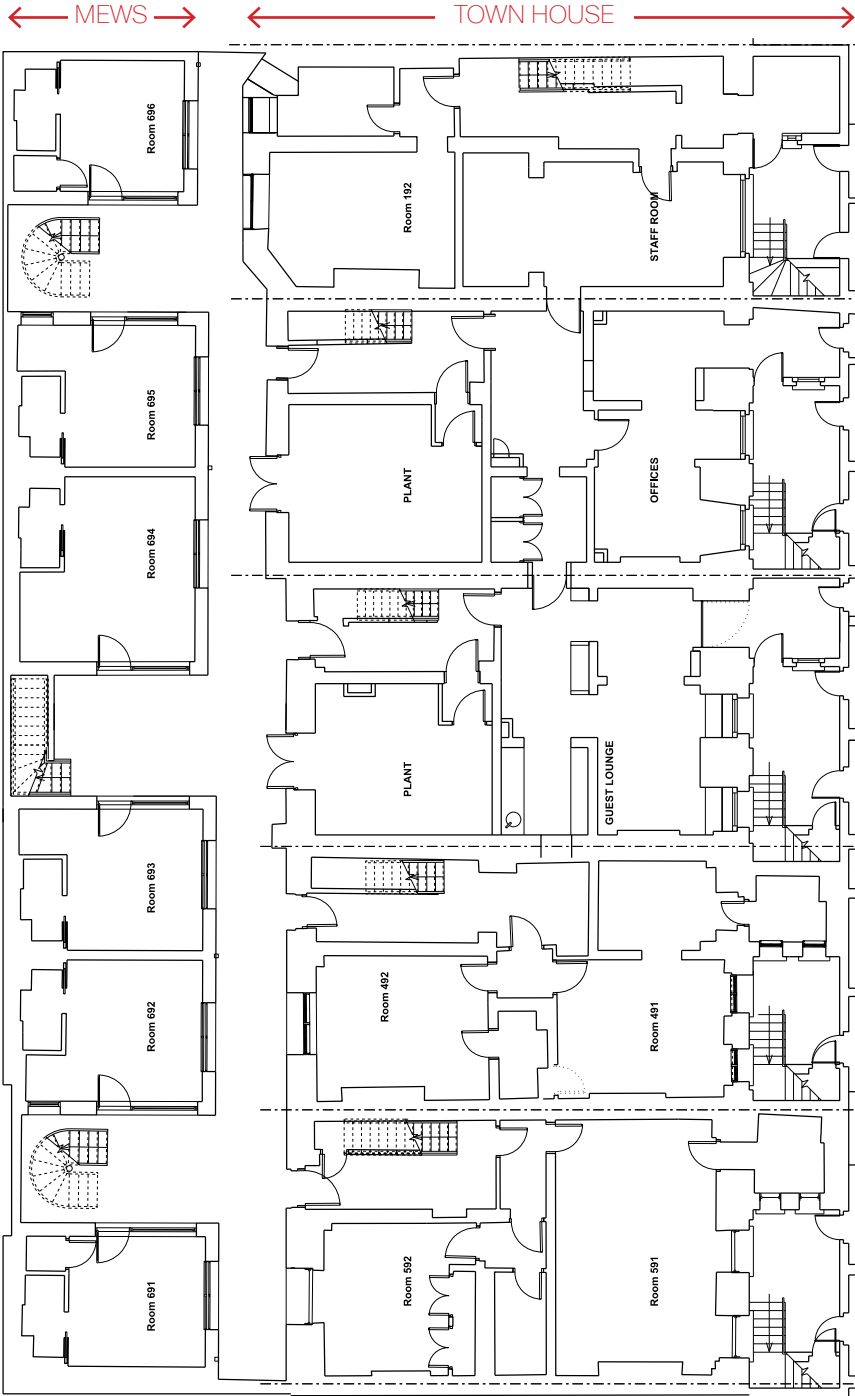
- Removal of existing floor finish (carpet) and soft furnishing (curtains). The subfloor (timber board over existing timber floor board) has been repaired in a piecemeal manner over time. The original timber floor boards have been removed and patched in places. The subfloor will be repaired as required but the original floor board will not be reinstated. This will be concealed under new carpet.
- Replacement of radiators.
- Electrical work to improve existing electrical installation and adapted to suit new power and data installation.
- Replace and reposition light fittings. These will be surface mounted not recessed.
- Addition of new panelling to sit in front of existing walls and skirting on walls containing bed headboard and walls containing in build desk. Skirting will be retained. This panelling forms part of the fitted furniture.
- Addition of planted picture and dado rails.
- Addition of decorative vertical timber battens on certain walls, spanning between picture rail and dado/skirting.
- General decoration of existing woodwork to window casements, doors and door frames and existing planted woodwork such as skirting, dado and picture rails.
- Some rooms conserve original panelling under the window sills. This will be retained and re-decorated.
- A number of rooms have existing fireplaces (Mantel piece and mantel leg/side pillars). In some cases these are original. There are no remaining existing hearths or fire boxes. All have been infilled and have a ventilation grille which will be replaced (this is not an original feature).

Summary scope of works for the common parts:

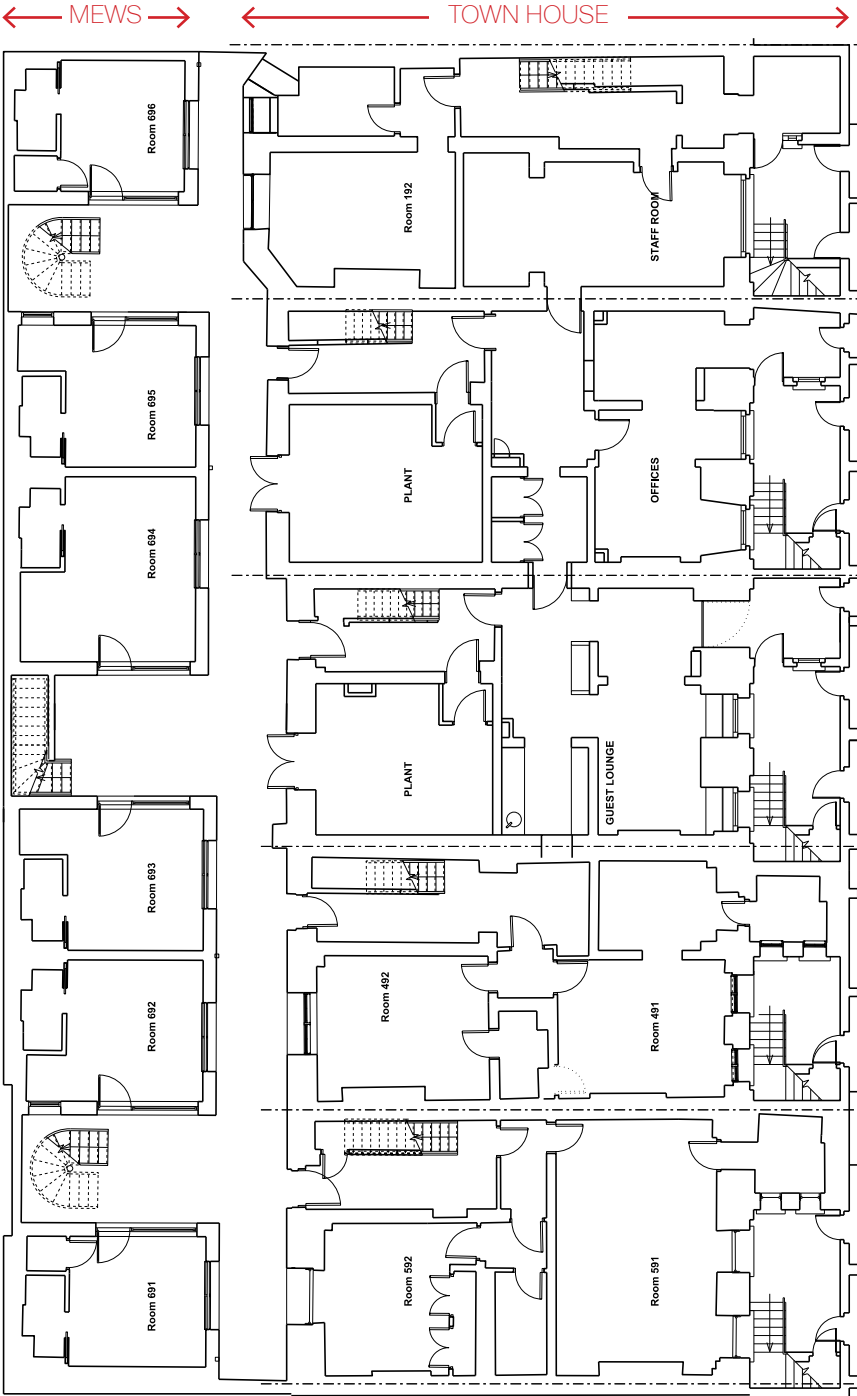
- Entrance and main staircase:
- Removal of existing carpet
 - Expose and repaint existing stair
 - New carpet runner on stair
 - New carpet and doormat in vestibule
 - New curtains
 - Repaint walls (colour TBC)
 - New wall mounted and pendant lights
- Guest lounge (House 23 only):
- Remove existing carpet
 - Expose and repaint existing stair
 - New carpet
 - New timber floor in guest lounge
 - New curtains
 - Repaint walls (colour TBC)
 - New wall mounted and pendant light fittings
 - New furniture
- Bedrooms corridor and stairs:
- Remove existing carpet
 - New carpet
 - Strip and repaint existing woodwork
 - Replace existing signage and ironmongery
 - Repaint walls (colour TBC)
 - New wall mounted lights



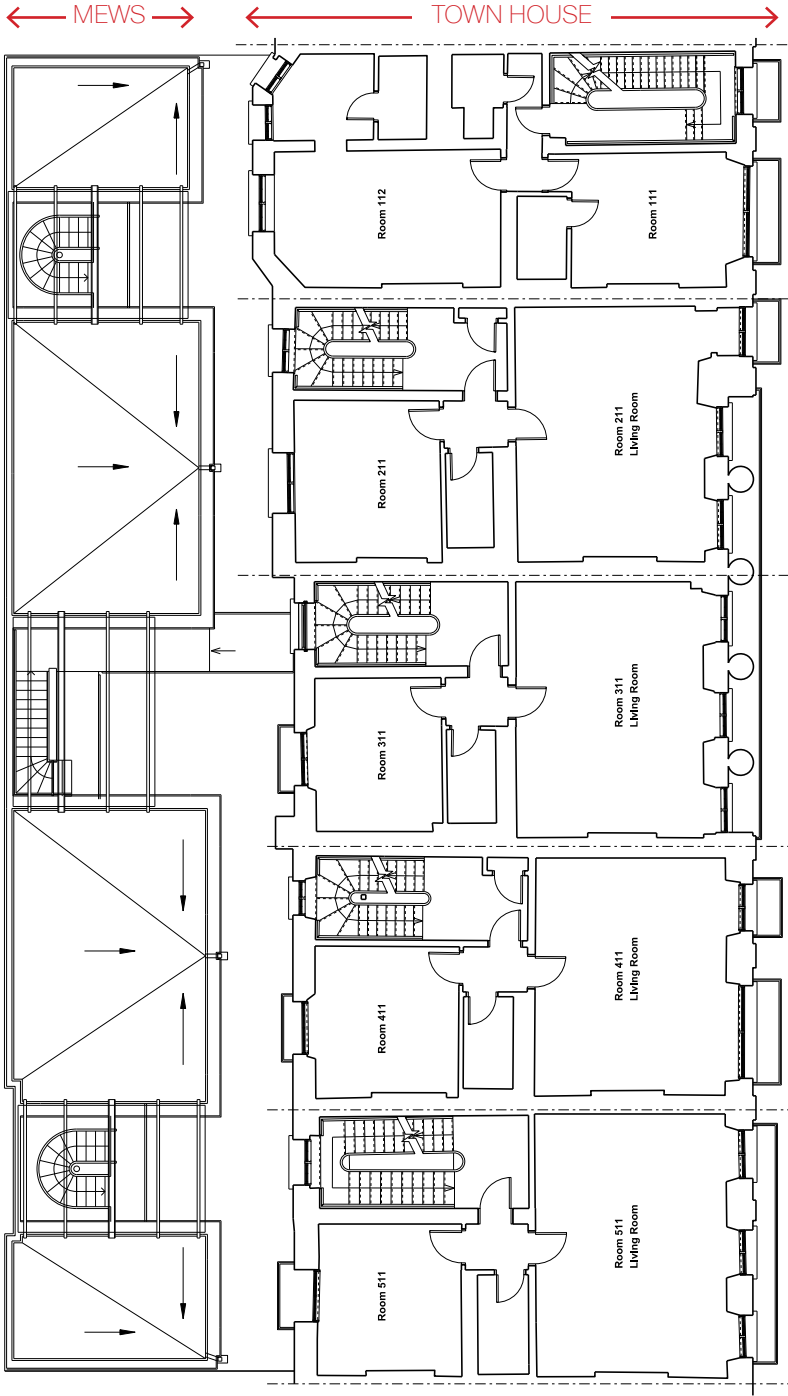
The following plans show the existing layout of the 5no Town Houses and 6no Mews Houses.



