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- KEY
- Existing Walls
 - Walls to be demolished and removed
 - Areas to be demolished and removed

Features

windows

- bhc bottom hung timber casement window
- thc top hung timber casement window
- shc side hung casement
- vss vertical sliding sash timber window
- ft fixed light timber window
- rt roof light (flat roof)
- vrt velux style roof light (pitched roof)
- crt conservation style roof light (pitched roof)
- h ceiling hatch
- hf floor hatch
- sd sliding door
- sld sliding folding door

drainage services and landscape

- mh Existing manhole
- lc Existing inspection chamber
- wlc Existing water service inspection chamber

FWIC 01

- inspection chamber collecting foul water drainage
- swp Soil vent pipe and underground foul water drainage
- rwp Rainwater pipe, gully and underground surface water drainage
- rwp+h Rainwater hopper draining into rainwater hopper
- sp Rainwater spout

mechanical heating

- gas fired boiler and wall mounted flue
- unvented cylinder

investigate the structural condition of the cellar. take a photographic record and make available.

should the structure prove to be unsuitable for restoration, carefully remove brick vaulted roof and walls to 500mm below ground level. backfill cavity with pea gravel, compacted in layers. complete fill with geo-text membrane and 500mm topsoil for planting.

existing ground levels are reduced to create light well, to improve internal daylight levels within the rooms across the northern facade. excavations to be fully supported throughout the construction phase

existing ground levels are reduced to create space for extended lower ground floor. excavations to be fully supported throughout the construction phase

existing base level 85.470m

all interiors are to be stripped out back throughout to structural shell, including services and fittings, surface mounted trunking, finishes, built in furniture, ceilings and ceiling suspension system

bay window and adjoining brickwork removed in preparation for remodeling of south facade

remove risers and treads and fill above with joisted structure and floorboards to match

existing plant, equipment, wiring and services are stripped out

existing ground level altered to accommodate submerged structure.

REV	DATE	DRN	CHKD
PROJECT			
The Hoo: Scheme 2			
17 Lyndhurst Gardens, Hampstead, London			
Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
CLIENT			
Mr and Mrs Yu			
REPRESENTED BY			
JAGA Developments (London)			
DRAWING			
Lower Ground Floor Layout as Existing			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GMG	
		DATE	
		May 2020	

BOWKER SADLER ARCHITECTURE

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JOB No	DRAWING No	REVISION
19013	1020	B
STATUS		
FOR PLANNING		

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Survey drawings are kindly provided by Malcom Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

KEY
Existing Walls
Walls to be demolished and removed.
Areas to be demolished and removed.

- Features
- windows
- bhc bottom hung timber casement window
 - thc top hung timber casement window
 - shc side hung casement
 - vss vertical sliding sash timber window
 - fl fixed light timber window
 - rl roof light (flat roof)
 - vrl valus style roof light (pitched roof)
 - ori conservation style roof light (pitched roof)
 - h ceiling hatch
 - hf floor hatch
 - sd sliding door
 - sfd sliding folding door
- drainage services and landscape
- meh Existing manhole
 - ic Existing inspection chamber
 - wic Existing water service inspection chamber
- FWIC 01
- icw inspection chamber collecting foul water drainage
 - syp Soil vent pipe and underground foul water drainage
 - rwp Rainwater pipe, gully and underground surface water drainage
 - rwp+h Rainwater hopper draining into rainwater hopper
 - sp Rainwater spout
- mechanical heating
- gas gas fire boiler and wall mounted flue
 - unvented cylinder



REV	DATE	DRN	CHKD
PROJECT			
The Hoo, Scheme 2			
17 Lyndhurst Gardens,			
Hampstead, London			
Returning & Grand Victorian House to Private Domestic Accommodation			
NW3 5NU			
CLIENT			
Mr and Mrs Yu			
REPRESENTED BY			
JAGA Developments (London)			
DRAWING			
Ground Floor Layout			
as Existing			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GMC	
DATE			
May 2020			
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- KEY
- Existing Walls.
 - Walls to be demolished and removed.
 - Areas to be demolished and removed.

