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Survey drawings are kindly provided by Habitat Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

- KEY**
- Existing Walls
  - Walls to be demolished and removed
  - Areas to be demolished and removed

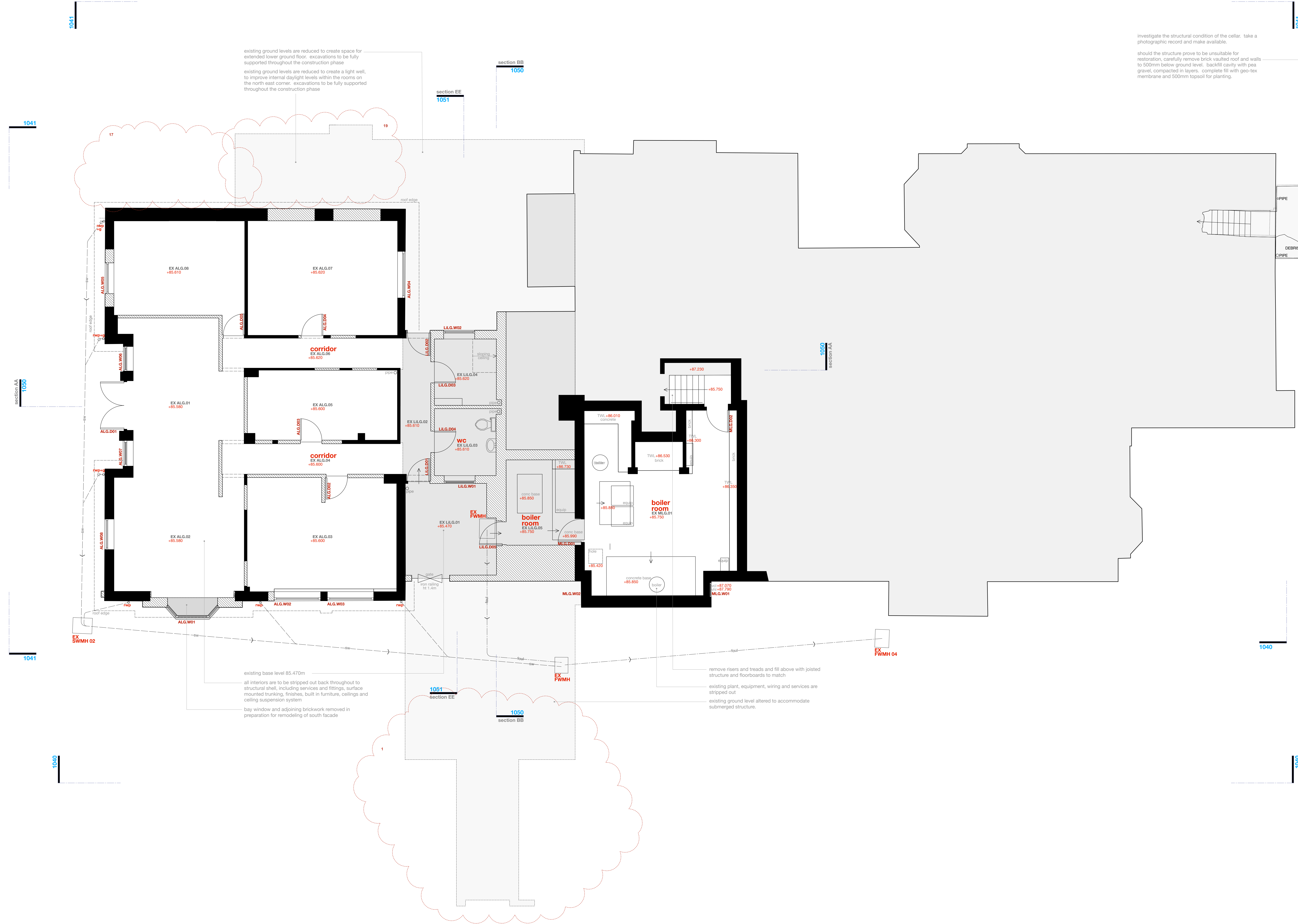
- Features**
- windows**
- bhc bottom hung timber casement window
  - tlc top hung timber casement window
  - slc side hung casement
  - vsa vertical sliding sash timber window
  - fls fixed light timber window
  - flr roof light flat roof
  - vlr valley style roof light pitched roof
  - crf conservation style roof light pitched roof
  - h ceiling hatch
  - fl floor hatch
  - sd sliding door
  - slsd sliding sliding door

- drainage services and landscape**
- mh Existing manhole
  - ic Existing inspection chamber
  - wic Existing water service inspection chamber

- FWIC 01**
- icw inspection chamber collecting foul water drainage
  - swp soil vent pipe and underground foul water drainage
  - rwp rainwater pipe, gully and underground surface water drainage
  - rwph rainwater hopper draining into rainwater hopper
  - sp Rainwater spout

- mechanical heating**
- gas fired boiler and wall mounted flue
  - unvented cylinder

- scheme 2 revisions**
- 1.9 revisions and clarifications cross referencing the Second Response. Please refer to the revised Design and Access Statement, Flv B, pages 19-22
  - 10 other revisions, detailed below
  - 18 non original window frames are removed to be replaced with new windows based on the original design
  - 19 extent of excavation is amended to ensure light well can be formed effectively



existing ground levels are reduced to create space for extended lower ground floor. excavations to be fully supported throughout the construction phase  
 existing ground levels are reduced to create a light well, to improve internal daylight levels within the rooms on the north east corner. excavations to be fully supported throughout the construction phase

investigate the structural condition of the cellar. take a photographic record and make available.  
 should the structure prove to be unsuitable for restoration, carefully remove brick vaulted roof and walls to 500mm below ground level. backfill cavity with pea gravel, compacted in layers. complete fill with geo-text membrane and 500mm topsoil for planting.

existing base level 85.470m  
 all interiors are to be stripped out back throughout to structural shell, including services and fittings, surface mounted trunking, finishes, built in furniture, ceilings and ceiling suspension system  
 bay window and adjoining brickwork removed in preparation for remodeling of south facade

remove risers and treads and fill above with joisted structure and floorboards to match  
 existing plant, equipment, wiring and services are stripped out  
 existing ground level altered to accommodate submerged structure.