LOWER GROUND FLOOR



GROUND FLOOR



House 21

House 22

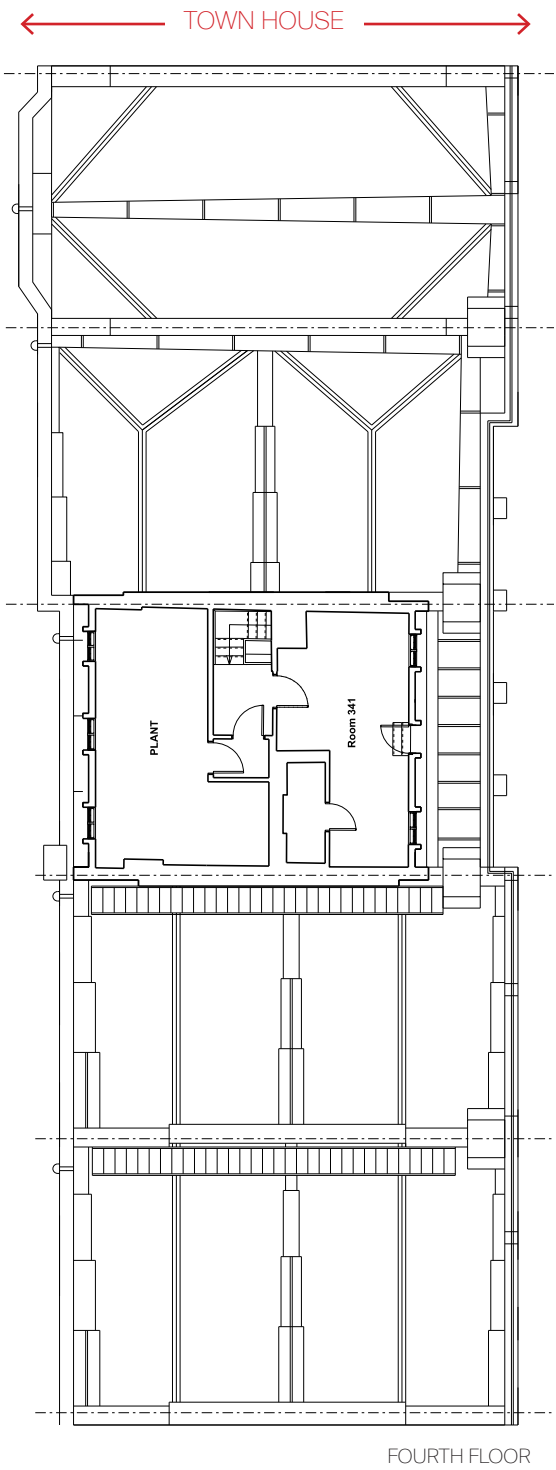
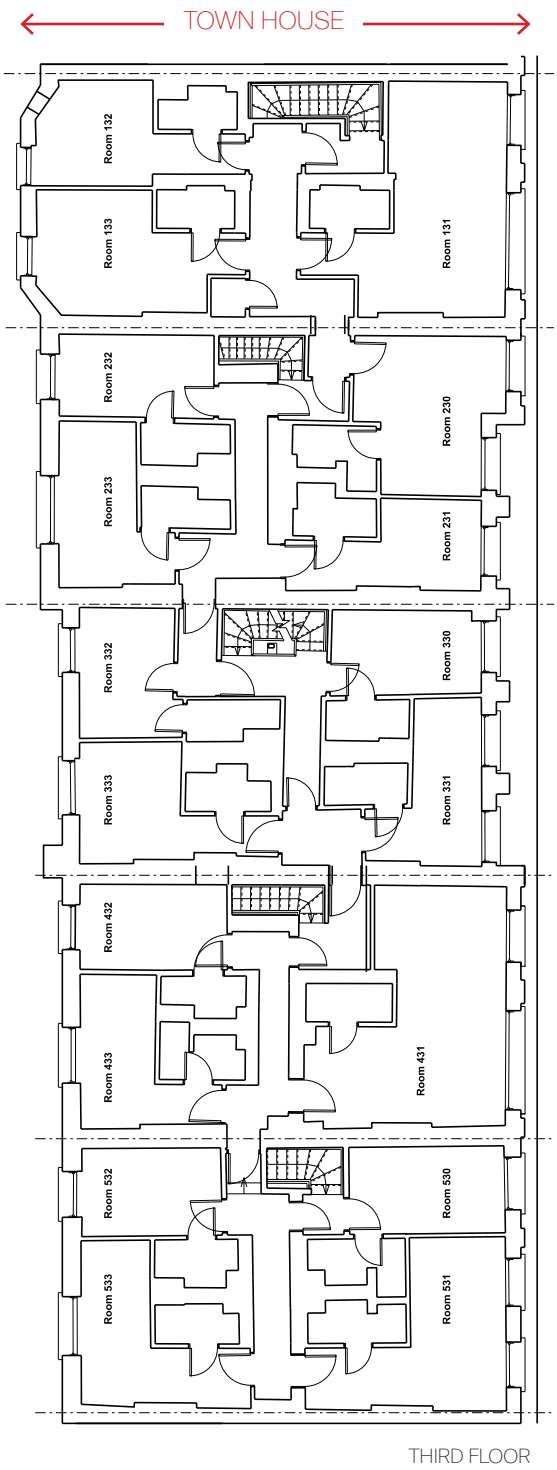
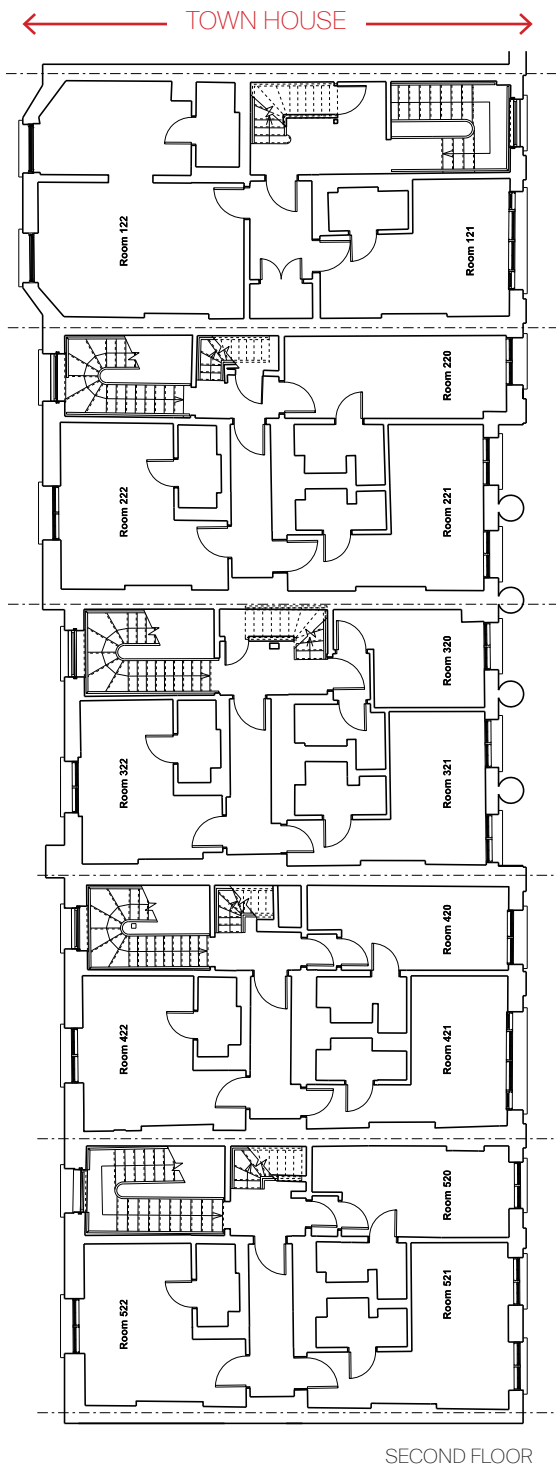
House 23

House 24

House 25

FIRST FLOOR





House 21

House 22

House 23

House 24

House 25



Existing Condition

The existing bedrooms have been redecorated in the last 15 years. As such, the fixtures and fittings are contemporary and of no architectural or historic merit. The refurbishment of the Goodenough Club bedrooms forms part of the ambition of the club to maintain and improve their star-rating in the current competitive market. The Goodenough Club offers

high standard accommodation in the historic Mecklenburgh Square, right in the heart of Bloomsbury Conservation Area. The bedrooms are dated and in need of redecoration in order to meet the standards of the recently decorated bathrooms.

The refurbishment works proposed will be carried out within the footprint of the existing bedrooms without affecting the enclosing walls or adjacent bathroom finishes. A survey of the bedrooms has revealed opportunities to maximise space available within the existing footprint.







Entrance hall



Main staircase



Staircase to bedrooms



Bedroom corridor

Summary of Proposals

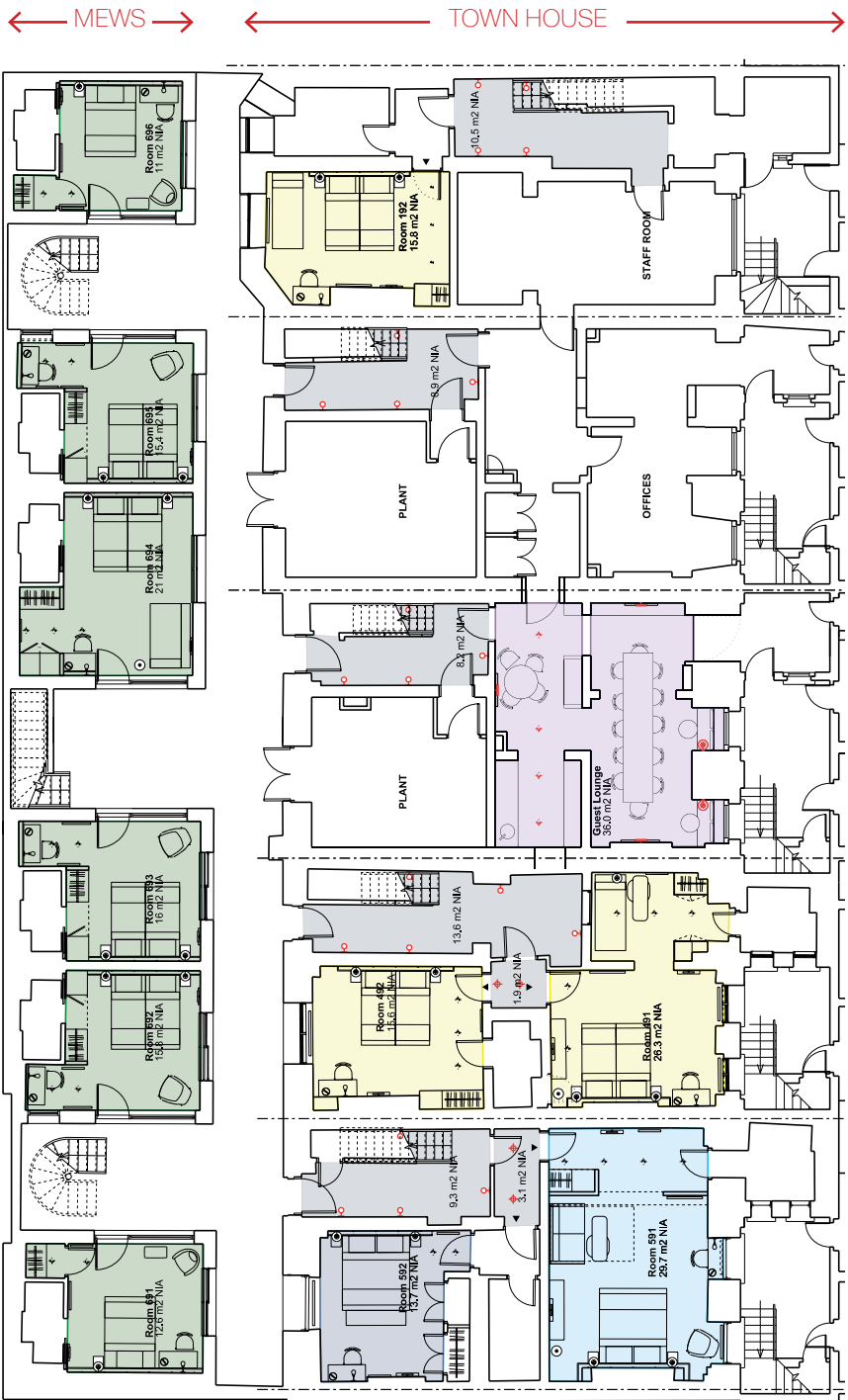
The refurbishment works proposed to the 65 no. bedrooms (47 no. general bedrooms, 4 no. Garden Rooms, and 12 no. mews bedrooms). will be carried out within the footprint of the existing bedrooms without affecting the enclosing walls or adjacent bathroom finishes.

The scope of works also includes necessary upgrades to the existing services- including general rewiring of all electrical, lighting, data and television points in the rooms and key common areas of the building, and installation of solar film and blinds to the rooms facing onto the

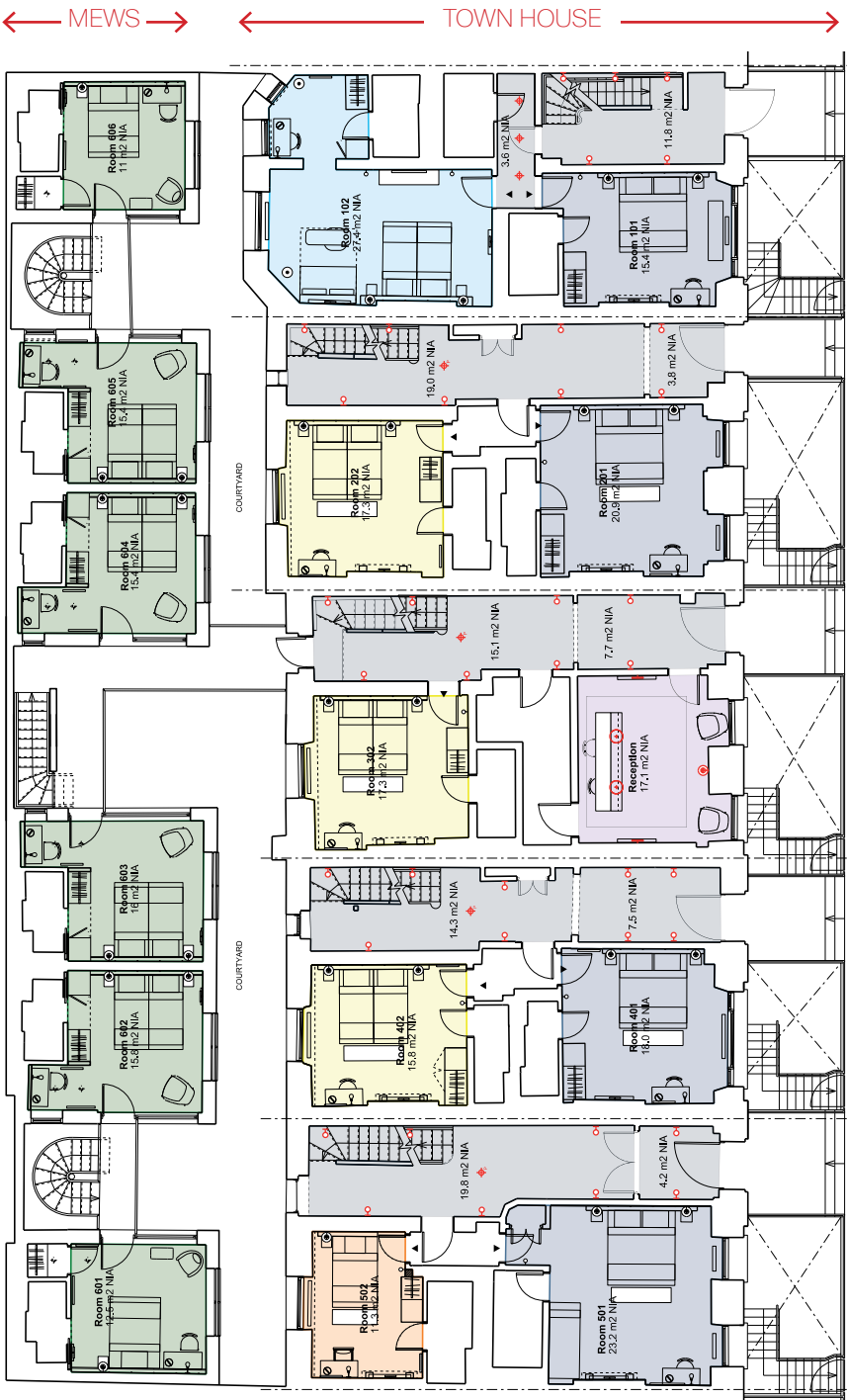
Mecklenburgh Square to reduce solar heat gain. The proposed bedroom refurbishment works will include new carpet, radiators, rewiring of all electrical, data and television points, new light fittings (surface mounted not recessed) and soft furnishings