Features

windows

- bhc bottom hung timber casement window
- thc top hung timber casement window
- shc side hung casement
- vsa vertical sliding sash timber window
- fl fixed light timber window
- rt roof light (flat roof)
- vrt velux style roof light (pitched roof)
- crl conservation style roof light (pitched roof)
- h ceiling hatch
- hf floor hatch
- sd sliding door
- sfd sliding folding door

drainage services and landscape

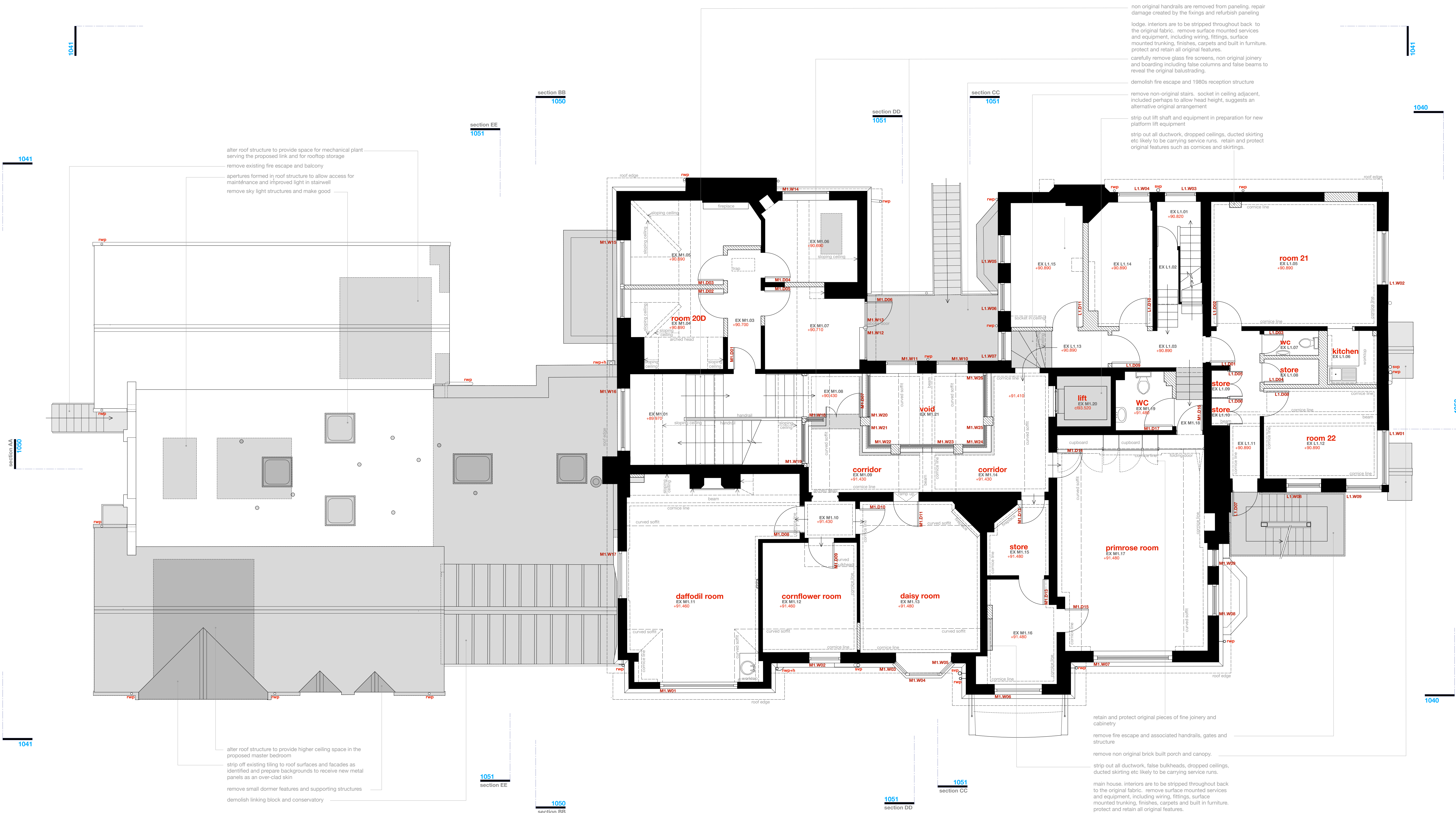
- mh Existing manhole
- ic Existing inspection chamber
- wic Existing water service inspection chamber

FWIC 01

- icw inspection chamber collecting foul water drainage
- syp soil vent pipe and underground foul water drainage
- rwp rainwater pipe, gully and underground surface water drainage
- rwp+h rainwater hopper draining into rainwater hopper
- sp rainwater spout

mechanical: heating

- gas fired boiler and wall mounted flue
- unvented cylinder



PROJECT	DATE	DRN			CHKD
The Hoo: Scheme 2 17 Lyndhurst Gardens, Hampstead, London					
Returning a Grand Victorian House to Private Domestic Accommodation NW3 3NU					
CLIENT					
Mr and Mrs Yu REPRESENTED BY JAGA Developments (London)					
DRAWING					
First Floor Layout as Existing					
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE	
1:50	A0	GMC/G		May 2020	
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JOB No	DRAWING No		REVISION		
19013	1022		B		
STATUS					
FOR PLANNING					

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- KEY
- Existing Walls.
 - Walls to be demolished and removed.
 - Areas to be demolished and removed.