REV	DATE	DRN	CHKD
<b>PROJECT</b> <b>The Hoo: Scheme 2</b> <b>17 Lyndhurst Gardens,</b> <b>Hampstead, London</b> Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
<b>CLIENT</b> <b>Mr and Mrs Yu</b> REPRESENTED BY <b>JAGA Developments (London)</b>			
<b>DRAWING</b> <b>Lower Ground Floor Layout</b> <b>as Existing</b>			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GM:G	May 2020

**BOWKER SADLER ARCHITECTURE**  
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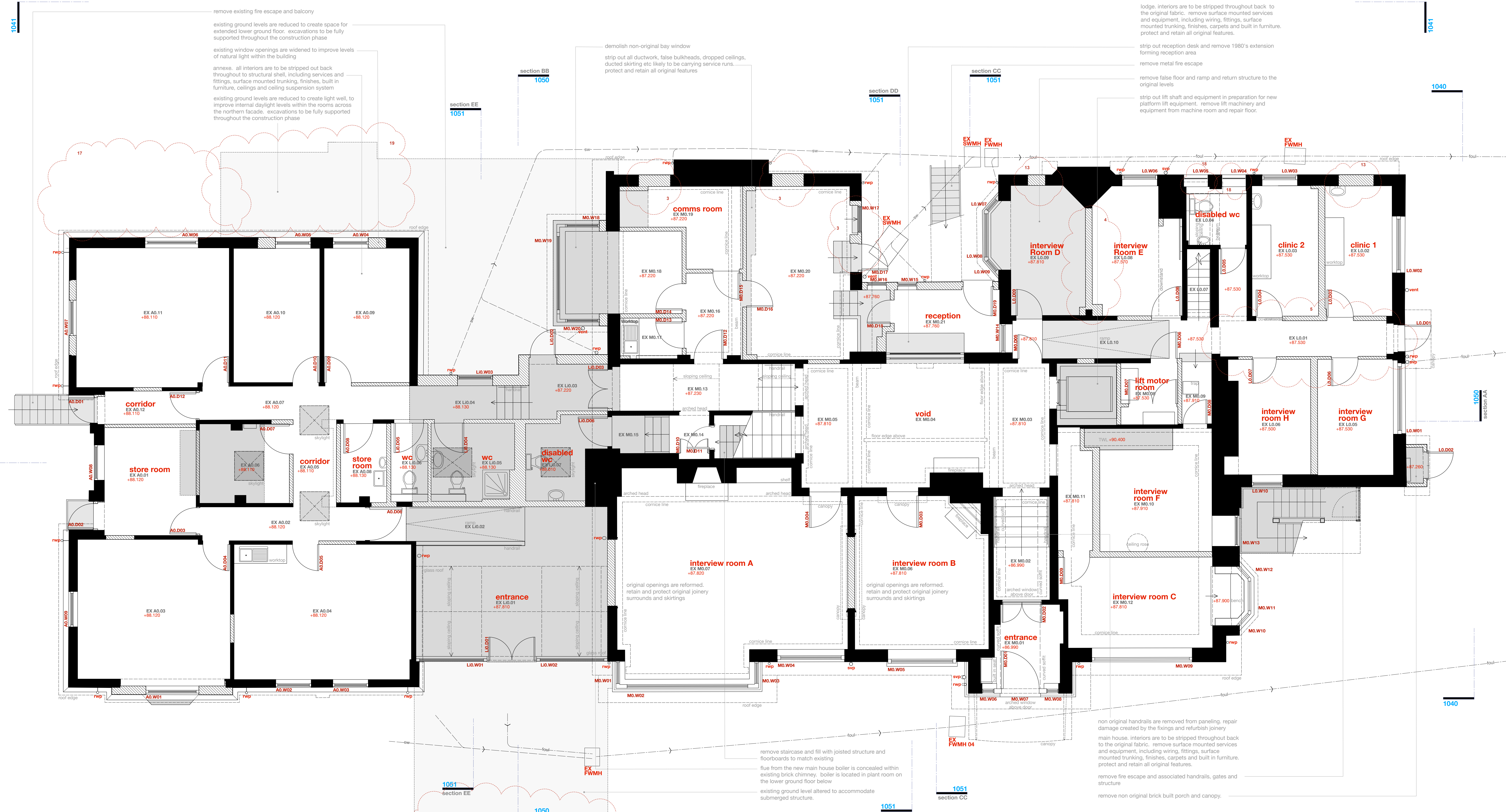
JOB No	DRAWING No	REVISION
19013	1020	B
<b>STATUS</b> <b>FOR PLANNING</b>		

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Survey drawings are kindly provided by Malcom Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.  
**KEY**  
 Existing Walls  
 Walls to be demolished and removed  
 Areas to be demolished and removed

- Features**
- windows**
  - bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vss vertical sliding sash timber window
  - fl fixed light timber window
  - rl roof light (flat roof)
  - vrl valux style roof light (pitched roof)
  - ort conservation style roof light (pitched roof)
  - h ceiling hatch
  - hf floor hatch
  - sd sliding door
  - sld sliding locking door
  - drainage services and landscape**
  - mh Existing manhole
  - lc Existing inspection chamber
  - wic Existing water service inspection chamber
  - FWIC 01**
  - fwic1 inspection chamber collecting foul water drainage
  - fwic2 soil vent pipe and underground foul water drainage
  - fwic3 rainwater down pipe and underground surface water drainage
  - fwic4 rainwater hopper draining into rainwater hopper
  - fwic5 rainwater spout
  - mechanical heating**
  - gas gas boiler and wall mounted flue
  - unvented cylinder
  - FWIC 06

- scheme 2 revisions**
- 1-9 revisions and clarifications cross referencing the "Second Response". Please refer to the revised Design and Access Statement, Rev 16 pages 19-22
  - 10 other revisions, detailed below
  - 11 opening formed to accommodate proposed conservation style roof light
  - 12 alterations to openings for roof lights and access amended
  - 13 new opening formed to accommodate window
  - 17 excavations are amended to avoid tree protection zones, particularly of trees located off site
  - 18 non original window frames are removed to be replaced with new windows based on the original design
  - 19 extent of excavation is amended to ensure light well can be formed effectively.



remove existing fire escape and balcony  
 existing ground levels are reduced to create space for extended lower ground floor. excavations to be fully supported throughout the construction phase  
 existing window openings are widened to improve levels of natural light within the building  
 annexe. all interiors are to be stripped out back throughout to structural shell, including services and fittings, surface mounted trunking, finishes, built in furniture, ceilings and ceiling suspension system  
 existing ground levels are reduced to create light well, to improve internal daylight levels within the rooms across the northern facade. excavations to be fully supported throughout the construction phase

demolish non-original bay window  
 strip out all ductwork, false bulkheads, dropped ceilings, ducted skirting etc likely to be carrying service runs. protect and retain all original features

lodge. interiors are to be stripped throughout back to the original fabric. remove surface mounted services and equipment, including wiring, fittings, surface mounted trunking, finishes, carpets and built in furniture. protect and retain all original features.  
 strip out reception desk and remove 1980's extension forming reception area  
 remove metal fire escape  
 remove false floor and ramp and return structure to the original levels  
 strip out lift shaft and equipment in preparation for new platform lift equipment. remove lift machinery and equipment from machine room and repair floor.

non original handrails are removed from panelling. repair damage created by the fixings and refurbish joinery main house. interiors are to be stripped throughout back to the original fabric. remove surface mounted services and equipment, including wiring, fittings, surface mounted trunking, finishes, carpets and built in furniture. protect and retain all original features.  
 remove fire escape and associated handrails, gates and structure  
 remove non original brick built porch and canopy.