4.1
PROPOSED PLANS
Lower Ground to First Floor

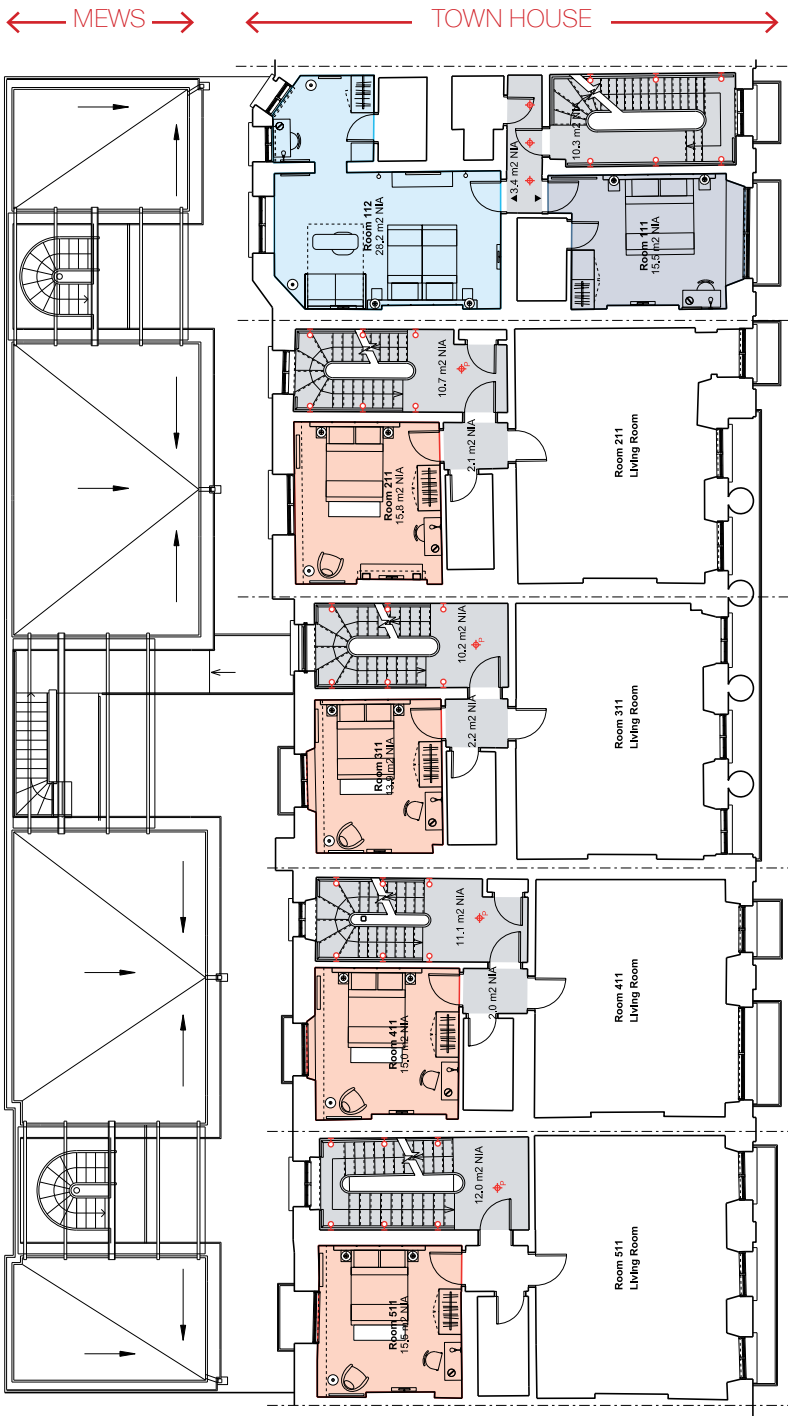
sympathetic to the historic character of the rooms. The upgrades will include addition of new panelling to sit in front of existing walls, which will integrate fitted furniture- beds and bedside tables. Rooms are re-painted up to picture rail height using a historic colour palette.



LOWER GROUND FLOOR



GROUND FLOOR



House 21

House 22

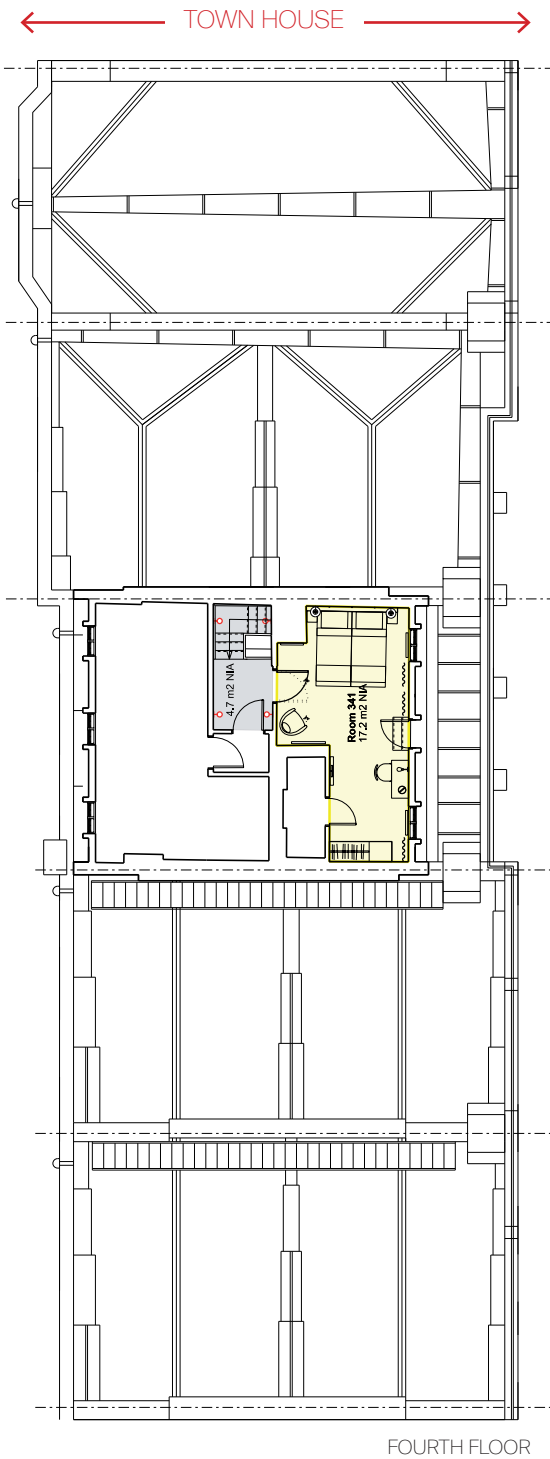
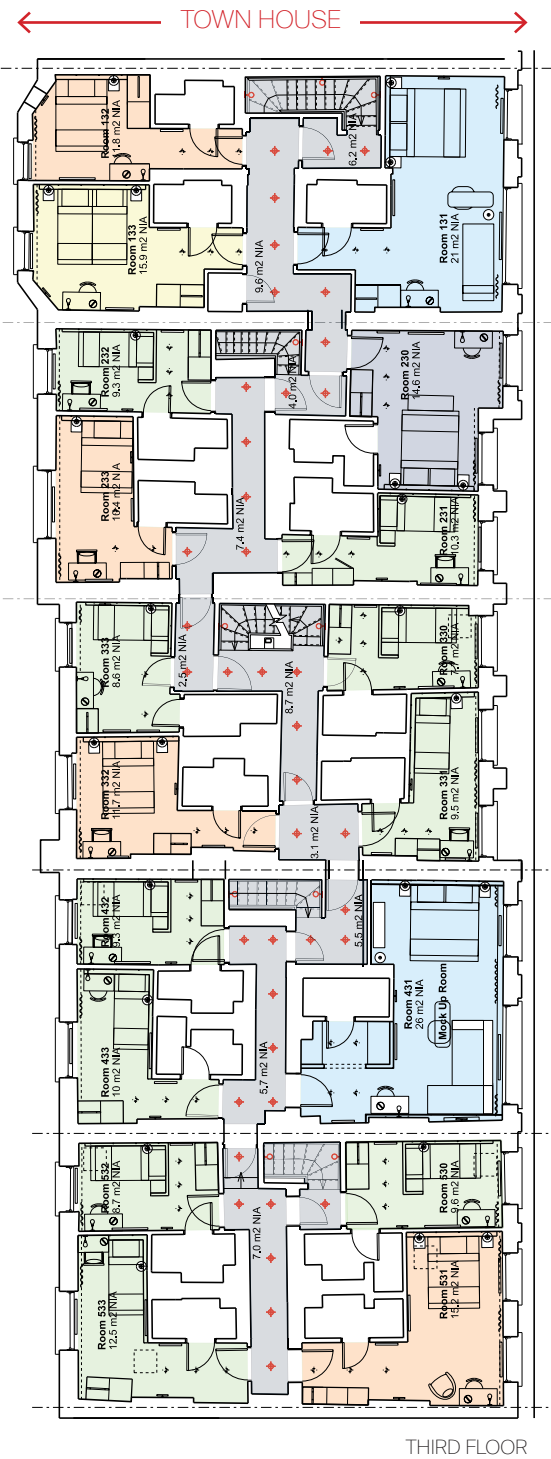
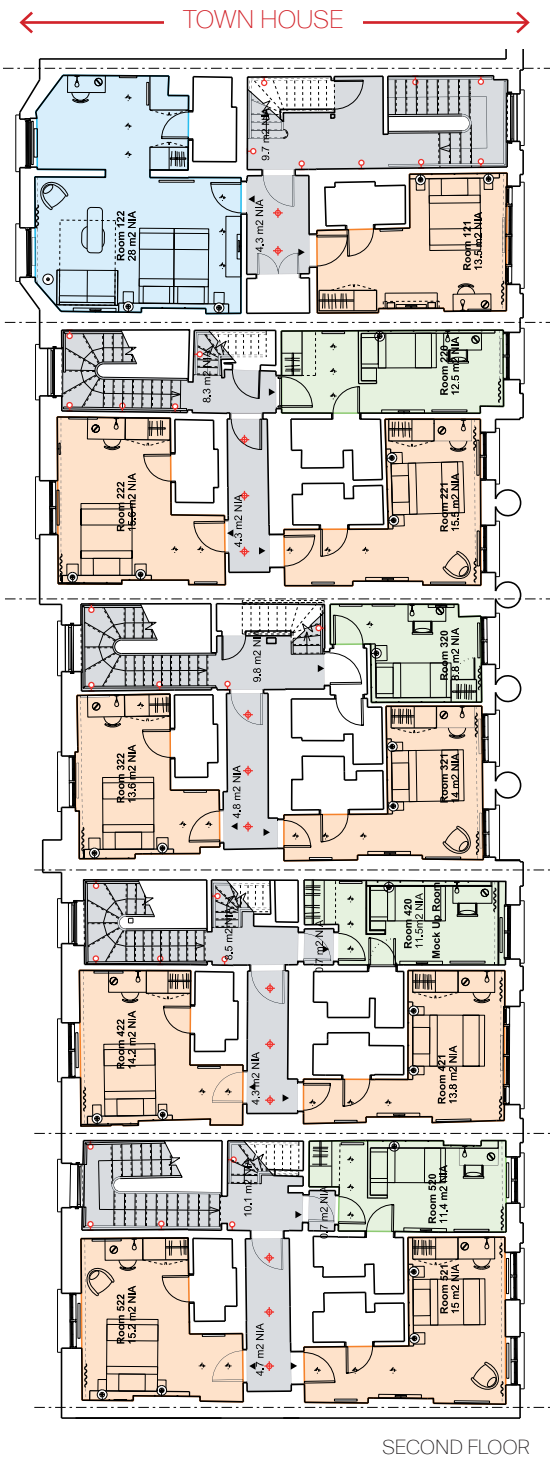
House 23

House 24

House 25

FIRST FLOOR





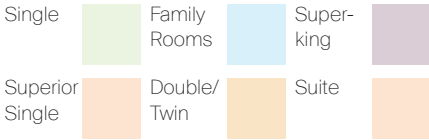
House 21

House 22

House 23

House 24

House 25



Summary of Proposals (Bedrooms i)

Room 402 is an example of the refurbishment of a typical ground floor bedroom, all of which feature; high ceilings, decorative cornices and large windows with original panelling.

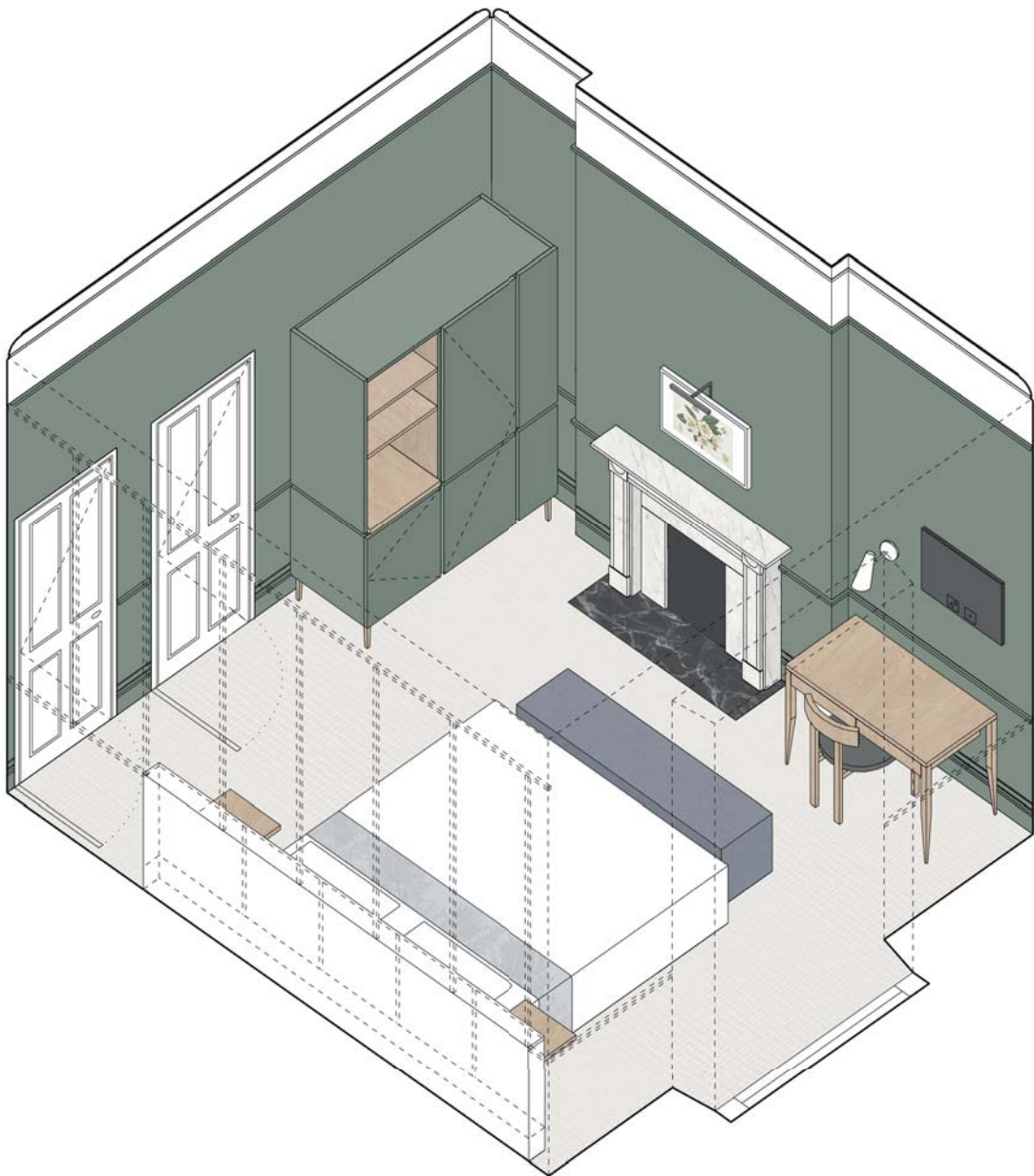
Historic joinery and significant architectural features, will be conserved and restored, in particular woodwork to window casements, doors and door frames and existing planted woodwork. Original panelling under

the window sills will be retained and re-decorated. These rooms will include new dado rails and decorative vertical timber battens on walls featuring bed / headboard, spanning between picture rail and panelling.

Most ground floor bedrooms have existing fireplaces (mantelpiece and mantel leg/side pillars). In all cases hearths will be reinstated, and where applicable, a contrasting marble insert will be added within the

mantelpiece in place of the firepit which has been removed.

Panelling is limited to the wall containing the bed / headboard which integrates bedside tables and electrical fittings. A freestanding desk and wardrobe complete the bespoke joinery in these rooms.



View of West corner of room



View of East corner of room

Summary of Proposals (Bedrooms ii)

Room 411 is an example of the refurbishment of a typical Garden Room (suite). Coupled with a living area facing onto Mecklenburgh Square, the garden rooms feature high ceilings, decorative cornices and Juliette windows.