Features

windows

- bhc bottom hung timber casement window
- thc top hung timber casement window
- shc side hung casement
- vsa vertical sliding sash timber window
- fl fixed light timber window
- rl roof light (flat roof)
- vrl velux style roof light (pitched roof)
- crl conservation style roof light (pitched roof)
- h ceiling hatch
- hf floor hatch
- sd sliding door
- sfd sliding folding door

drainage services and landscape

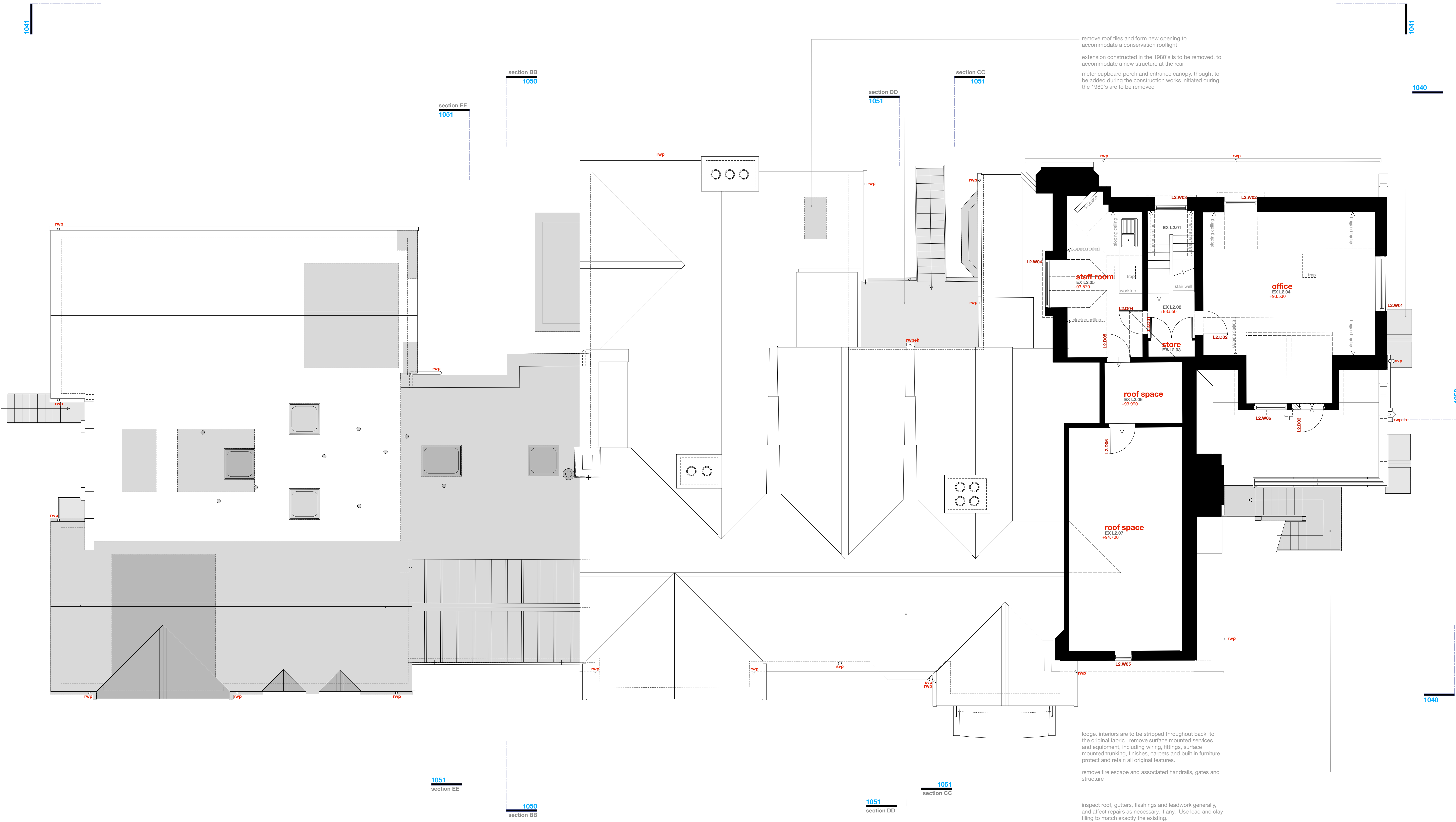
- mh Existing manhole
- ic Existing inspection chamber
- wic Existing water service inspection chamber

FWIC 01

- kuw inspection chamber collecting foul water drainage
- syp Soil vent pipe and underground foul water drainage
- rwp Rainwater pipe, gully and underground surface water drainage
- rwp+h Rainwater hopper draining into rainwater hopper
- sp Rainwater spout

mechanical: heating

- gas fired boiler and wall mounted flue
- unvented cylinder



REV	DATE	DRN	CHKD
PROJECT			
The Hoo, Scheme 2 17 Lyndhurst Gardens, Hampstead, London			
Returning & Grand Victorian House to Private Domestic Accommodation NW3 3NU			
CLIENT			
Mr and Mrs Yu REPRESENTED BY JAGA Developments (London)			
DRAWING			
Second Floor Layout as Existing			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GMcG	
		DATE	
		May 2020	
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- KEY
- Existing Walls.
 - Walls to be demolished and removed.
 - Areas to be demolished and removed.