REV	DATE	DRN	CHKD
<b>PROJECT</b> The Hoo, Scheme 2 17 Lyndhurst Gardens, Hampstead, London Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
<b>CLIENT</b> Mr and Mrs Yu REPRESENTED BY JAGA Developments (London)			
<b>DRAWING</b> Ground Floor Layout as Existing			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A4	GM:G	May 2020

**BOWKER SADLER ARCHITECTURE**  
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JOB No	DRAWING No	REVISION
19013	1021	B
STATUS		
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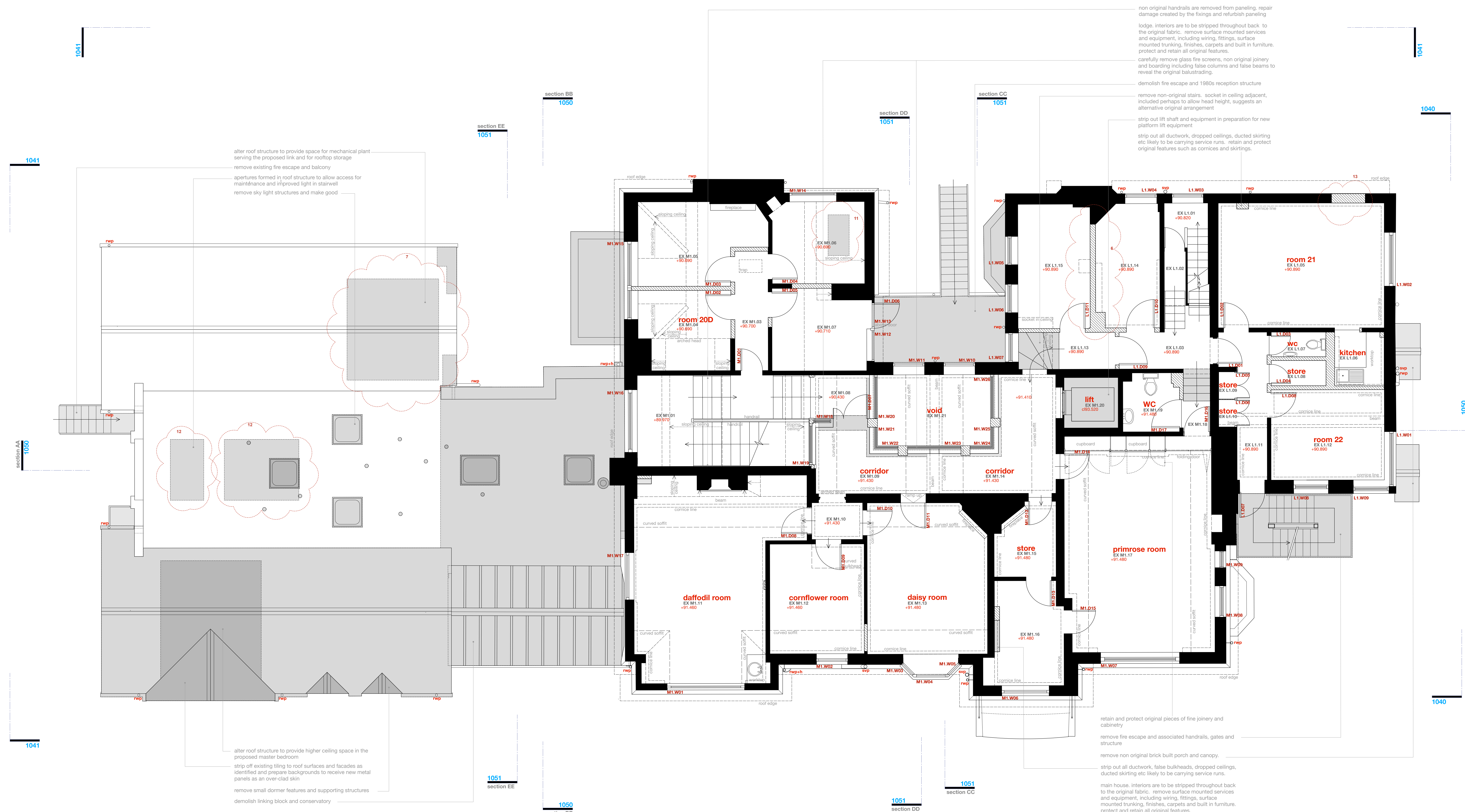
**KEY**  
 Existing Walls  
 Walls to be demolished and removed  
 Areas to be demolished and removed

**Windows**  
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 thc top hung timber casement window  
 shc side hung casement  
 vsc vertical sliding sash timber window  
 flc fixed light timber window  
 flt roof light (flat roof)  
 vrl velux style roof light (pitched roof)  
 csl conservation style roof light (pitched roof)  
 h ceiling hatch  
 hf floor hatch  
 sd sliding door  
 sld sliding looking door

**drainage services and landscape**  
 mh Existing manhole  
 ic Existing inspection chamber  
 wic Existing water service inspection chamber  
 FWIC 01 inspection chamber collecting foul water drainage  
 swp Soil vent pipe and underground foul water drainage  
 rwp rainwater pipe, gully and underground surface water drainage  
 rwpsh rainwater hopper draining into rainwater hopper  
 sp rainwater spout

**mechanical heating**  
 gas fired boiler and wall mounted flue  
 unvented cylinder

**scheme 2 revisions**  
 1-9 revisions and clarifications cross referencing the 'Second Response'. Please refer to the revised Design and Access Statement, Rev 18 pages 19-22  
 10 other revisions, detailed below  
 11 opening formed to accommodate proposed conservation style roof light  
 12 alterations to openings for roof lights and access amended  
 13 new opening formed to accommodate window



alter roof structure to provide space for mechanical plant serving the proposed link and for rooftop storage  
 remove existing fire escape and balcony  
 apertures formed in roof structure to allow access for maintenance and improved light in stairwell  
 remove sky light structures and make good

non original handrails are removed from paneling, repair damage created by the fixings and refurbish paneling  
 lodge, interiors are to be stripped throughout back to the original fabric. remove surface mounted services and equipment, including wiring, fittings, surface mounted trunking, finishes, carpets and built in furniture, protect and retain all original features.  
 carefully remove glass fire screens, non original joinery and boarding including false columns and false beams to reveal the original balustrading.  
 demolish fire escape and 1980s reception structure  
 remove non-original stairs, socket in ceiling adjacent, included perhaps to allow head height, suggests an alternative original arrangement  
 strip out lift shaft and equipment in preparation for new platform lift equipment  
 strip out all ductwork, dropped ceilings, ducted skirting etc likely to be carrying service runs. retain and protect original features such as cornices and skirtings.

retain and protect original pieces of fine joinery and cabinetry  
 remove fire escape and associated handrails, gates and structure  
 remove non original brick built porch and canopy  
 strip out all ductwork, false bulkheads, dropped ceilings, ducted skirting etc likely to be carrying service runs.  
 main house, interiors are to be stripped throughout back to the original fabric. remove surface mounted services and equipment, including wiring, fittings, surface mounted trunking, finishes, carpets and built in furniture, protect and retain all original features.

alter roof structure to provide higher ceiling space in the proposed master bedroom  
 strip off existing tiling to roof surfaces and facades as identified and prepare backgrounds to receive new metal panels as an over-clad skin  
 remove small dormer features and supporting structures  
 demolish linking block and conservatory

REV	DATE	DRN	CHKD
PROJECT			
<b>The Hoo: Scheme 2</b>			
<b>17 Lyndhurst Gardens,</b>			
<b>Hampstead, London</b>			
Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
CLIENT			
<b>Mr and Mrs Yu</b>			
REPRESENTED BY			
<b>JAGA Developments (London)</b>			
DRAWING			
<b>First Floor Layout</b>			
<b>as Existing</b>			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A4	GM:G	
			DATE
			May 2020