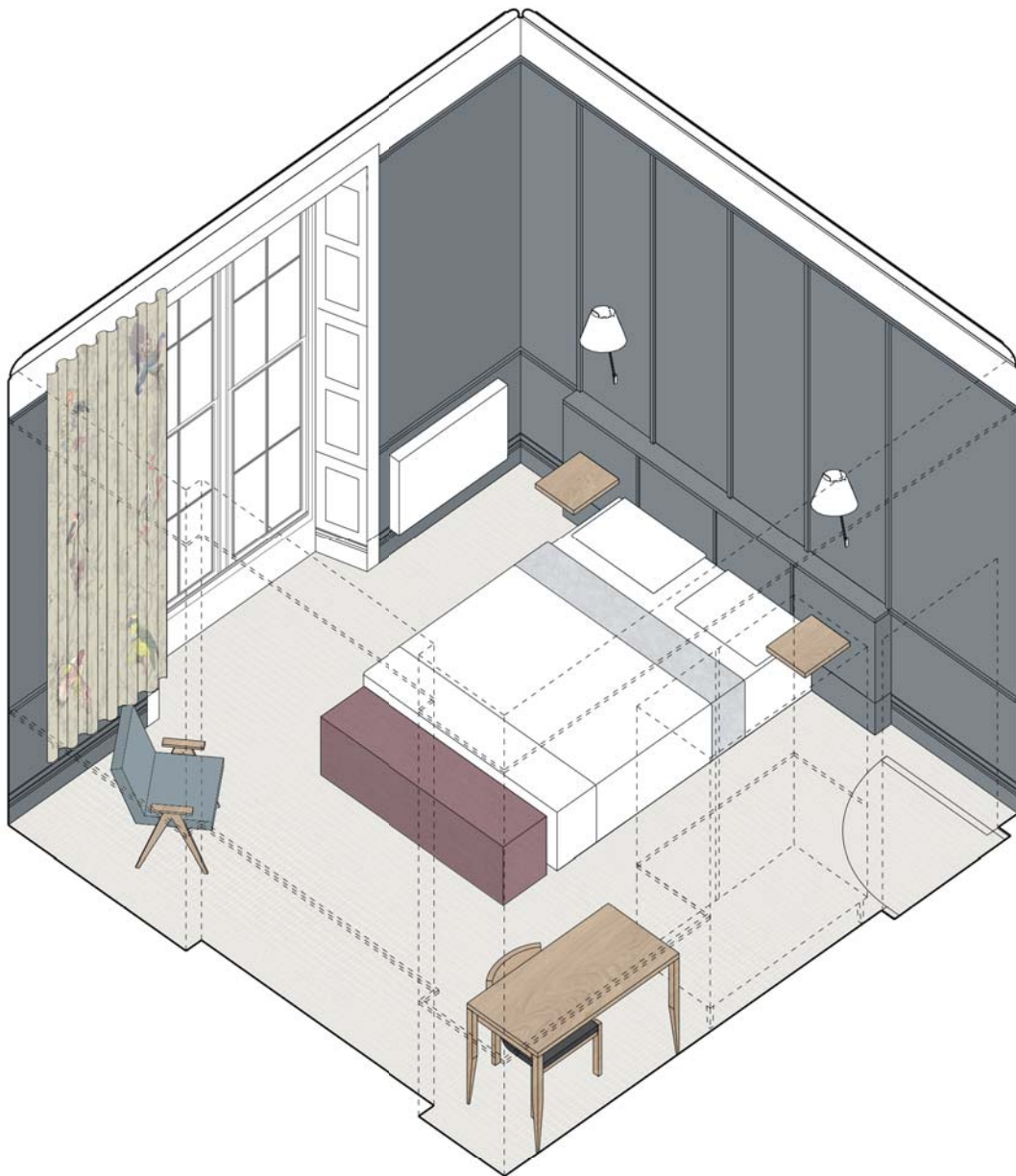
Similarly to the ground floor bedrooms, historic joinery and significant architectural features, will be conserved and restored, in particular woodwork to window casements, doors and door frames and existing

planted woodwork. Original window panelling will be retained and re-decorated. These rooms will include the addition of dado rails and decorative vertical timber battens on walls behind headboard panelling, spanning between picture rail and panelling.

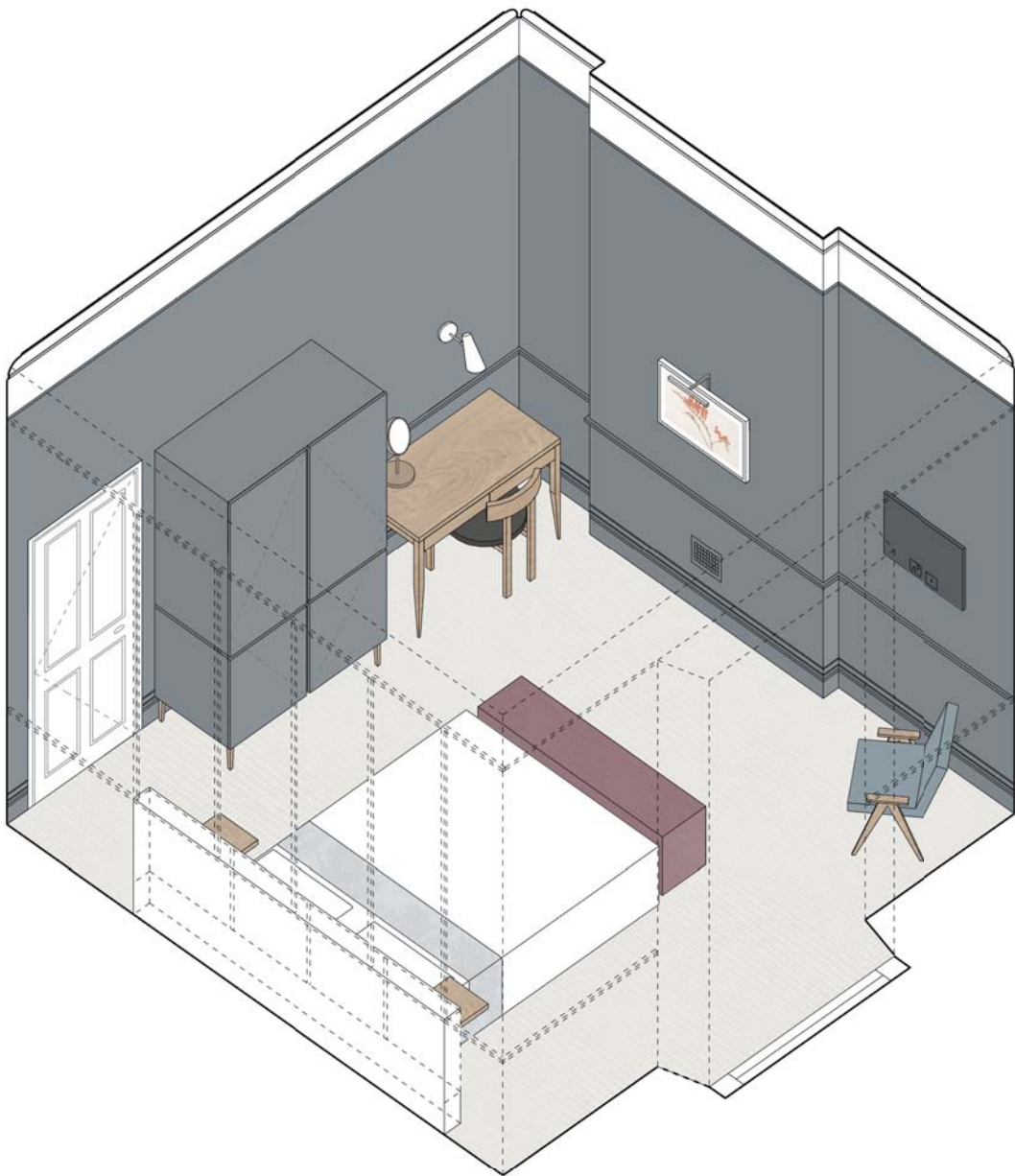
Only one Garden Room contains an existing fireplace . In this case the hearth will be reinstated and a contrasting marble insert will be added within the mantelpiece. The other Garden Rooms contain existing

plastic chimney vents which will be replaced with new vents, painted to match the proposed wall colour.

Panelling is limited to the wall containing the bed / headboard which integrates bedside tables and electrical fittings. A freestanding desk and wardrobe complete the bespoke joinery in these rooms.



View of East corner of room



View of West corner of room

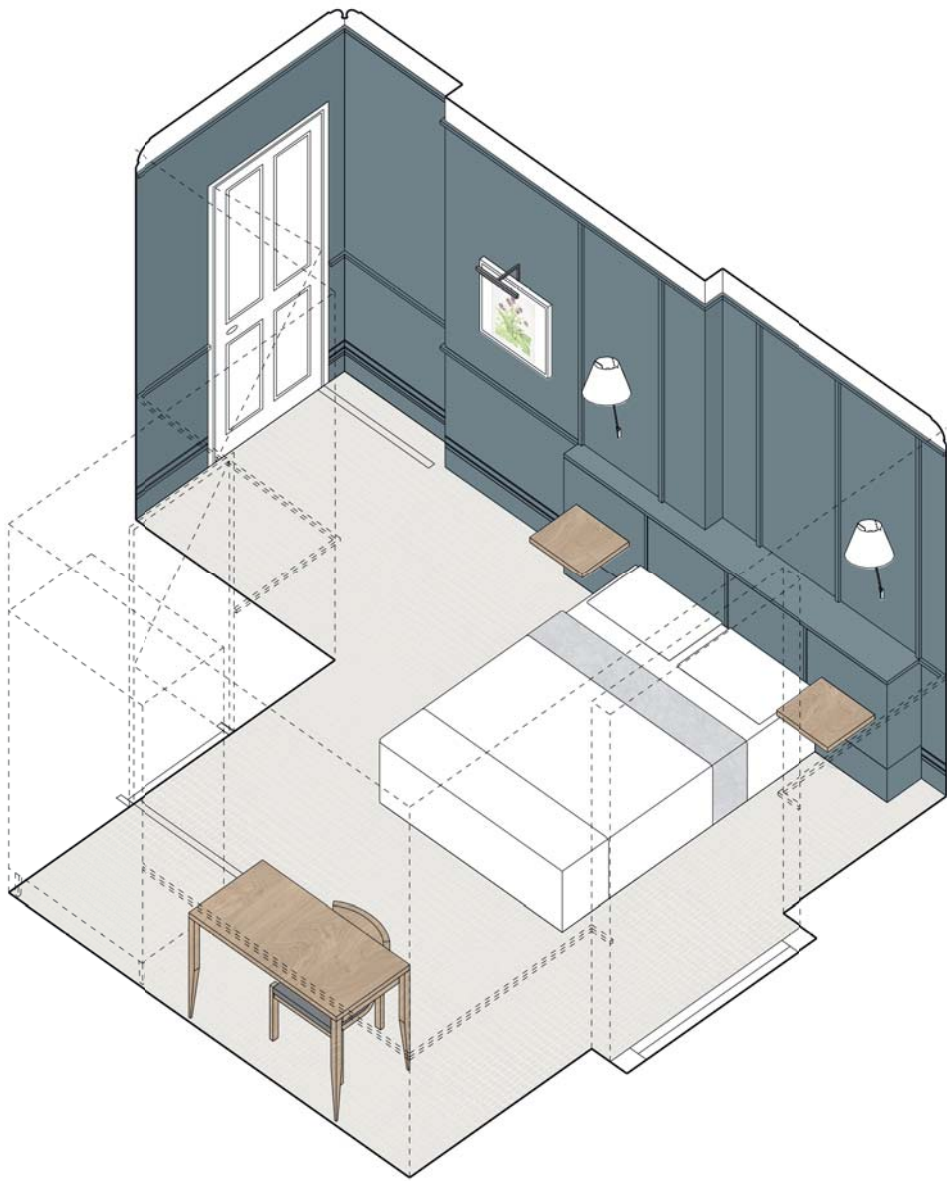
Summary of Proposals (Bedrooms iii)

Room 422 is an example of the proposed refurbishment of a 2nd or 3rd floor bedroom. These rooms feature lower ceilings, and vary between single rooms to large family rooms.

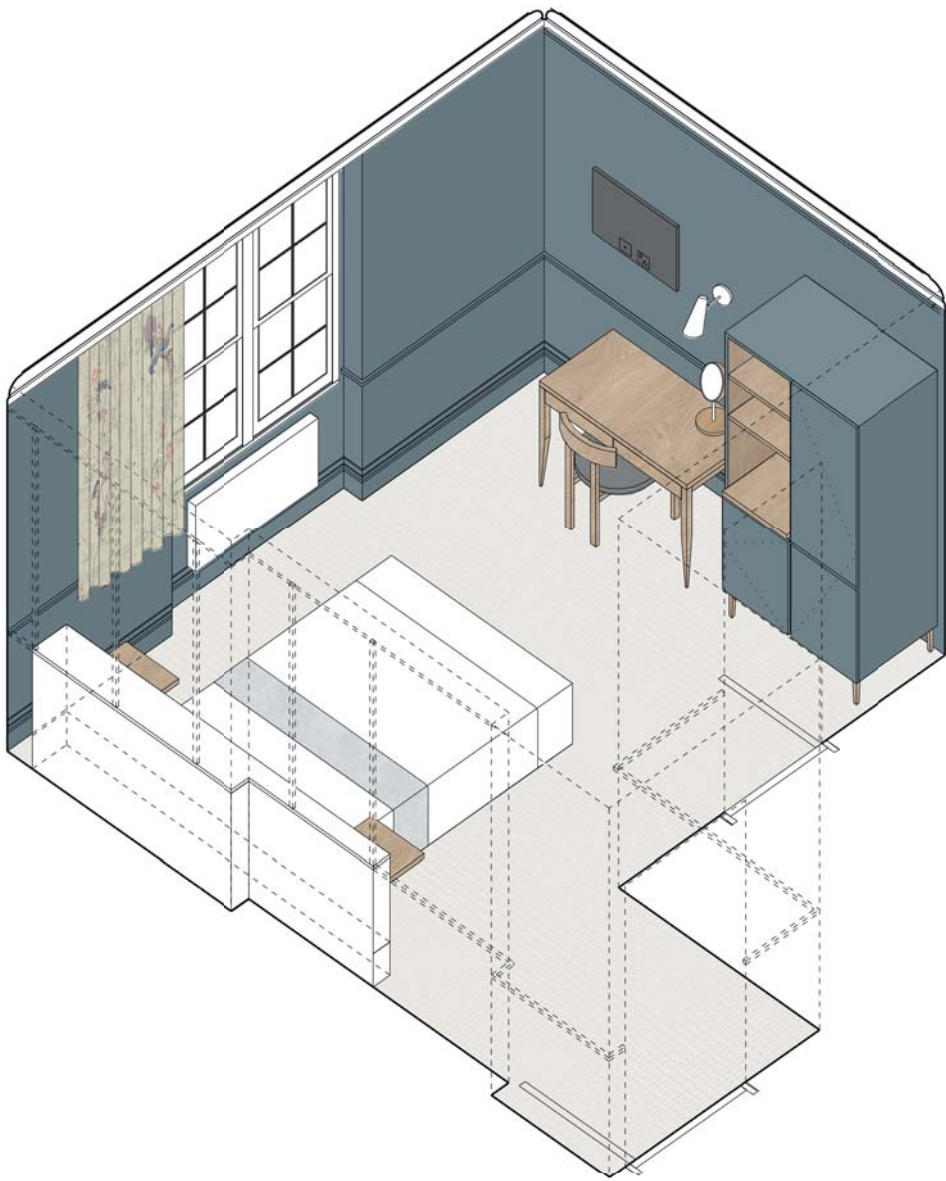
Woodwork to window casements, doors and door frames and existing planted woodwork will be conserved and restored. These rooms contain little original architectural features and no original window panelling.