Features

windows

- bhc bottom hung timber casement window
- thc top hung timber casement window
- shc side hung casement
- vsa vertical sliding sash timber window
- fl fixed light timber window
- rt roof light (flat roof)
- vrt velux style roof light (pitched roof)
- crl conservation style roof light (pitched roof)
- h ceiling hatch
- hf floor hatch
- sd sliding door
- sfd sliding folding door

drainage services and landscape

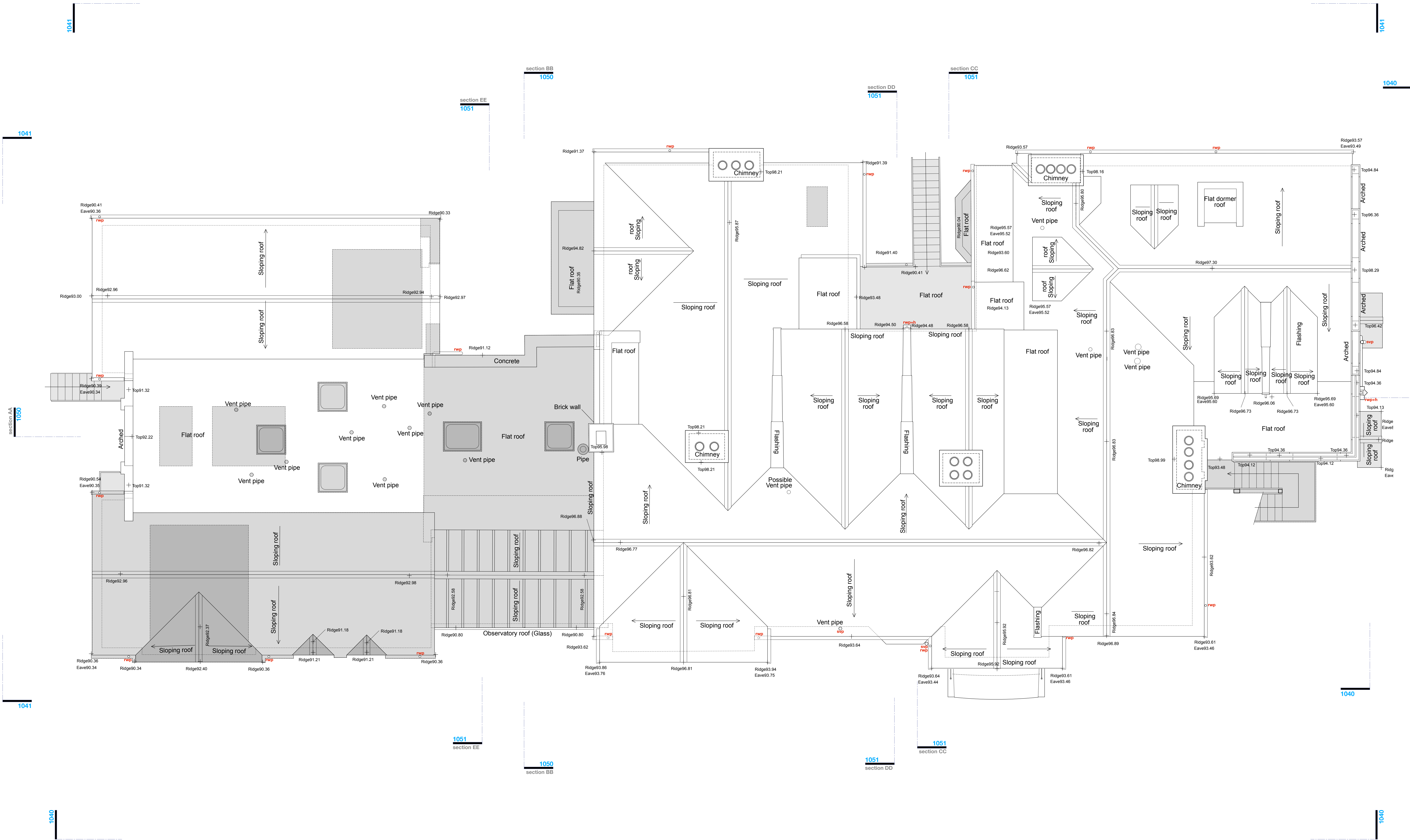
- mh Existing manhole
- ic Existing inspection chamber
- wic Existing water service inspection chamber