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JOB No	DRAWING No	REVISION
<b>19013</b>	<b>1022</b>	<b>B</b>
STATUS		
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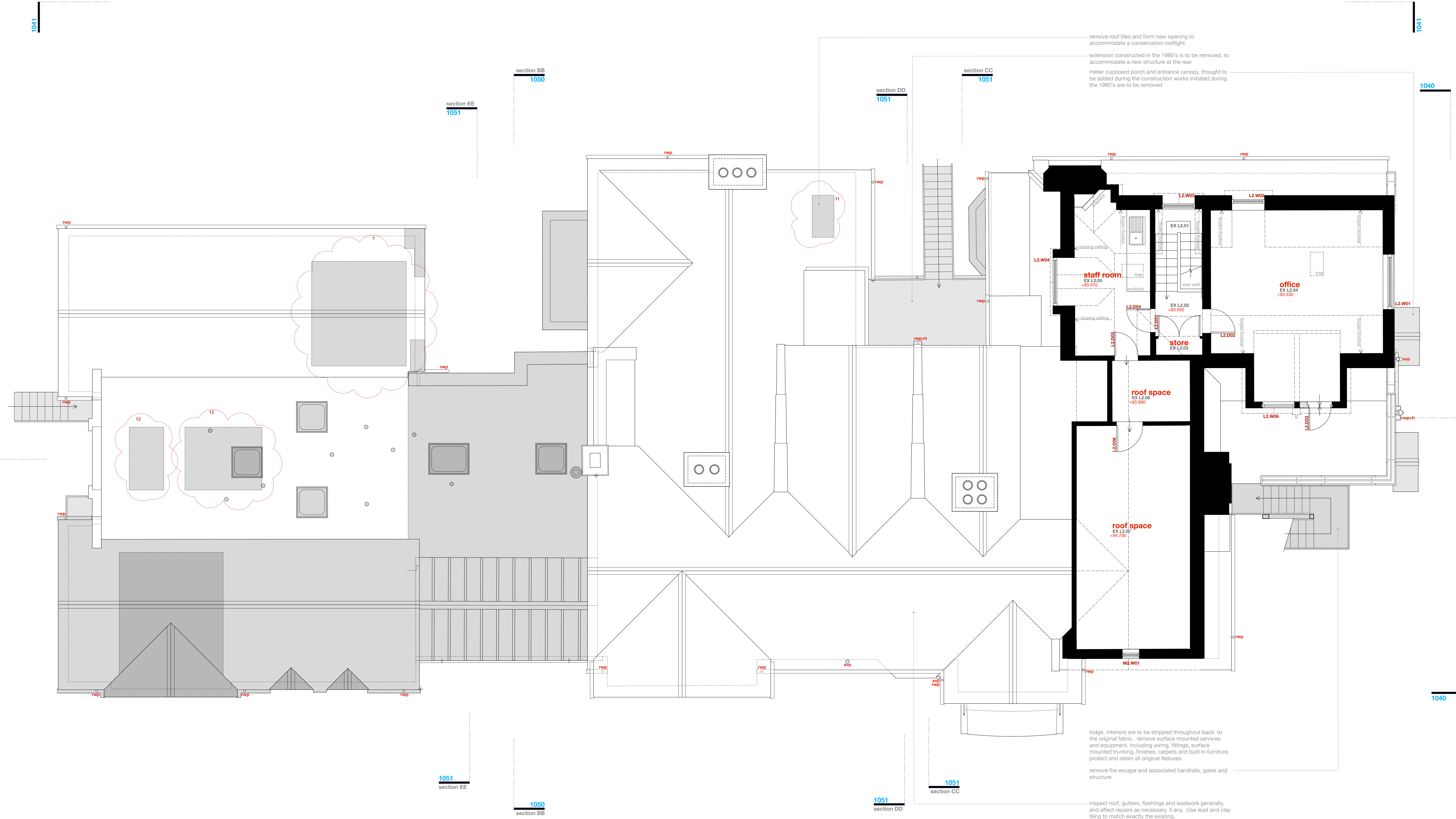
**Features**  
**windows**  
 bhc bottom hung timber casement window  
 thc top hung timber casement window  
 shc side hung casement  
 vsc vertical sliding sash timber window  
 fsc fixed light timber window  
 rft roof light (flat roof)  
 vrt velux style roof light (pitched roof)  
 cft conservation style roof light (pitched roof)  
 h ceiling hatch  
 hf floor hatch  
 sd sliding door  
 sfd sliding folding door

**drainage services and landscape**  
 mh Existing manhole  
 ic Existing inspection chamber  
 wic Existing water service inspection chamber

**FWIC 01**  
 icw inspection chamber collecting foul water drainage  
 swp soil vent pipe and underground foul water drainage  
 rwp rainwater pipe, gully and underground surface water drainage  
 rwp-h rainwater hopper draining into rainwater hopper  
 rwp rainwater spout

**mechanical heating**  
 gas fired boiler and wall mounted flue  
 unvented cylinder

**scheme 2 revisions**  
 1-9 revisions and clarifications cross referencing the "Second Response". Please refer to the revised Design and Access Statement, Rev. 18 pages 19-22  
 10... other revisions, detailed below  
 11 opening formed to accommodate proposed conservation style roof light alterations to openings for roof lights and access amended  
 12



REV	DATE	DRN	CHKD
<b>PROJECT</b> <b>The Hoo, Scheme 2</b> <b>17 Lyndhurst Gardens,</b> <b>Hampstead, London</b> Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
<b>CLIENT</b> <b>Mr and Mrs Yu</b> REPRESENTED BY <b>JAGA Developments (London)</b>			
<b>DRAWING</b> <b>Second Floor Layout</b> <b>as Existing</b>			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GM:G	May 2020