These rooms will feature additional dado rails and decorative vertical timber battens on walls behind headboard panelling, spanning between picture rail and panelling.

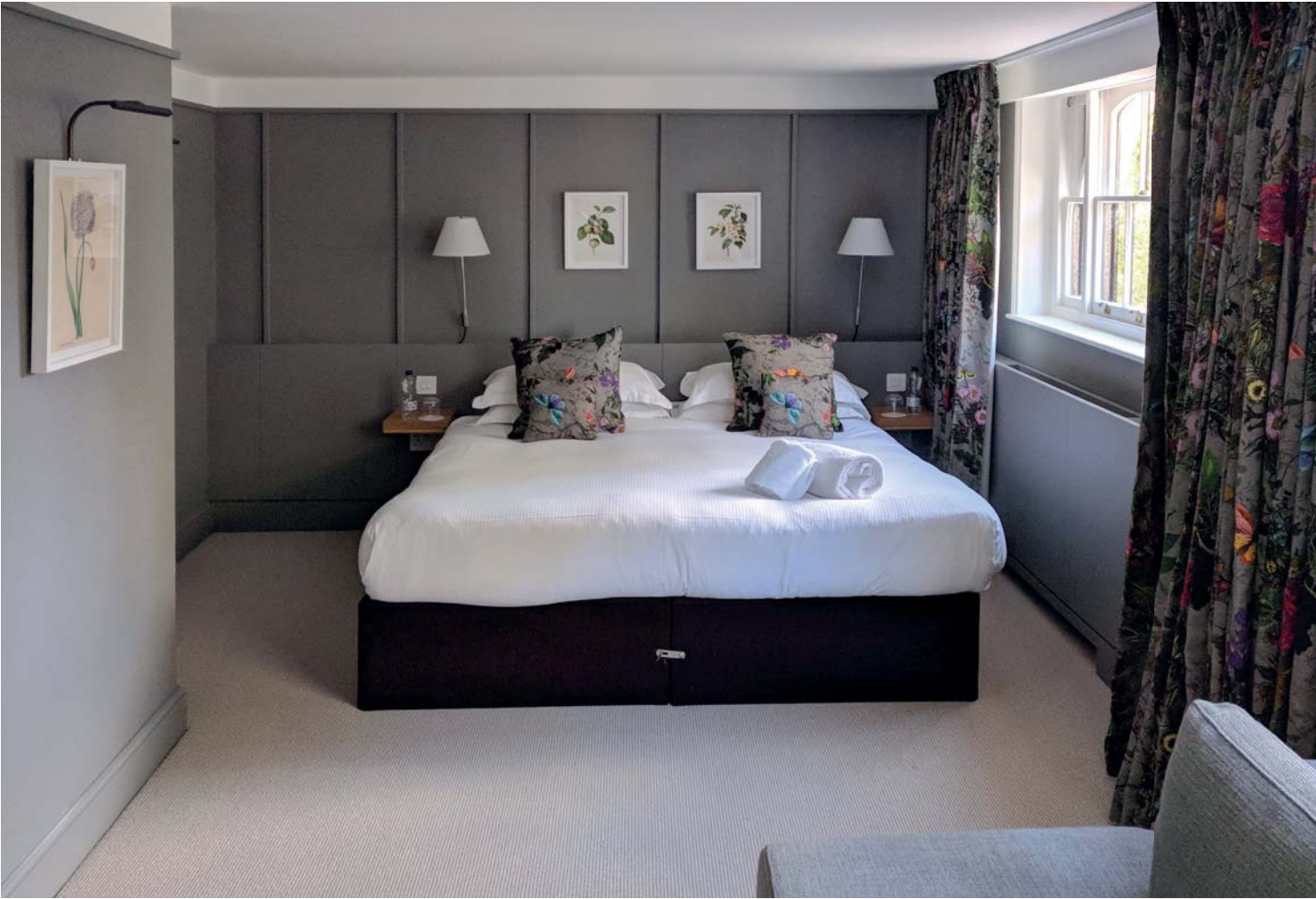
Panelling is limited to the wall containing the bed / headboard which integrates bedside tables and electrical fittings. A freestanding desk and wardrobe complete the bespoke joinery in these rooms.

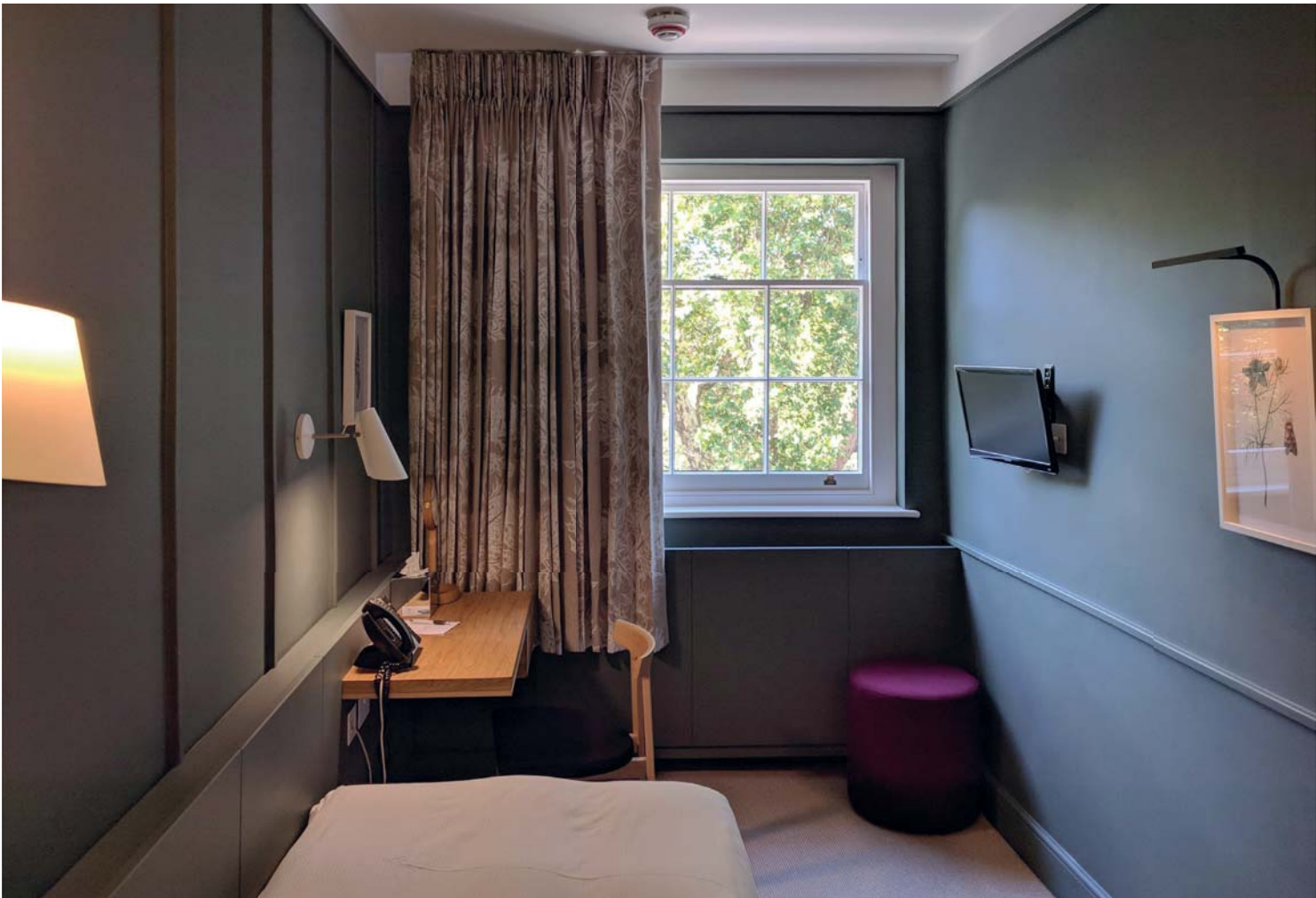


View of East corner of room



View of West corner of room





Summary of Proposals (Common Areas)

The common areas are comprised of; entrance vestibules and main stairs, corridors and upper floor stairs of each house (21-25), and the reception and guest lounge located in house no. 23. The refurbishment works proposed to the common areas will include:

Removal of existing carpets in order to expose and repaint existing stair, and the addition of a new carpet runner on stair. The addition of a new

carpet and doormat in entrance vestibules, the addition of new curtains to staircase windows, and the repainting of all walls in common areas (colour TBC).

Existing unsympathetic wall mounted and ceiling lights will be removed and replaced by new wall mounted and pendant light fittings more appropriate to the historic and visual character of the building.

New furniture to the reception and guest lounge sympathetic to the historic character of the rooms will be added.



Entrance Hallway



Main Staircase

Methododgy for Electrical Works and Lighting:

Where electrical cabling is renewed, it will generally be BS8436 multicore to minimise disruption to the building fabric. Existing routes through the floor voids will be re-used, including the use of existing notches in joists. Disruption to the building fabric will be further reduced by utilising existing ceiling rose positions and using the new wall panelling to distribute power and signal cabling within rooms.

Wall chases shall generally be avoided and will only be used where absolutely necessary. For instance, where technically feasible for the room size and wall construction, the use of wireless light switches will be considered to avoid wall chases where new wall linings do not exist. Fire detection and alarm systems along with room access controls are wireless, minimising disruption to the fabric.

New electrical accessories and light fittings will be selected in sympathy with the listed nature of the building. High quality products will be used throughout to compliment the existing interiors. The use of recessed light fittings will be avoided and, again, the new wall linings will be used to mount wall fittings where practicable.

Routes for circuits will be within the floor build up, with wall chases as required to serve low level socket outlets. Where possible, final circuits will be concealed behind architectural linings. See the below (fig 1) diagram of a typical bedside arrangement, with a double socket and light switch supplied by containment within the floor that rises behind the new wall lining.

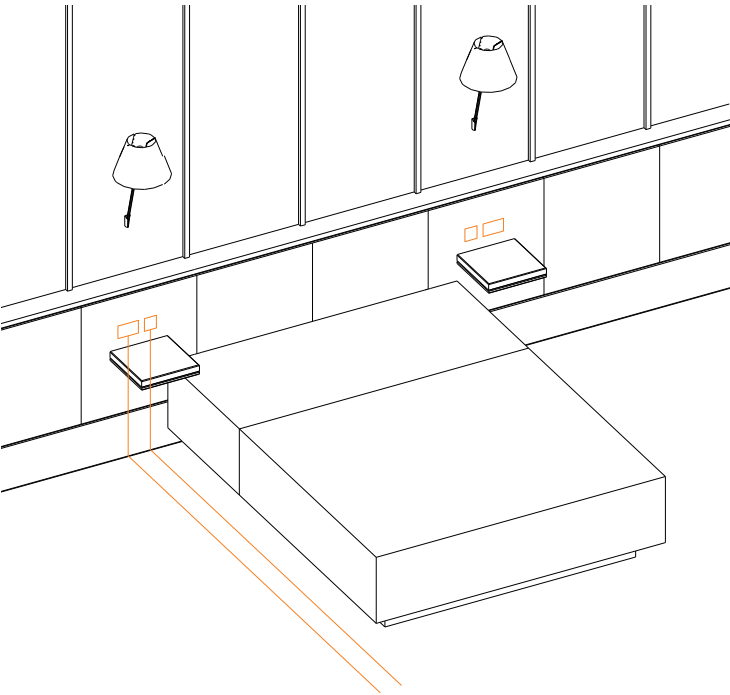


fig 1. Circuits concealed behind proposed panelling

Methododgy for Fireplaces:

A number of rooms have existing fireplaces (Mantel piece and mantel leg/side pillars). In some cases these are original. There are no remaining existing hearths or fire boxes. All have been infilled and have a ventilation grille which will be replaced- this is not an original feature (fig 2).

For each fireplace, the plastic ventilation grille will be removed and an MDF or plasterboard panel inserted within the mantelpiece, allowing for a ventilation gap. A stone hearth will be reinstated to anchor the mantelpiece in the room (fig 3). In the larger Georgian style mantelpieces, marble surrounds will be infilled to replicate the geometry of the original firebox. (See drawings RBA34 03 111-113 for existing and proposed details).

Doors & Windows:

Existing woodwork to window casements, doors and door frames and existing planted woodwork such as skirting, dado and picture rails are to be retained and made good to receive decoration. Some rooms conserve original panelling under the window sills. These will be retained and re-decorated.