FWIC 01

- icw Inspection chamber collecting foul water drainage
- swp Soil vent pipe and underground foul water drainage
- rwp Rainwater pipe, gully and underground surface water drainage
- rwp+h Rainwater hopper draining into rainwater hopper
- rp Rainwater spout

mechanical heating

- gfw gas fired boiler and wall mounted flue
- uc unvented cylinder



REV | DATE | DRN | CHKD |

PROJECT
The Hoo, Scheme 2
17 Lyndhurst Gardens,
Hampstead, London
Returning & Grand Victorian House to Private Domestic Accommodation
NW3 3NU

CLIENT
Mr and Mrs Yu
REPRESENTED BY
JAGA Developments (London)

DRAWING
Roof Layout
as Existing

SCALE | SHEET SIZE | DRAWN | CHECKED | DATE
1:50 | A0 | G.M.C.G. | May 2020

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19013 | **1024** | **B**
STATUS
FOR PLANNING

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KEY
Areas to be demolished and removed.

Features

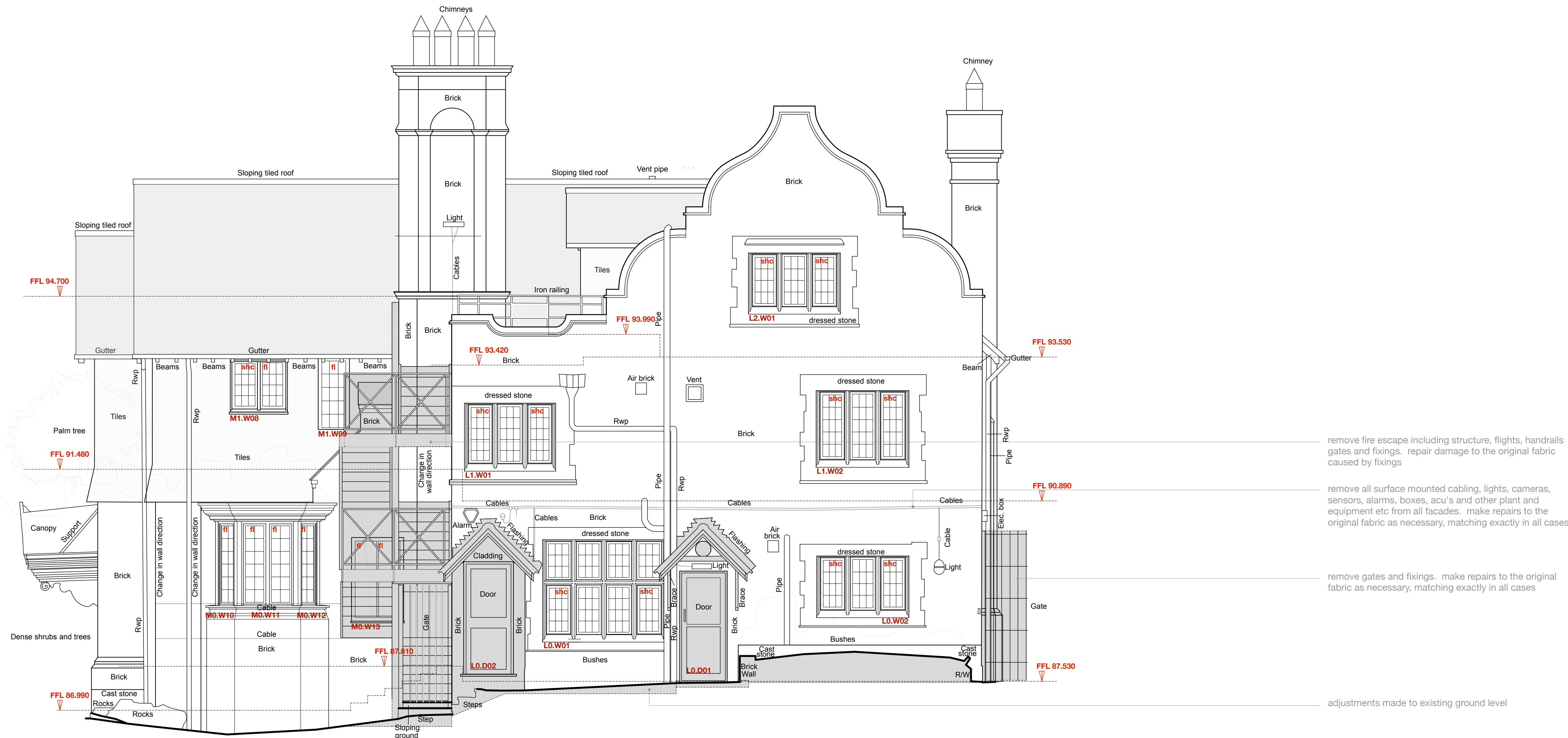
windows

- bhc bottom hung timber casement window
- thc top hung timber casement window
- shc side hung casement
- vss vertical sliding sash timber window
- tl tilt and turn window
- fl fixed light timber window
- rl roof light (flat roof)
- vrl velux style roof light (pitched roof)
- ort conservation style roof light (gabled roof)
- h ceiling hatch
- sd sliding door
- pd pivot door
- r wall / roof mounted flue to gas boiler / gas fire, terminal colour is black
- abx extract terminal as air brick, such as rylons external, colour coded to suit brickwork
- frx mushroom extract terminal for flat roof
- prx fabricated lead pitched roof vent as extract terminal, such as provided by o'brien sheet lead (transoms kit)



Principal Elevation: South

DATUM 65.000



Principal Elevation: East

DATUM 65.000

REV	DATE	DRN			(CHKD)
PROJECT					
The Hoo: Scheme 2					
17 Lyndhurst Gardens,					
Hampstead, London					
Returning & Grand Victorian House to Private Domestic Accommodation					
NW3 5NU					
CLIENT					
Mr and Mrs Yu					
REPRESENTED BY					
JAGA Developments (London)					
DRAWING					
South and East Elevations					
as Existing					
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE	
1:50	A0	GMcG		Oct 2019	
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STATUS					
FOR PLANNING					

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KEY

Areas to be demolished and removed.

Features

windows