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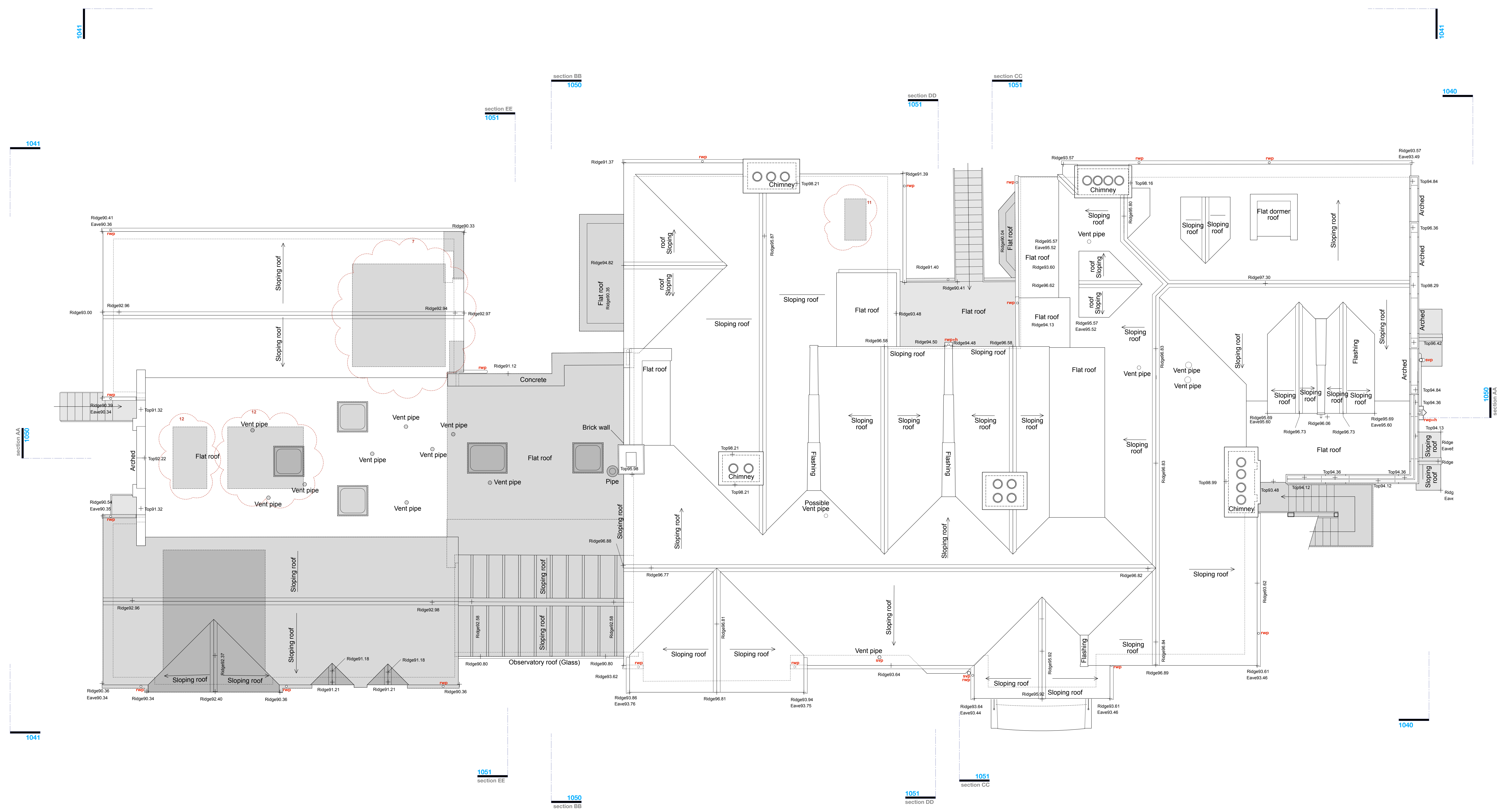
JOB No	DRAWING No	REVISION
19013	1023	B
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  - shc side hung casement
  - vsc vertical sliding sash timber window
  - flc fixed light timber window
  - flr roof light (flat roof)
  - vlc velux style roof light (gabled roof)
  - clt conservation style roof light (gabled roof)
  - h ceiling hatch
  - hf floor hatch
  - sd sliding door
  - ssd sliding timber door
- drainage services and landscape**
- mh Existing manhole
  - ic Existing inspection chamber
  - wic Existing water service inspection chamber
- FWIC 01**
- icw inspection chamber collecting foul water drainage
  - swp soil vent pipe and underground foul water drainage
  - rwp rainwater pipe, gully and underground surface water drainage
  - rwh rainwater hopper draining into rainwater hopper
  - rp rainwater spout
- mechanical heating**
- g gas fired boiler and wall mounted flue
  - u unvented cylinder
- scheme 2 revisions**
- 1.9 revisions and clarifications cross referencing the "Second Response". Please refer to the revised Design and Access Statement, Rev. 18 pages 19-22
  - 10. other revisions, detailed below
  - 11 opening formed to accommodate proposed conservation style roof light alterations to openings for roof lights and access amended
  - 12



REV	DATE	DRN	CHKD
<b>PROJECT</b> <b>The Hoo, Scheme 2</b> <b>17 Lyndhurst Gardens,</b> <b>Hampstead, London</b> Returning a Grand Victorian House to Private Domestic Accommodation NW3 5NU			
<b>CLIENT</b> <b>Mr and Mrs Yu</b> REPRESENTED BY <b>JAGA Developments (London)</b>			
<b>DRAWING</b> <b>Roof Layout</b> <b>as Existing</b>			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GM:G	DATE
			May 2020

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JOB No	DRAWING No	REVISION
<b>19013</b>	<b>1024</b>	<b>B</b>
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KEY  
 Areas to be demolished and removed.

- Features**
- windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vs vertical sliding sash timber window
  - tt tt and turn window
  - fl fixed light timber window
  - rl roof light (flat roof)
  - vtl valux style roof light (pitched roof)
  - ort conservation style roof light (gabled roof)
  - h ceiling hatch
  - sd sliding door
  - pd pivot door
  - f wall / roof mounted flue to gas boiler / gas fire, remove colour as black
  - abx extract terminal as air track, such as rotors, refer to colour coded to suit brickwork
  - mx mushroom extract terminal for flat roof
  - prx fabricated lead pitched roof vent as extract terminal, such as provided by orlain sheet lead (transoms not)

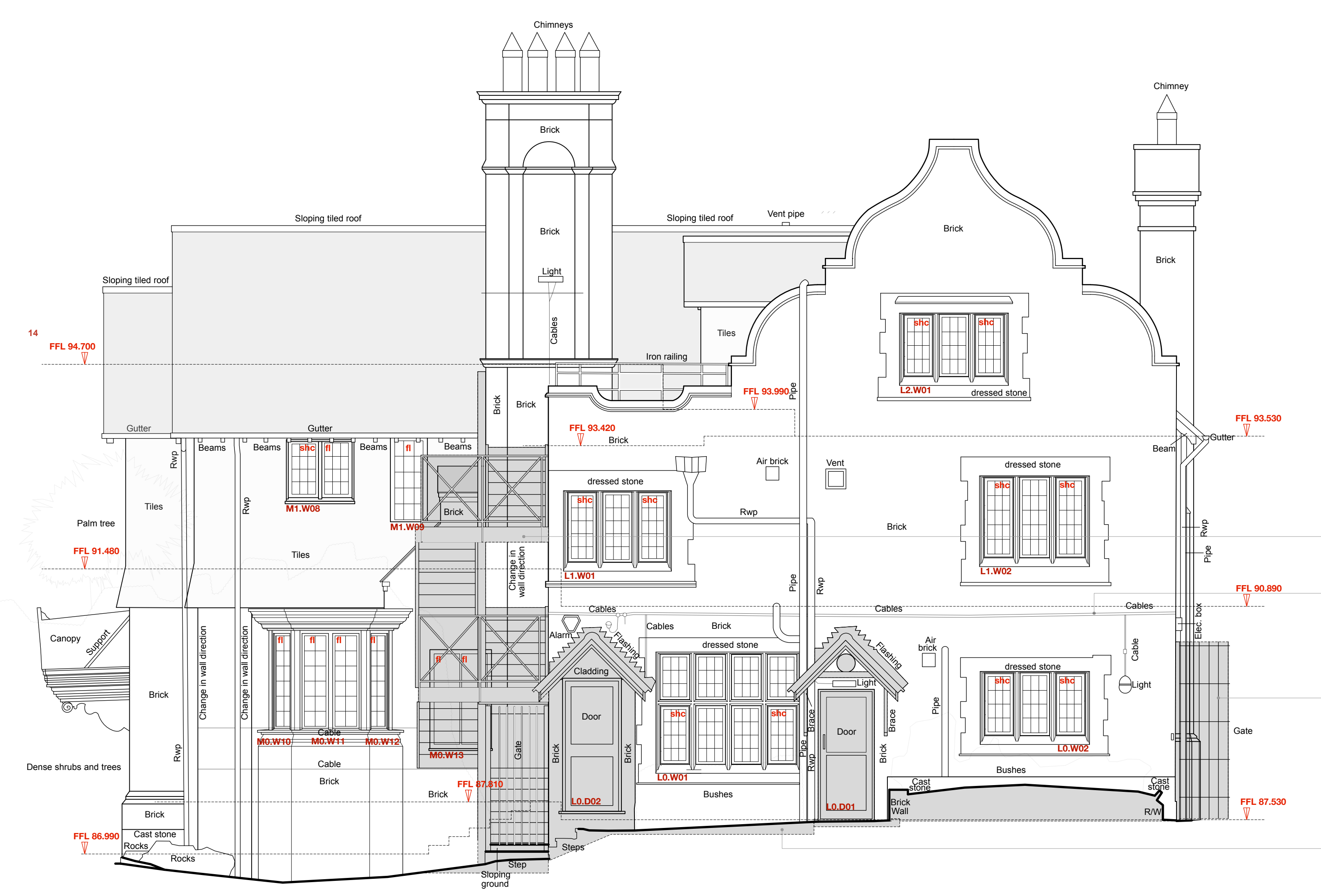
- scheme 2 revisions**
- 1.9 revisions and clarifications cross referencing the "Second Response". Please refer to the revised Design and Access Statement, Part B, pages 19-22
  - 16.1 other revisions, detailed below
  - 14 minor revision to formed opening