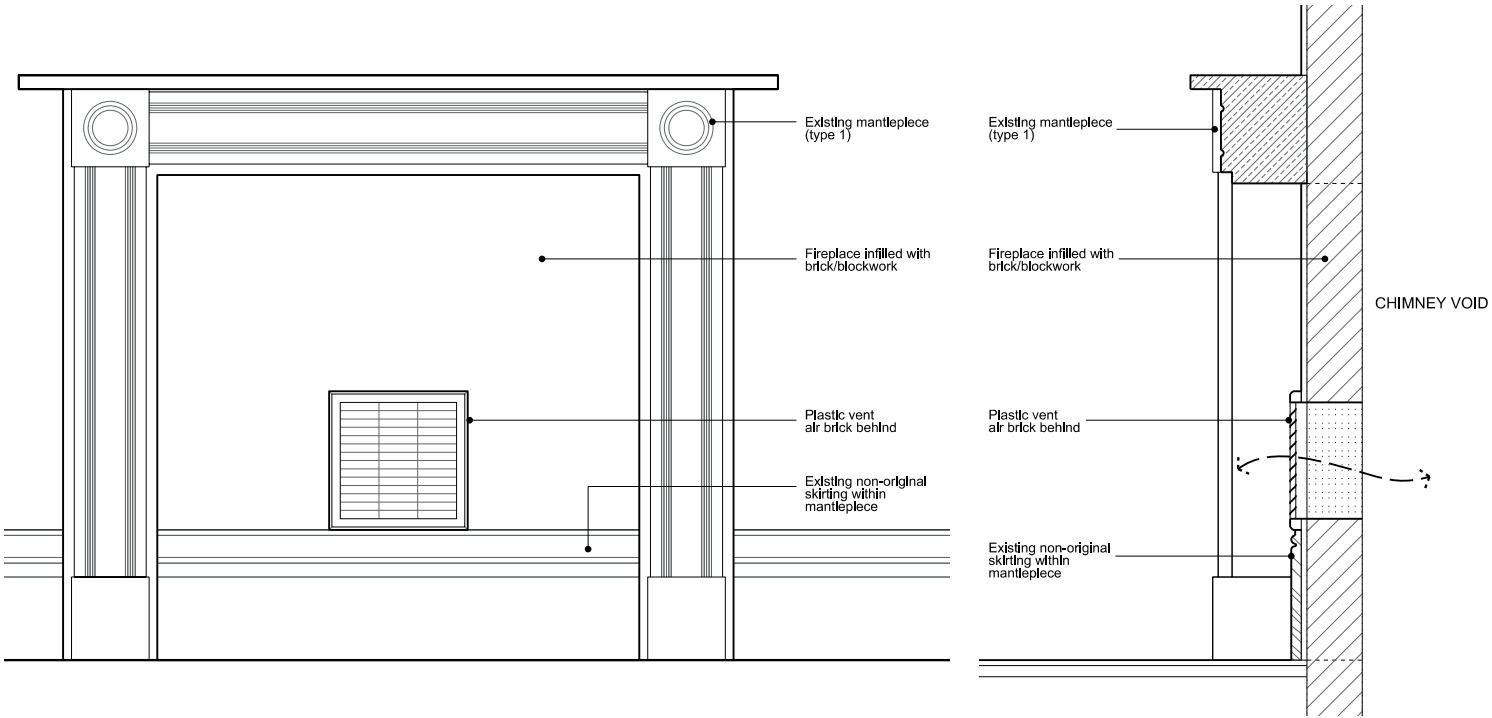


Fig 2. Existing typical fireplace (type 1) elevation and section

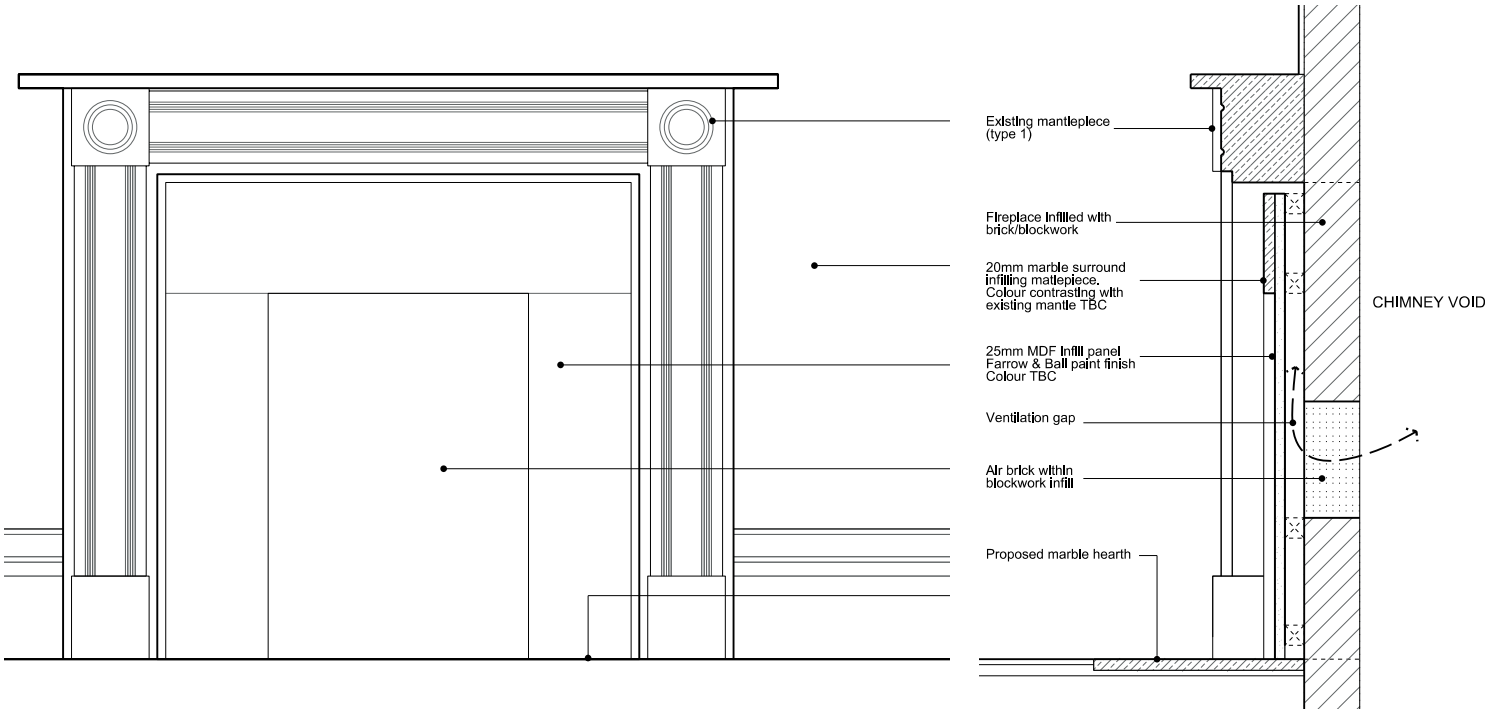


Fig 3. Proposed treatment to typical fireplace (type 1) elevation and section



Fireplace Type 1
Rooms: 202, 302, 402, 501, 502 (5 no.)



Fireplace Type 2
Room: 201 (1 no.)



Fireplace Type 3
Room: 101, 111 (2 no.)



Fireplace Type 4
Room: 211 (1 no.)



Fireplace Type 5
Room: 121 (1 no.)

Fireplace Types:

There are 5 different types of fireplaces throughout the townhouses, 10 no. in total. All fireplace types are Georgian in style except for type 3 which is of mid- 20th century style.



Indicative diagram of proposed treatment to fireplace type 1



Indicative diagram of proposed treatment to fireplace type 3



CS

Description:

Ceiling Mounted Downlight

Supplier / Spec Ref:

SLV Kos Round
Matt White 1326002 (7176)

Finish:

Matt White



AL

Description:

Wall Mounted Art Light

Supplier / Spec Ref:

SLV Mondrian 300 Frame Mounted LED

Finish:

Bronze 1374003 (7886)



BL

Description:

Wall Mounted Bedside Light

Supplier / Spec Ref:

Costanzina by Luceplan (54cm x 28cm)

Finish:

Structure Aluminium. Shade White.



FL

Description:

Floor Lamp

Supplier / Spec Ref:

D13T Costanza by Luceplan (120cm-160cm high)

Finish:

Shade White. Aluminium Base



VL

Description:

Vanity Wall Light

Supplier / Spec Ref:

Northern Lighting
Birdy wall short white
- Item no. 616

Finish:

White Metal



Description:

Socket Face Plate

Supplier / Spec Ref:

KNIGHTSBRDIGE Screwless
WHITE FINISH with USB port.

Finish:

Matt White Metal Plate. Double socket.
Double USB



Description:

Switch Face Plate

Supplier / Spec Ref:

KNIGHTSBRDIGE Screwless
WHITE FINISH

Finish:

Matt White Metal Plate.



RAD1

Description:

Flat Panel Radiator

Supplier / Spec Ref:

The Radiator Company
Relax Horizontal - TRC

Finish:

Finished to any RAL



RAD2

Description:

Cast Iron Radiator

Supplier / Spec Ref:

The Radiator Company
Aston Farrow and Ball Cast Iron.

Finish:

Finished to Farrow and Ball Colour Range

APPENDIX

			Fireplace	Ceilings	Windows	Doors	Floors	Walls	Joinery	Services	Additional Notes	Floor to ceiling height [mm]

HOUSE 23		
Room No.		
G	Double/Twin	302
1st	Suite	311
2nd	Single	320
	Superior Single	321
	Superior Single	322
3rd	Single	330
	Single	331
	Superior Single	332
	Single	333
4th	Double/Twin	341
LG	Common Part	Guest lounge (House 23 only)
G	Common Part	Entrance and main staircase
		Reception (House 23 only)
1st-3rd	Common Part	Bedrooms corridor and stairs

HOUSE 24		
Room		
LG	Double/Twin	491
	Double/Twin	492
G	Superking	401
	Double/Twin	402
1st	Suite	411
2nd	Single	MOCK-UP ROOM 420
	Superior Single	421
	Superior Single	422
3rd	Family	MOCK-UP ROOM 431
	Single	432
	Single	433
G	Common Part	Entrance and main staircase
1st-3rd	Common Part	Bedrooms corridor and stairs

Fireplace	Ceilings	Windows	Doors	Floors	Walls	Joinery	Services	Additional Notes	Floor to ceiling height [mm]
-----------	----------	---------	-------	--------	-------	---------	----------	------------------	------------------------------

Fireplace Type 1. See drawing RBA34_03_112	Cornices generally in good condition, to be repainted	<ul style="list-style-type: none">General redecoration of existing woodwork to window casementsoriginal panelling under window sills, retained and re-decorated.New blinds and curtains	General redecoration of existing woodwork to door architraves.	Timber subfloor to be repaired as required. New carpet to be installed.	<ul style="list-style-type: none">Addition of planted picture and dado rails.Addition of decorative vertical timber battens spanning between picture rail and dado/skirting, on walls containing bed headboard.Addition of new panelling to sit in front of existing walls and skirting, on walls containing bed headboard. Skirting will be retained.Repaint walls	Addition of new panelling to sit in front of existing walls and skirting. Skirting will be retained. Panelling forms part of the fitted furniture.	<ul style="list-style-type: none">Replacement of radiators.Electrical work to improve existing electrical installation and adapted to suit new power and data installation.Replace and reposition light fittings.	Fake door panel	3543
n/a	As above								3571 3438
n/a	n/a								2785
n/a	n/a								2775
n/a	n/a								2755
n/a	Service panel in ceiling to be removed and replaced								2251
n/a	n/a								2255
n/a	Service panel in ceiling to be removed and replaced								2223
n/a	n/a								2247
n/a	n/a		Steps to balcony	2615 2599					
n/a	n/a	<ul style="list-style-type: none">General redecoration of existing woodwork to window casementsNew curtains	n/a	New carpet to be installed			<ul style="list-style-type: none">New wall mounted lightsNew pendant lights in same location		
n/a	Cornices generally in good condition, to be repainted	<ul style="list-style-type: none">original panelling under window sills, retained and re-decorated.New blinds and curtains	General redecoration of existing woodwork to door architraves.	<ul style="list-style-type: none">Existing entrance hall carpet to be removed. New carpet to be installed.New carpet runner on stairNew doormat in vestibule	Repaint existing walls	Expose and repaint existing stair	<ul style="list-style-type: none">New wall mounted lightsNew pendant lights in same location		
n/a	As above		As above	New carpet to be installed			As above		
n/a	n/a	n/a	n/a	Existing carpet to be retained and cleaned.	As above	Expose and repaint existing stair	New wall mounted lights		

n/a	n/a	<ul style="list-style-type: none">General redecoration of existing woodwork to window casementsoriginal panelling under window sills, retained and re-decorated.New blinds and curtains	General redecoration of existing woodwork to door architraves.	Timber subfloor to be repaired as required. New carpet to be installed.	<ul style="list-style-type: none">Addition of planted picture and dado rails.Addition of decorative vertical timber battens spanning between picture rail and dado/skirting, on walls containing bed headboard.Addition of new panelling to sit in front of existing walls and skirting, on walls containing bed headboard. Skirting will be retained.Repaint walls	Addition of new panelling to sit in front of existing walls and skirting. Skirting will be retained. Panelling forms part of the fitted furniture.	<ul style="list-style-type: none">Replacement of radiators.Electrical work to improve existing electrical installation and adapted to suit new power and data installation.Replace and reposition light fittings.	Small bulkheads in corners of the room	2485
n/a	n/a							Small bulkheads in corners of the room	2470
n/a	Cornices generally in good condition, to be repainted							Niche in corner of the room	3552
Fireplace Type 1. See drawing RBA34_03_112	As above								3556
n/a	As above							Niche in corner of the room	3599 3604
n/a	n/a								2808
n/a	n/a								2875
n/a	n/a								2773
n/a	n/a								2181
n/a	Service panel in ceiling to be removed and replaced								2220
n/a	n/a		2170						
n/a	Cornices generally in good condition, to be repainted	<ul style="list-style-type: none">original panelling under window sills, retained and re-decorated.New blinds and curtains	General redecoration of existing woodwork to door architraves.	<ul style="list-style-type: none">Existing entrance hall carpet to be removed. New carpet to be installed.New carpet runner on stairNew doormat in vestibule Existing carpet to be retained and cleaned.	Repaint existing walls	Expose and repaint existing stair	<ul style="list-style-type: none">New wall mounted lightsNew pendant lights in same location		
n/a	n/a	n/a	n/a		As above	Expose and repaint existing stair	New wall mounted lights		

			Fireplace	Ceilings	Windows	Doors	Floors	Walls	Joinery	Services	Additional Notes	Floor to ceiling height [mm]

DWG		NAME	SCALE	REVISION							
GENERAL ARRANGEMENT											
EXISTING PLANS											
RBA34	00 101	Existing Demolition Lower Ground Floor	1:100@A3								
RBA34	00 102	Existing Demolition Ground Floor	1:100@A3								
RBA34	00 103	Existing Demolition First Floor	1:100@A3								
RBA34	00 104	Existing Demolition Second Floor	1:100@A3								
RBA34	00 105	Existing Demolition Third Floor	1:100@A3								
RBA34	00 106	Existing Demolition Fourth Floor	1:100@A3								
PROPOSED PLANS											
RBA34	01 101	Proposed Lower Ground Floor	1:100@A3								
RBA34	01 102	Proposed Ground Floor	1:100@A3								
RBA34	01 103	Proposed First Floor	1:100@A3								
RBA34	01 104	Proposed Second Floor	1:100@A3								
RBA34	01 105	Proposed Third Floor	1:100@A3								
RBA34	01 106	Proposed Fourth Floor	1:100@A3								
LOCATION PLAN											
RBA34	1000	Location Plan	1:1250@A3								

DWG			NAME		SCALE	REVISION							
ROOM LAYOUTS													
		FLOOR	ROOM										
			HOUSE 21										
RBA34	02 192	LG	Room 192		1:50@A3								
	02 101	G	Room 101		1:50@A3								
	02 102	G	Room 102 (1)		1:50@A3								
	02 102-2	G	Room 102 (2)		1:50@A3								
	02 111	1ST	Room 111		1:50@A3								
	02 112	1ST	Room 112 (1)		1:50@A3								
	02 112-2	1ST	Room 112 (2)		1:50@A3								
	02 121	2ND	Room 121		1:50@A3								
	02 122	2ND	Room 122		1:50@A3								
	02 122-2	2ND	Room 122 (2)		1:50@A3								
	02 131	3RD	Room 131		1:50@A3								
	02 132	3RD	Room 132		1:50@A3								
	02 133	3RD	Room 133		1:50@A3								
			HOUSE 22										
	02 201	G	Room 201		1:50@A3								
	02 202	G	Room 202		1:50@A3								
	02 211	1ST	Room 211		1:50@A3								
	02 220	2ND	Room 220		1:50@A3								
	02 221	2ND	Room 221		1:50@A3								
	02 222	2ND	Room 222		1:50@A3								
	02 230	3RD	Room 230		1:50@A3								
	02 231	3RD	Room 231		1:50@A3								
	02 232	3RD	Room 232		1:50@A3								
	02 233	3RD	Room 233		1:50@A3								
			HOUSE 23										
	02 302	G	Room 302		1:50@A3								
	02 311	1ST	Room 311		1:50@A3								
	02 320	2ND	Room 320		1:50@A3								
	02 321	2ND	Room 321		1:50@A3								
	02 322	2ND	Room 322		1:50@A3								
	02 330	3RD	Room 330		1:50@A3								
	02 331	3RD	Room 331		1:50@A3								
	02 332	3RD	Room 332		1:50@A3								
	02 333	3RD	Room 333		1:50@A3								
	02 341	4TH	Room 341		1:50@A3								