- bhc bottom hung timber casement window
thc top hung timber casement window
shc side hung casement
vss vertical sliding sash timber window
tt tilt and turn window
fl fixed light timber window
trl roof light (flat roof)
vrl velux style roof light (pitched roof)
ort conservation style roof light (gabled roof)
h ceiling hatch
sd sliding door
pd pivot door
f wall / roof mounted flue to gas boiler / gas fire, terminal colour is black
abx extract terminal as air brick, such as raptors
refe reference colour coded to suit brickwork
mushroom extract terminal for flat roof
frx fabricated lead pitched roof vent as extract terminal, such as provided by o'brien sheet
prx lead transoms kit



Principal Elevation: North

DATUM 85.000



existing openings are adjusted to accepted bigger windows that will let in more natural light into the annexe

remove all surface mounted cabling, lights, cameras, sensors, boxes, acu's and other plant and equipment etc from all facades. make repairs to the original fabric as necessary, matching exactly in all cases

roof and wall tiling, flashings etc are to be stripped in preparation for recladding in sheet metal. see proposed elevations dwg 1140 and 1141

brickwork arch is to be demolished. repair and make good to remaining masonry
timber bay window is removed

existing timber windows and doors are removed from facade in preparation of new replacements

Principal Elevation: West

DATUM 85.000

REV	DATE	DRN	CHKD
PROJECT			
The Hoo: Scheme 2			
17 Lyndhurst Gardens, Hampstead, London			
Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
CLIENT			
Mr and Mrs Yu			
REPRESENTED BY JAGA Developments (London)			
DRAWING			
North and West Elevations as Existing			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GMG	
DATE			
Oct 2019			
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JOB No			
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DRAWING No			
1041			
REVISION			
B			
STATUS			
FOR PLANNING			

remove all surface mounted cabling, lights, cameras, sensors, boxes, acou's and other plant and equipment etc from all facades. make repairs to the original fabric as necessary, matching exactly in all cases



Section CC: West

new doorway formed in existing fabric. position doorway to mirror the existing doorway, which will be removed. carefully remove and re-use original joinery if possible