existing openings are adjusted ready to receive new, larger windows  
 tiling, flashings etc are to be stripped from the existing roofs and walls in preparation for recladding in sheet metal. see proposed elevations dwg 1140 and 1141  
 small dormer structures are to be removed completely opening inserted into existing structure to receive new glass walled gable



Principal Elevation: South

DATUM 83.000



Principal Elevation: East

DATUM 83.000

- remove fire escape including structure, flights, handrails gates and fixings. repair damage to the original fabric caused by fixings
- remove all surface mounted cabling, lights, cameras, sensors, alarms, boxes, ac's and other plant and equipment etc from all facades. make repairs to the original fabric as necessary, matching exactly in all cases
- remove gates and fixings. make repairs to the original fabric as necessary, matching exactly in all cases
- adjustments made to existing ground level

REV	DATE	DRN	CHKD
PROJECT			
<b>The Hoo: Scheme 2</b>			
<b>17 Lyndhurst Gardens, Hampstead, London</b>			
Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
CLIENT			
<b>Mr and Mrs Yu</b>			
REPRESENTED BY			
<b>JAGA Developments (London)</b>			
DRAWING			
<b>South and East Elevations as Existing</b>			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GM:G	
DATE			
Oct 2019			

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JOB No	DRAWING No	REVISION
<b>19013</b>	<b>1040</b>	<b>B</b>
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  - vrl valux style roof light (pitched roof)
  - ort conservation style roof light (pitched roof)
  - h ceiling hatch
  - sd sliding door
  - pd pivot door
  - f wall / roof mounted fan to gas boiler / gas fire, terminal colour as black
  - abx extract terminal as air track, such as rotors, rotatable, colour coded to suit framework
  - mx mushroom extract terminal for fat roof
  - prx specialised lead pitched roof vent as extract terminal, such as provided by orthern sheet lead fabrications Ltd.



replace existing plastic rainwater gutters and downpipes with powder coated aluminium goods across the annexe

existing openings are altered and enlarged to receive new windows  
 fire escape and balcony and associated fixings are removed. make good damage to masonry

existing levels are reduced to form light well to maximise natural light penetrating into the building. new openings are formed in preparation for new windows

- scheme 2 revisions**
- 1.9 revisions and clarifications cross referencing the "Second Response". Please refer to the revised Design and Access Statement, Rev 18, page 19-22
  - 10. other revisions, detailed below
  - 13 additional openings formed
  - 16 ground level for path is amended to suit new floor levels and to remedy ingress of damp currently present along the northern elevation
  - 17 ground levels amended to avoid roof protection zones, particularly of those located off site
  - 18 non original window frames are removed

Principal Elevation: North

DATUM 03.000



existing openings are adjusted to accept larger windows that will let in more natural light into the annexe

remove all surface mounted cabling, lights, cameras, sensors, boxes, acu's and other plant and equipment etc from all facades. make repairs to the original fabric as necessary, matching exactly in all cases

roof and wall tiling, flashings etc are to be stripped in preparation for recladding in sheet metal. see proposed elevations dwg 1140 and 1141

brickwork arch is to be demolished. repair and make good to remaining masonry  
 timber bay window is removed

existing timber windows and doors are removed from facade in preparation of new replacements

Principal Elevation: West

DATUM 03.000

PROJECT	DATE	DRN	CHKD
<b>The Hoo: Scheme 2</b>			
<b>17 Lyndhurst Gardens, Hampstead, London</b>			
Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
CLIENT	Mr and Mrs Yu		
REPRESENTED BY	JAGA Developments (London)		
DRAWING	North and West Elevations as Existing		
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GM/C	
			DATE
			Oct 2019

**BOWKER SADLER ARCHITECTURE**  
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JOB No	DRAWING No	REVISION
<b>19013</b>	<b>1041</b>	<b>B</b>
STATUS	FOR PLANNING	

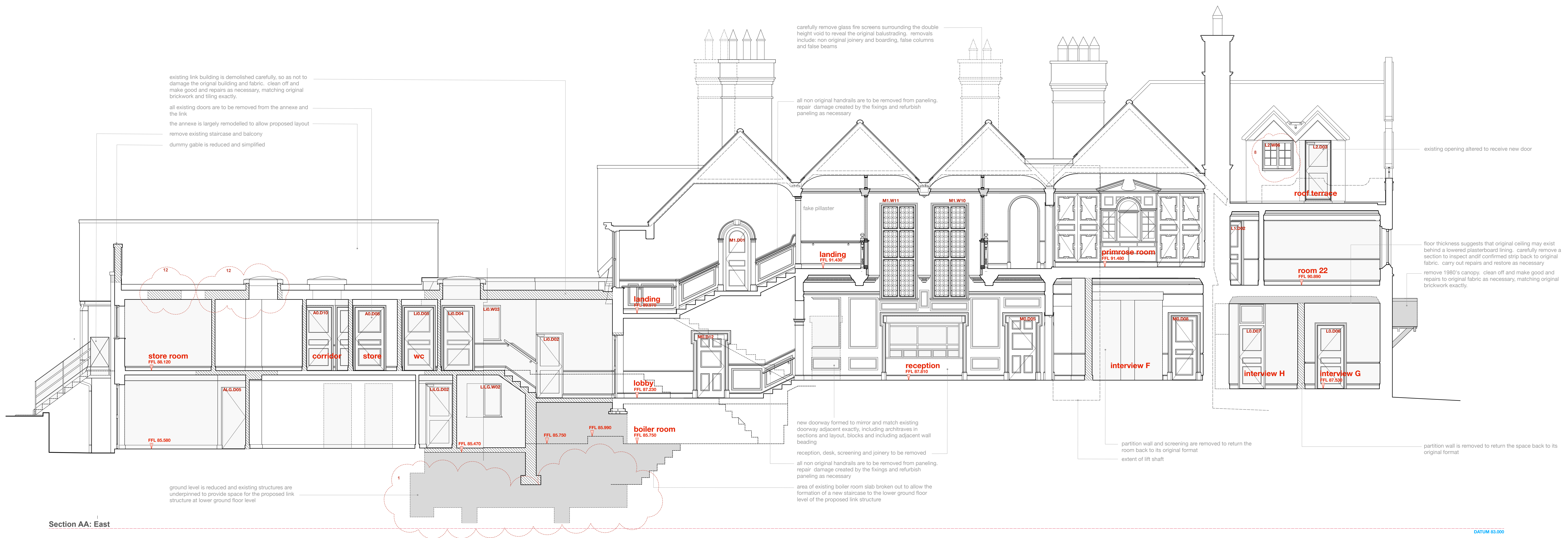
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Survey drawings are kindly provided by Habitat Higher Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