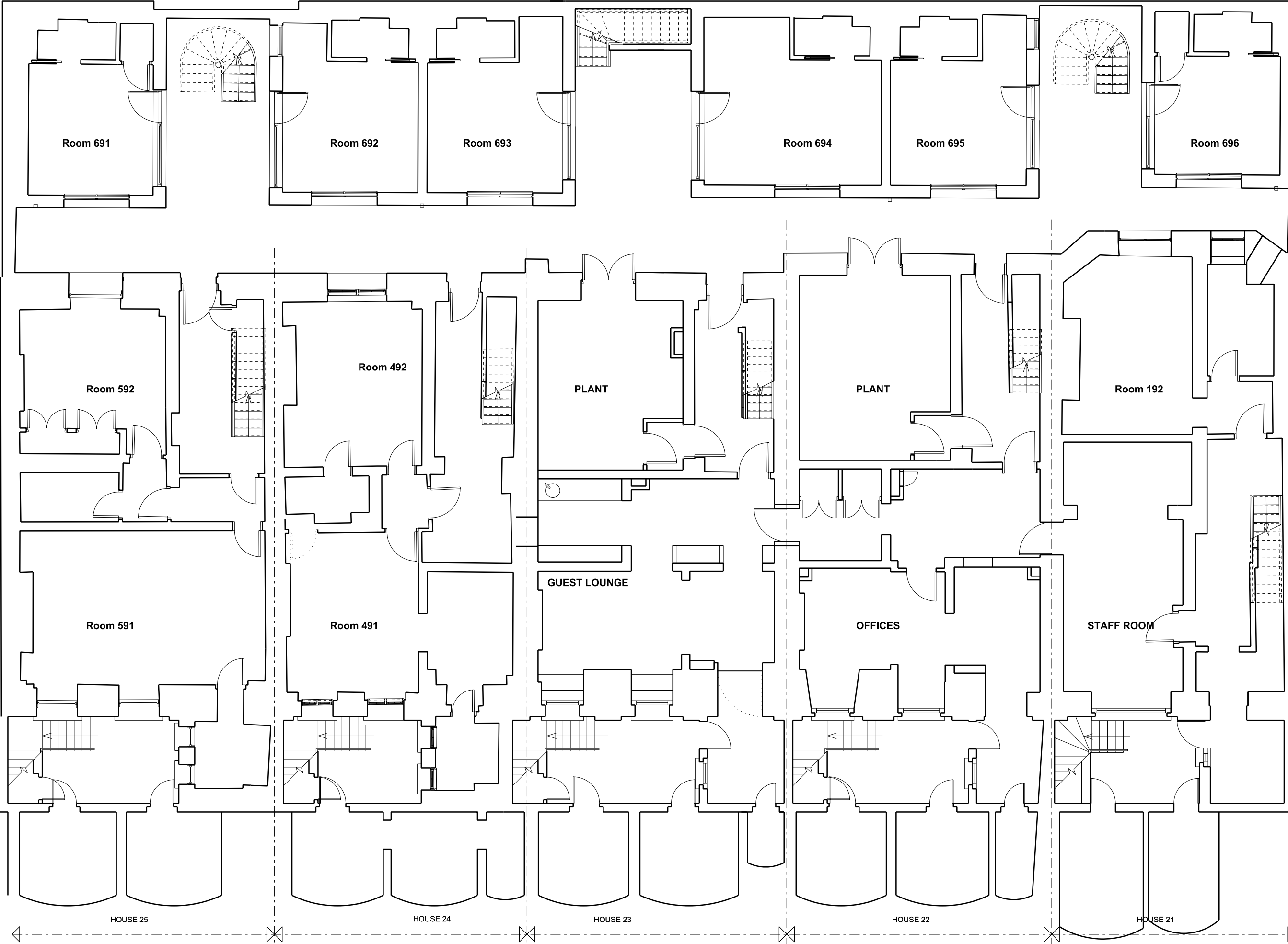
DWG			NAME		SCALE	REVISION							
ROOM LAYOUTS													
		FLOOR	ROOM										
			HOUSE 24										
RBA34	02 491	LG	Room 491		1:50@A3								
	02 491-2	LG	Room 491 (2)		1:50@A3								
	02 492	LG	Room 492		1:50@A3								
	02 401	G	Room 401		1:50@A3								
	02 402	G	Room 402		1:50@A3								
	02 411	1ST	Room 411		1:50@A3								
	02 420	2ND	Room 420		1:50@A3								
	02 421	2ND	Room 421		1:50@A3								
	02 422	2ND	Room 422		1:50@A3								
	02 431	3RD	Room 431		1:50@A3								
	02 432	3RD	Room 432		1:50@A3								
	02 433	3RD	Room 433		1:50@A3								
			HOUSE 25										
	02 591	LG	Room 591		1:50@A3								
	02 592	LG	Room 592		1:50@A3								
	02 501	G	Room 501		1:50@A3								
	02 502	G	Room 502		1:50@A3								
	02 511	1ST	Room 511		1:50@A3								
	02 520	2ND	Room 520		1:50@A3								
	02 521	2ND	Room 521		1:50@A3								
	02 522	2ND	Room 522		1:50@A3								
	02 530	3RD	Room 530		1:50@A3								
	02 531	3RD	Room 531		1:50@A3								
	02 532	3RD	Room 532		1:50@A3								
	02 533	3RD	Room 533		1:50@A3								
			MEWS										
	02 695	LG	Room 695		1:50@A3								

DWG			NAME		SCALE	REVISION							
COMMON PARTS													
RBA34	02 300	G	Reception		1:50@A3								
	02 390	LG	Guest Lounge (1)		1:50@A3								
	02 391	LG	Guest Lounge (2)		1:50@A3								
	01 207		Section House 23 Common Area		1:75@A3								
TYPICAL DETAILS													
RBA34	03 102		Typical Panelling Detail Type 2a		Varies								
	03 103		Typical Panelling Detail Type 2b		Varies								
	03 104		Typical Panelling Detail Type 3		Varies								
	03 105		Bedside Unit Desk		1:5@A3								
	03 107		Single Bed Headboard		Varies								
	03 108		Storage Detail Small		1:20@A3								
	03 109		Storage Detail Large		1:20@A3								
	03 110		Headboard		Varies								
	03 111		Fireplace Type 1 - Existing		1:10@A3								
	03 112		Fireplace Type 1 - Proposed		1:10@A3								
	03 113		Fireplace Type 3 - Proposed		1:10@A3								

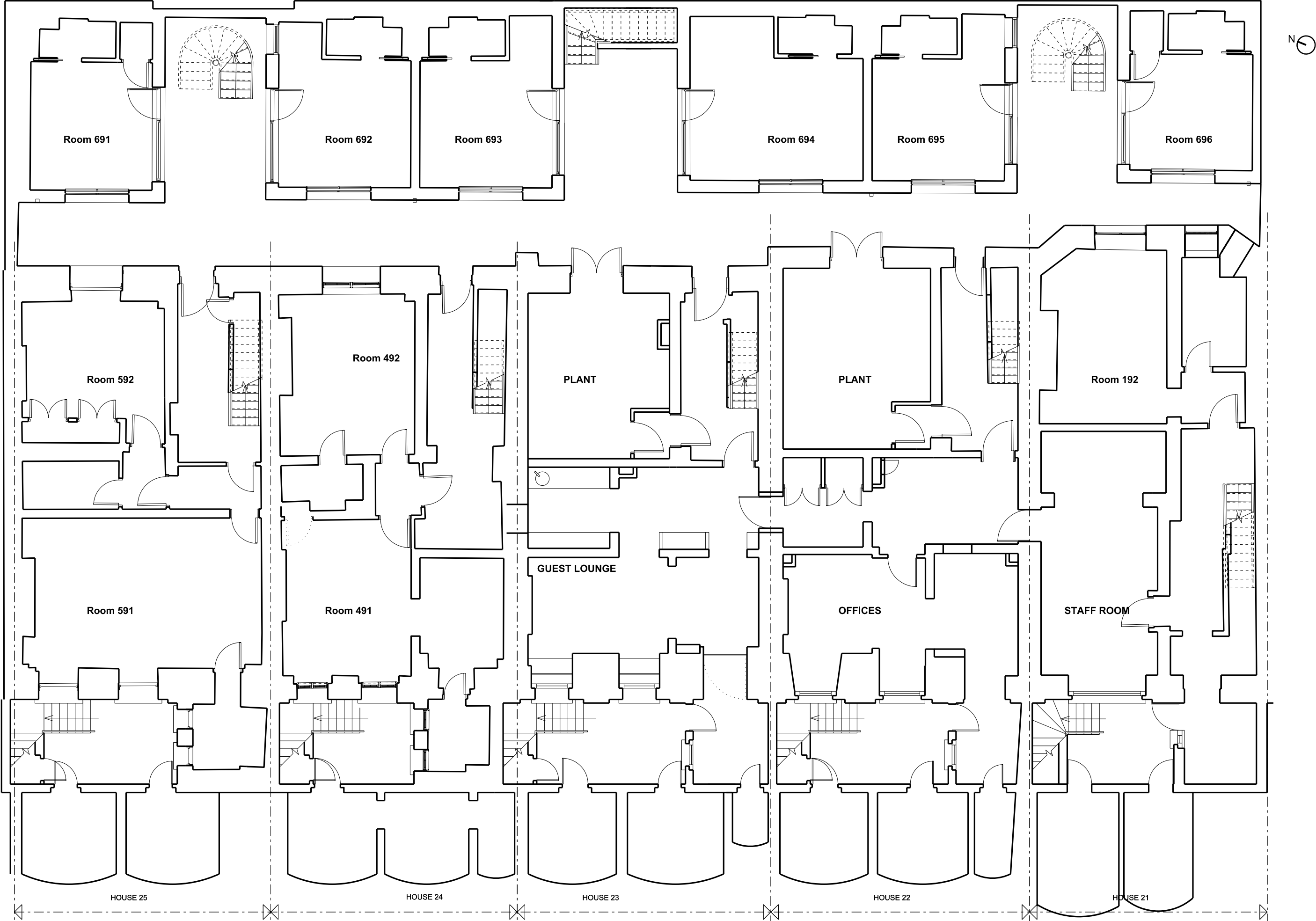


REVISION	DATE	DWG NO	JOB TITLE / CLIENT	DRAWING	SCALE	DATE		<p>Do not scale off this drawing. All levels and dimensions should be checked/verified on site and any discrepancies notified to the Architect prior to proceeding with works. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants drawings. All dimensions are in millimetres unless otherwise noted.</p> <p>This drawing is the property of RBA and is issued in confidence. It must not be copied or disclosed in any form without prior written permission of Roz Barr Architects.</p> <p>© ROZ BARR ARCHITECTS 26 Store Street London WC1E 7BT</p>
Rev (1) Listed Building Consent	21.09.20	RBA 34	Goodenough College Bedroom Refurbishment	01 000 Location Plan	1:1250 @ A3	Sept 2020		
<div style="font-size: 48px; font-weight: bold;">FOR PLANNING</div>					DRAWN PM / JC	CHECK RB	REV -	