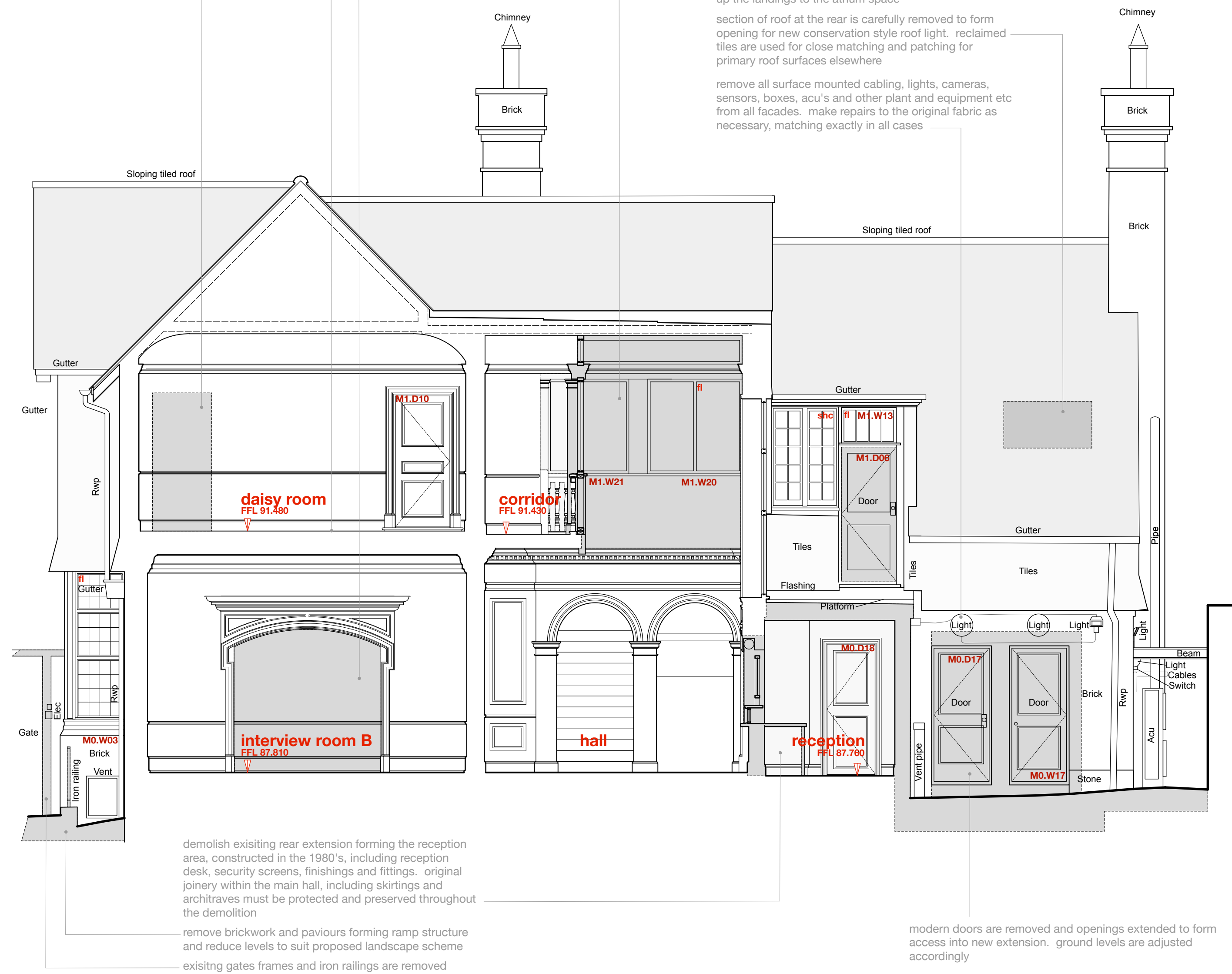
lift existing non-original finishes, carpets, tiling etc throughout to determine extent of original floor finishes below. refurbish, restore and repair as far as possible

infill to joinery screen is non original and is to be removed. carefully protect and preserve the original joinery forming the architraves screen and hood

carefully remove glass fire screens, fire proof boarding and non original joinery, including false columns and false beams to reveal the original balustrading and open up the landings to the atrium space

section of roof at the rear is carefully removed to form opening for new conservation style roof light. reclaimed tiles are used for close matching and patching for primary roof surfaces elsewhere

remove all surface mounted cabling, lights, cameras, sensors, boxes, acou's and other plant and equipment etc from all facades. make repairs to the original fabric as necessary, matching exactly in all cases



Section DD: East
DATUM 83.000

feature gable is removed. carefully take down brickwork, reserving sufficient masonry for patching brickwork elsewhere as necessary