**KEY**  
 [Hatched] Walls to be demolished and removed.  
 [Grey] Areas to be demolished and removed.

**Features**  
**windows**  
 bhc bottom hung timber casement window  
 thc top hung timber casement window  
 shc side hung casement  
 vss vertical sliding sash timber window  
 tlh and turn window  
 fl fixed light timber window  
 rl roof light (flat roof)  
 vl velux style roof light (pitched roof)  
 ofl conservation style roof light (pitched roof)  
 h ceiling hatch  
 sd sliding door  
 pd pivot door  
 f wall / roof mounted flue to gas boiler / gas fire, terminal colour as black  
 ex extract terminal as air track, such as returns, extract, colour coded to suit brickwork  
 mx mushroom extract terminal for flat roof  
 prx fabricated lead pitched roof vent as extract terminal, such as provided by orthern sheet lead fabrications Ltd

**scheme 2 revisions**  
 1/9 revisions and clarifications cross referencing the 'Second Response'. Please refer to the revised Design and Access Statement, Part B, pages 19-22  
 1/10 other revisions, detailed below  
 1/12 alterations to openings for roof lights and access amended



Section AA: East



Section BB: West

REV	DATE	DRN	CHKD
PROJECT			
<b>The Hoo: Scheme 2</b>			
<b>17 Lyndhurst Gardens,</b>			
<b>Hampstead, London</b>			
Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
CLIENT			
<b>Mr and Mrs Yu</b>			
REPRESENTED BY			
<b>JAGA Developments (London)</b>			
DRAWING			
<b>Sections AA-BB</b>			
<b>as Existing</b>			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A4	GM:G	
			DATE
			Nov 2019

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JOB No	DRAWING No	REVISION
<b>19013</b>	<b>1050</b>	<b>B</b>
STATUS		
<b>FOR PLANNING</b>		



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 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Survey drawings are kindly provided by Malcolm Hughes Land Surveys Ltd and are assumed to accurately describe the existing building, services and external spaces.

**KEY**  
 Areas to be demolished and removed

**Features**

- windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vss vertical sliding sash timber window
  - tt tilt and turn window
  - fl fixed light timber window
  - rt roof light (flat roof)
  - vtl valua style roof light (pitched roof)
  - ortl conservation style roof light (pitched roof)
  - h ceiling hatch
  - sd sliding door
  - pd pivot door
  - f wall / roof mounted flue to gas boiler / gas fire. terminal colour is black
  - abx extract terminal as air brick, such as rtrons, rtrnabx, colour coded to suit brickwork
  - mxx mushroom extract terminal for flat roof
  - prx fabricated lead pitched roof vent as extract terminal, such as provided by orther sheet lead fabrications ltd

**scheme 2 revisions**

- 1.9 revisions and clarifications cross referencing the Second Response. Please refer to the revised Design and Access Statement, Rev B, pages 19-22
- 10... other revisions, detailed below
- 11 opening formed to accommodate proposed conservation style roof light

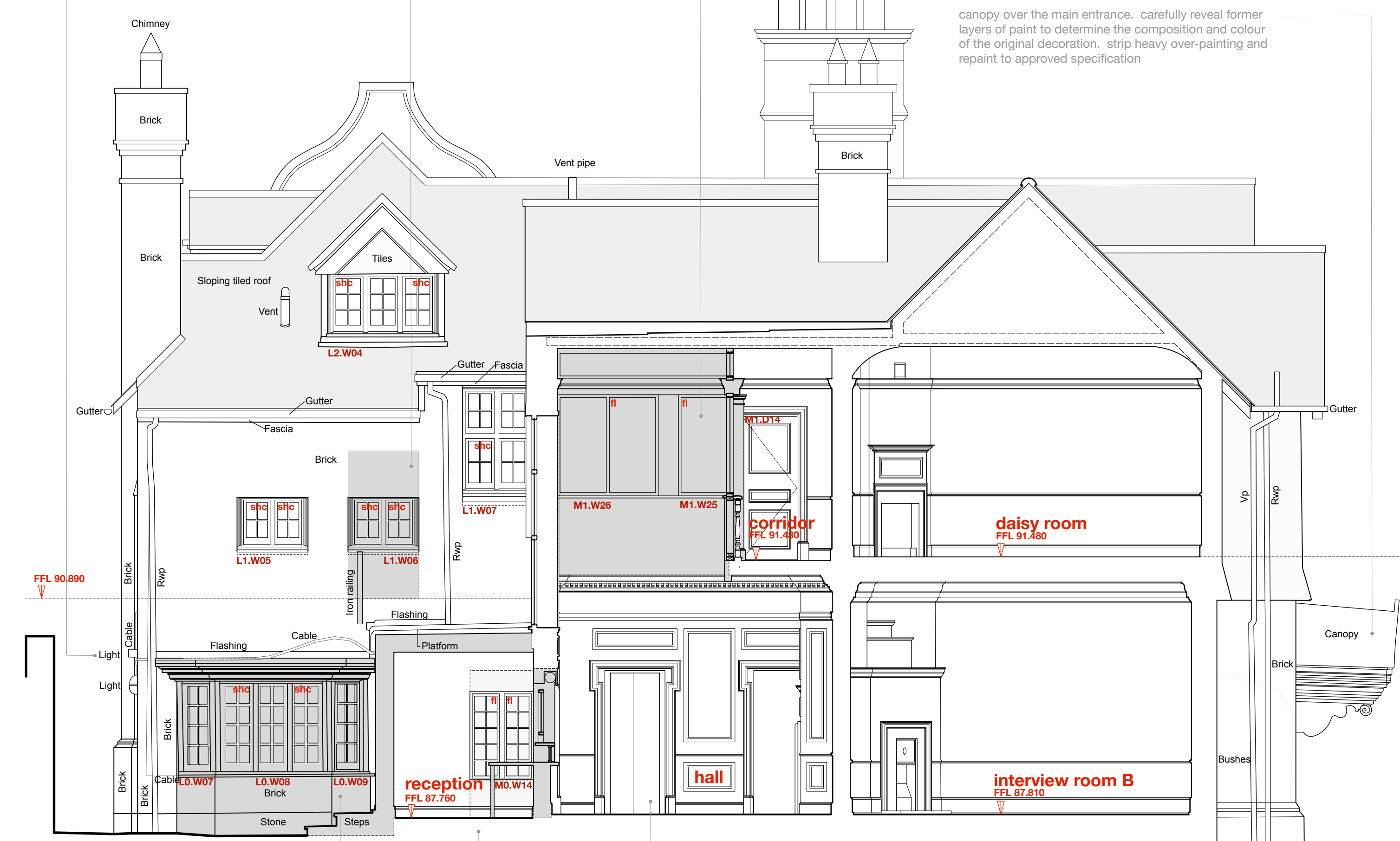
remove all surface mounted cabling, lights, cameras, sensors, boxes, acou's and other plant and equipment etc from all facades. make repairs to the original fabric as necessary, matching exactly in all cases