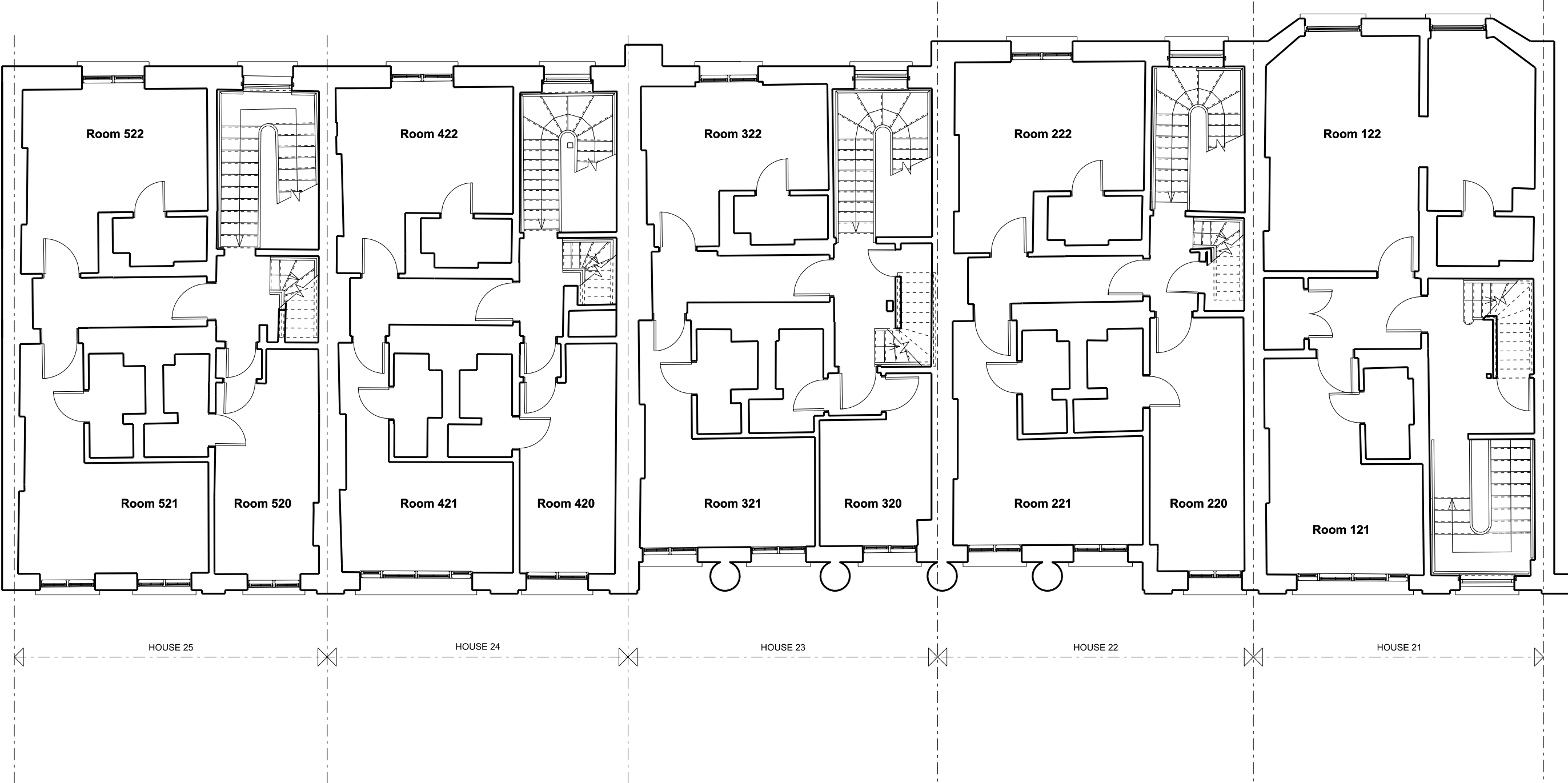
**EXISTING GENERAL ARRANGEMENT
PLANS**



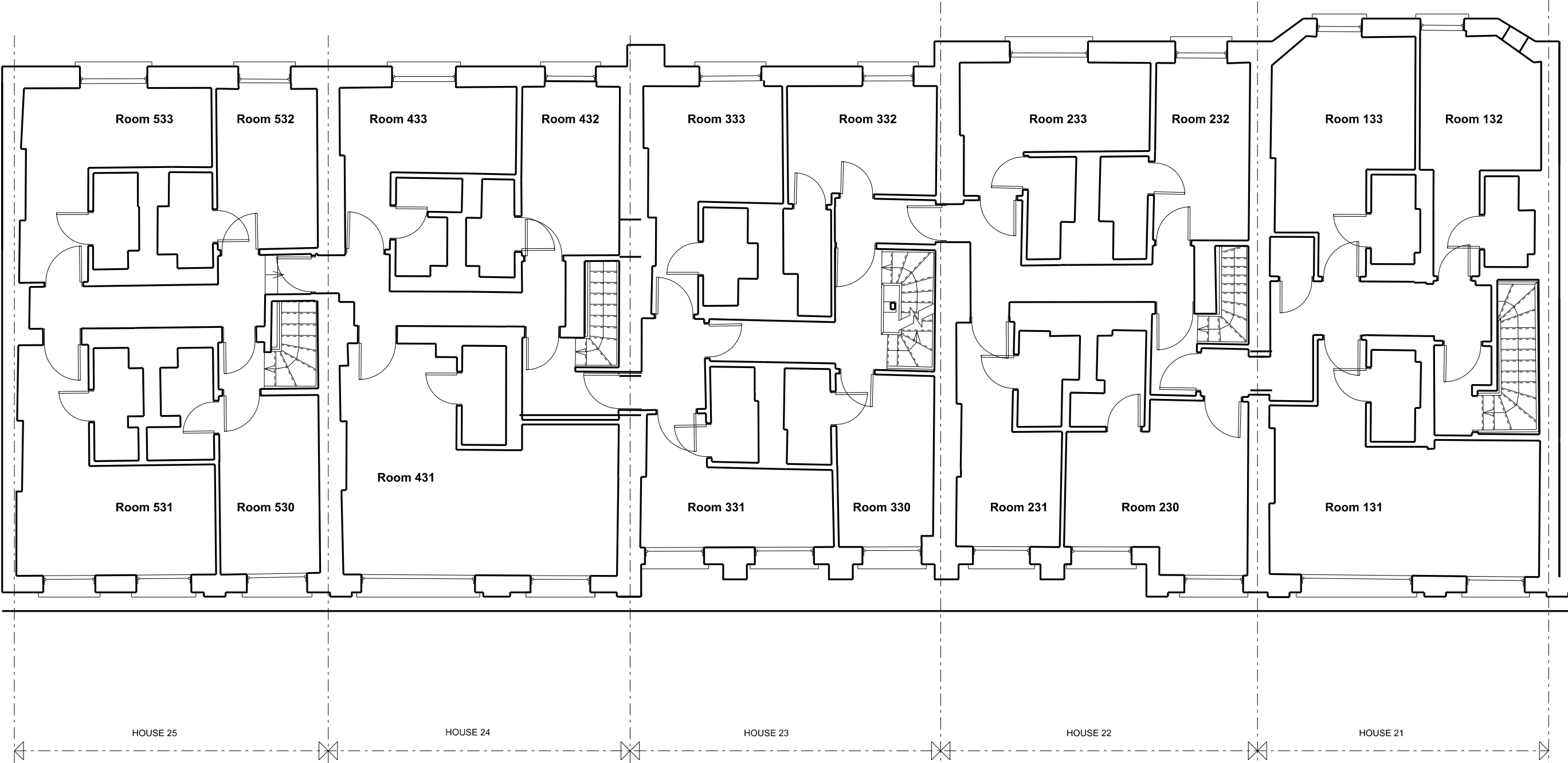
REVISION	DATE	DWG NO	JOB TITLE / CLIENT	DRAWING	SCALE		DATE		Do not scale off this drawing. All levels and dimensions should be checked/verified on site and any discrepancies notified to the Architect prior to proceeding with works. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants drawings. All dimensions are in millimetres unless otherwise noted. This drawing is the property of RBA and is issued in confidence. It must not be copied or disclosed in any form without prior written permission of Roz Barr Architects. © ROZ BARR ARCHITECTS 26 Store Street London WC1E 7BT
Rev (X) - Listed Building Consent	XX.12.19	RBA 34 00 101	Goodenough College Bedroom Refurbishment	Existing GA Lower Ground Floor	1:100 @ A3		Dec 2019		
		FOR INFORMATION ONLY			DRAWN PM / JC	CHECK RB	REV -		



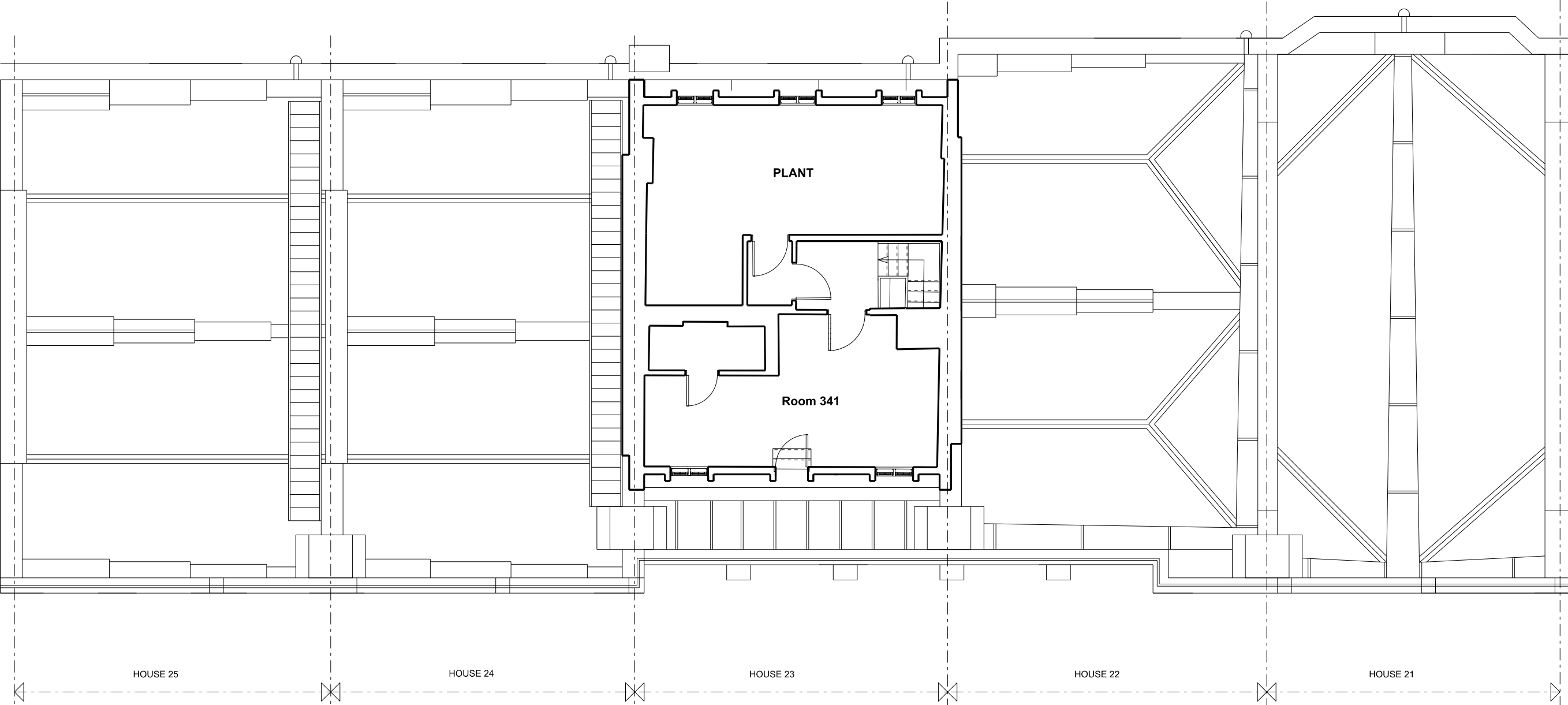
REVISION					DATE	DWG NO	JOB TITLE / CLIENT	DRAWING	SCALE		DATE		<div>Do not scale off this drawing. All levels and dimensions should be checked/verified on site and any discrepancies notified to the Architect prior to proceeding with works. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants drawings. All dimensions are in millimetres unless otherwise noted. This drawing is the property of RBA and is issued in confidence. It must not be copied or disclosed in any form without prior written permission of Roz Barr Architects. © ROZ BARR ARCHITECTS 26 Store Street London WC1E 7BT</div>
Rev (1) - Listed Building Consent					21.09.20	RBA 34 00 101	Goodenough College Bedroom Refurbishment	Existing GA Lower Ground Floor	1:100 @ A3		Sept 20		
						FOR PLANNING			DRAWN	CHECK	REV		
									PM / JC	RB	-		



REVISION	DATE	DWG NO	JOB TITLE / CLIENT	DRAWING	SCALE		DATE		<div>Do not scale off this drawing. All levels and dimensions should be checked/verified on site and any discrepancies notified to the Architect prior to proceeding with works. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants drawings. All dimensions are in millimetres unless otherwise noted. This drawing is the property of RBA and is issued in confidence. It must not be copied or disclosed in any form without prior written permission of Roz Barr Architects. © ROZ BARR ARCHITECTS 26 Store Street London WC1E 7BT</div>
Rev (1) - Listed Building Consent	21.09.20	RBA 34 00 104	Goodenough College Bedroom Refurbishment	Existing GA Second Floor	1:100 @ A3		Sept 20		
		FOR PLANNING			DRAWN PM / JC	CHECK RB	REV -		



REVISION	DATE	DWG NO	JOB TITLE / CLIENT	DRAWING	SCALE		DATE		<div>Do not scale off this drawing. All levels and dimensions should be checked/verified on site and any discrepancies notified to the Architect prior to proceeding with works. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants drawings. All dimensions are in millimetres unless otherwise noted. This drawing is the property of RBA and is issued in confidence. It must not be copied or disclosed in any form without prior written permission of Roz Barr Architects. © ROZ BARR ARCHITECTS 26 Store Street London WC1E 7BT</div>
Rev (1) - Listed Building Consent	21.09.20	RBA 34 00 105	Goodenough College Bedroom Refurbishment	Existing GA Third Floor	1:100 @ A3	Sept 20			
		FOR PLANNING			DRAWN PM / JC	CHECK RB	REV -		



REVISION	DATE	DWG NO	JOB TITLE / CLIENT	DRAWING	SCALE	DATE	<div>Do not scale off this drawing. All levels and dimensions should be checked/verified on site and any discrepancies notified to the Architect prior to proceeding with works. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants drawings. All dimensions are in millimetres unless otherwise noted. This drawing is the property of RBA and is issued in confidence. It must not be copied or disclosed in any form without prior written permission of Roz Barr Architects.</div>		
Rev (1) - Listed Building Consent	21.09.20	RBA 34 00 106	Goodenough College Bedroom Refurbishment	Existing GA Fourth Floor	1:100 @ A3	Sept 20			
		FOR PLANNING			DRAWN PM / JC	CHECK RB	REV -	© ROZ BARR ARCHITECTS 26 Store Street London WC1E 7BT	

**PROPOSED GENERAL ARRANGEMENT
PLANS**



KEY:	
	Mews
	Family Rooms
	Superkings
	Double/Twin Rooms
	Superior Single
	Suits
	Single Rooms
	Common Areas
	Reception / Lounge

NOTES:	
	Wall mounted light fitting
	Ceiling mounted spotlight
	Pendant ceiling light

REVISION	DATE	DWG NO	JOB TITLE / CLIENT	DRAWING	SCALE		DATE		<div>Do not scale off this drawing. All levels and dimensions should be checked/verified on site and any discrepancies notified to the Architect prior to proceeding with works. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants drawings. All dimensions are in millimetres unless otherwise noted. This drawing is the property of RBA and is issued in confidence. It must not be copied or disclosed in any form without prior written permission of Roz Barr Architects. © ROZ BARR ARCHITECTS 26 Store Street London WC1E 7BT</div>
Rev (1) - Listed Building Consent	21.09.20	RBA 34 01 101	Goodenough College Bedroom Refurbishment	GA Lower Ground Floor	1:100 @ A3		Sept 20		
FOR PLANNING					DRAWN PM / JC	CHECK RB	REV -		





Mews

- NOTES:

- HOUSE 25

HOUSE 24

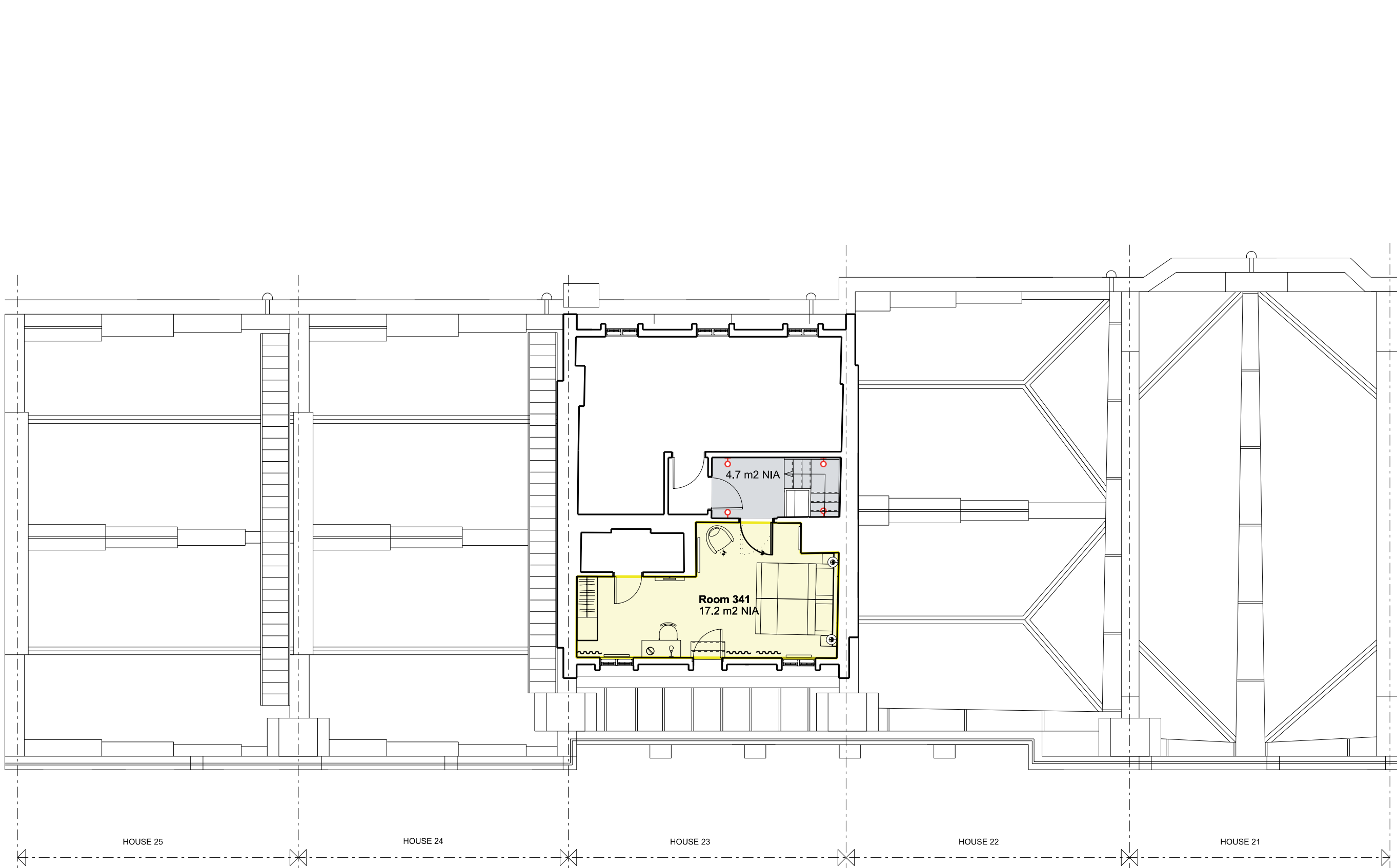
HOUSE 23

HOUSE 22




HOUSE 21

Do not scale off this drawing. All levels and dimensions should be checked/verified on site and any discrepancies notified to the Architect prior to proceeding with works. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants drawings. All dimensions are in millimetres unless otherwise noted. This drawing is the property of RBA and is issued in confidence. It must not be copied or disclosed in any form without prior written permission of Roz Barr Architects.

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KEY:	
	Mews
	Family Rooms
	Superkings
	Double/Twin Rooms
	Superior Single
	Suits
	Single Rooms
	Common Areas

NOTES:	
	Wall mounted light fitting
	Ceiling mounted spotlight
	Pendant ceiling light

REVISION			DATE	DWG NO	JOB TITLE / CLIENT	DRAWING	SCALE		DATE		<div>Do not scale off this drawing. All levels and dimensions should be checked/verified on site and any discrepancies notified to the Architect prior to proceeding with works. This drawing is to be read in conjunction with all other contract documents and specifications and all other consultants drawings. All dimensions are in millimetres unless otherwise noted. This drawing is the property of RBA and is issued in confidence. It must not be copied or disclosed in any form without prior written permission of Roz Barr Architects. © ROZ BARR ARCHITECTS 26 Store Street London WC1E 7BT</div>
Rev (1) - Listed Building Consent			21.09.20	RBA 34 01 106	Goodenough College Bedroom Refurbishment	GA Fourth Floor	1:100 @ A3		Sept 20		
FOR PLANNING						DRAWN	CHECK	REV			
						PM / JC	RB	-			