remove structures forming small existing dormer windows

existing annexe building is significantly remodelled

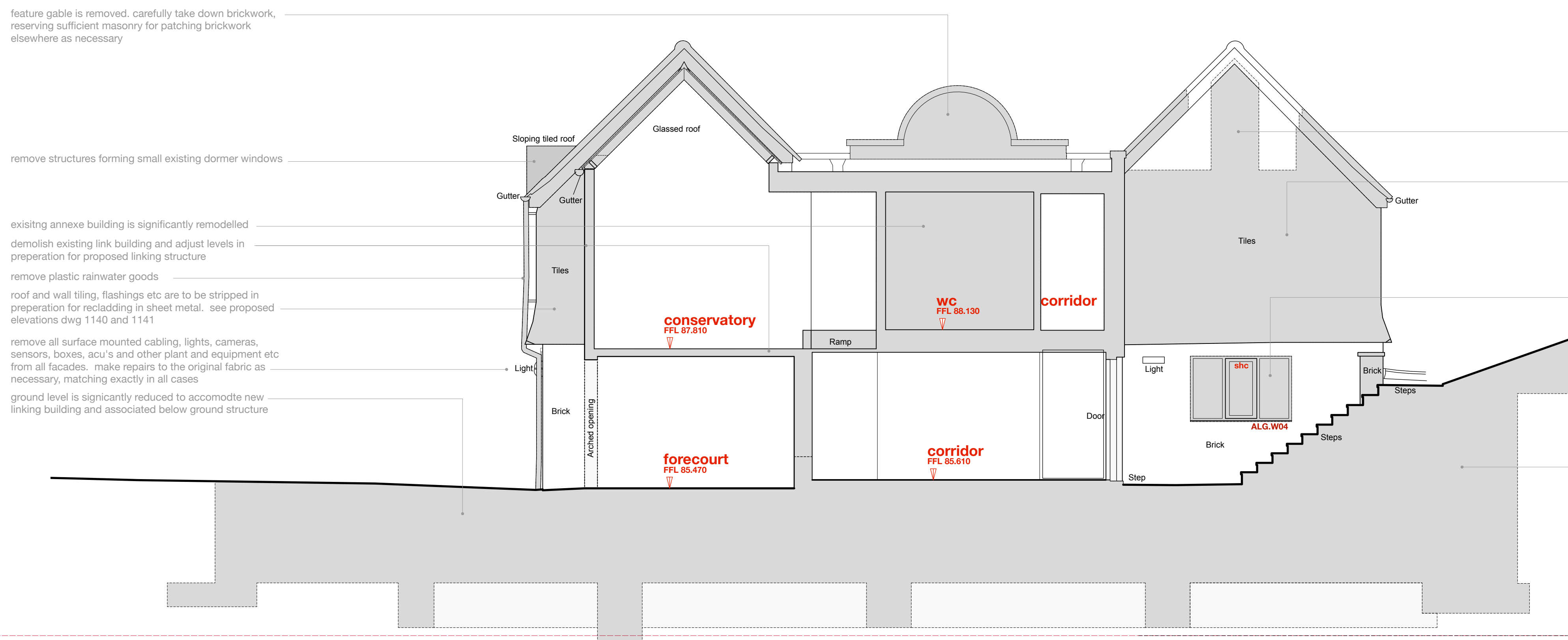
demolish existing link building and adjust levels in preparation for proposed linking structure

remove plastic rainwater goods

roof and wall tiling, flashings etc are to be stripped in preparation for recadding in sheet metal. see proposed elevations dwg 1140 and 1141

remove all surface mounted cabling, lights, cameras, sensors, boxes, acou's and other plant and equipment etc from all facades. make repairs to the original fabric as necessary, matching exactly in all cases

ground level is significantly reduced to accomodate new linking building and associated below ground structure



remove existing tiling and roof joinery as described and form new opening to access for roof top plant and storage. reserve sufficient tiling for patching elsewhere

remove existing tiling and roof joinery and prepare surfaces to receive new glass link. reserve sufficient tiling for patching elsewhere

take measures as prescribed by the structural engineer to ensure that existing boundary wall remains stable throughout demolitions, the reduction of ground levels and throughout the construction period

fill existing opening with insulated masonry panels

ground levels are reduced to accomodate the new linking building especially at lower ground level. please refer to structural engineers drawings for construction providing support and sequencing

Section EE: East
DATUM 83.000

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KEY
Areas to be demolished and removed

Features

windows

bhc bottom hung timber casement window
thc top hung timber casement window
shc side hung casement
vss vertical sliding sash timber window
ttf tilt and turn window
fl fixed light timber window
fri roof light (flat roof)
vri valus style roof light (pitched roof)
crl conservation style roof light (pitched roof)
h ceiling hatch
sd sliding door
pd pivot door
f wall / roof mounted flue to gas boiler / gas fire. terminal colour is black
abx extract terminal as set brick, such as rstone, redmetal, colour coded to suit brickwork
trx multiroom extract terminal for flat roof
prx fabricated lead pitched roof vent as extract terminal, such as provided by other sheet lead fabrications ltd

REV DATE DRN CHK

PROJECT
The Hoo: Scheme 2
17 Lyndhurst Gardens,
Hampstead, London

Describing A Grand Victorian House To Private Domestic Accommodation
NW3 5NU

CLIENT
Mr and Mrs Yu
REPRESENTED BY
JAGA Developments (London)

DRAWING
Sections CC-EE
as Existing

SCALE SHEET SIZE DRAWN CHECKED DATE
1:50 © A0 GMcG Oct 2019

BOWKER SADLER ARCHITECTURE
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JOB No. **19013** DRAWING No. **1051** REVISION **B**
STATUS **FOR PLANNING**