new doorway formed from existing opening. carefully remove brickwork including brick specials. clean, store and re-use for patching elsewhere, in particular where visible from the public realm  
 carefully remove glass fire screens, fire proof boarding and non original joinery, including false columns and false beams to reveal the original balustrading and open up the landings to the atrium space  
 canopy over the main entrance. carefully reveal former layers of paint to determine the composition and colour of the original decoration. strip heavy over-painting and repaint to approved specification

new doorway formed in existing fabric. position doorway to mirror the existing doorway, which will be removed. carefully remove and re-use original joinery if possible  
 lift existing non-original finishes, carpets, tiling etc throughout to determine extent of original floor finishes below. refurbish, restore and repair as far as possible  
 infill to joinery screen is non original and is to be removed. carefully protect and preserve the original joinery forming the architraves screen and hood  
 carefully remove glass fire screens, fire proof boarding and non original joinery, including false columns and false beams to reveal the original balustrading and open up the landings to the atrium space  
 section of roof at the rear is carefully removed to form opening for new conservation style roof light. reclaimed tiles are used for close matching and patching for primary roof surfaces elsewhere  
 remove all surface mounted cabling, lights, cameras, sensors, boxes, acou's and other plant and equipment etc from all facades. make repairs to the original fabric as necessary, matching exactly in all cases

demolish existing rear extension forming the reception area, constructed in the 1980's, including reception desk, security screens, finishings and fittings. original joinery within the main hall, including skirtings and architraves must be protected and preserved throughout the demolition  
 remove brickwork and pavlours forming ramp structure and reduce levels to suit proposed landscape scheme  
 existing gates frames and iron railings are removed

strip out lift shaft and equipment in preparation for new platform lift. remove lift car, fixings, machinery and equipment from machine room and repair floor.  
 demolish existing rear extension forming the reception area, constructed in the 1980's, including reception desk, security screens, finishings and fittings. original joinery within the main hall, including skirtings and architraves must be protected and preserved throughout the demolition  
 bay window is removed. brickwork including brick specials are carefully removed. clean, store and re-use for patching elsewhere, in particular where visible from the public realm



Section CC: West

Section DD: East  
DATUM 83.000

feature gable is removed. carefully take down brickwork, reserving sufficient masonry for patching brickwork elsewhere as necessary

remove structures forming small existing dormer windows

existing annexe building is significantly remodelled  
 demolish existing link building and adjust levels in preparation for proposed linking structure  
 remove plastic rainwater goods  
 roof and wall tiling, flashings etc are to be stripped in preparation for re-cladding in sheet metal. see proposed elevations dwg 1140 and 1141

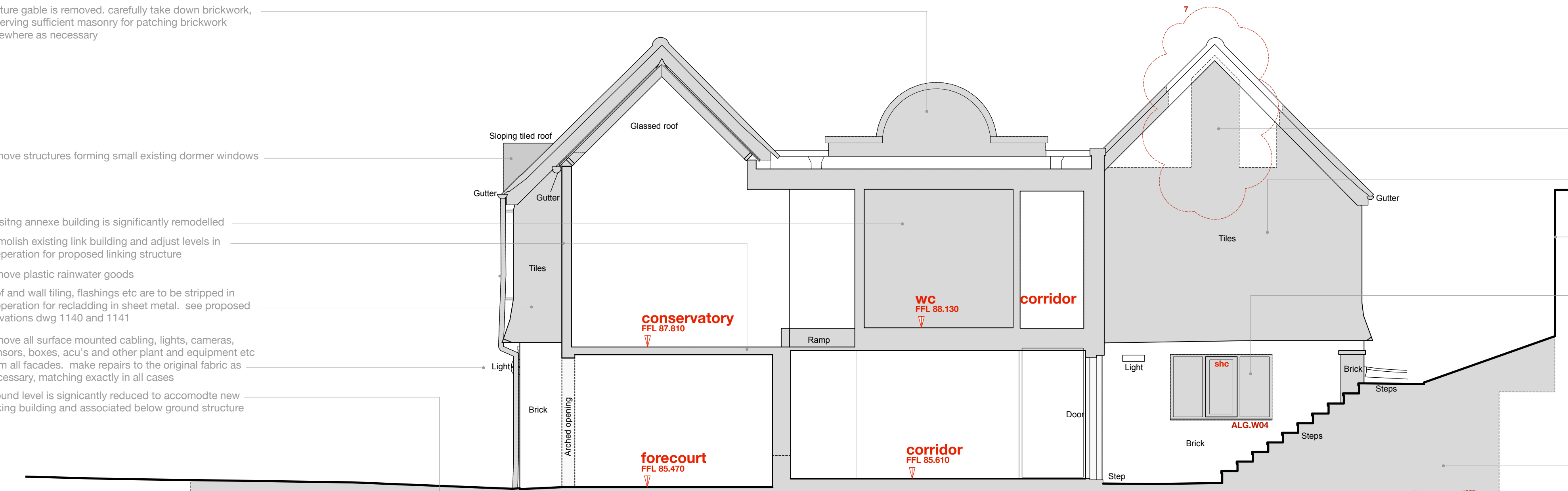
remove all surface mounted cabling, lights, cameras, sensors, boxes, acou's and other plant and equipment etc from all facades. make repairs to the original fabric as necessary, matching exactly in all cases  
 ground level is significantly reduced to accommodate new linking building and associated below ground structure

remove existing tiling and roof joinery as described and form new opening to access for roof top plant and storage. reserve sufficient tiling for patching elsewhere

remove existing tiling and roof joinery and prepare surfaces to receive new glass link. reserve sufficient tiling for patching elsewhere

take measures as prescribed by the structural engineer to ensure that existing boundary wall remains stable throughout demolitions, the reduction of ground levels and throughout the construction period  
 fill existing opening with insulated masonry panels

ground levels are reduced to accommodate the new linking building especially at lower ground level. please refer to structural engineers drawings for construction providing support and sequencing



Section EE: East  
DATUM 83.000

REV	DATE	BY	CHKD
PROJECT			
<b>The Hoo: Scheme 2</b> <b>17 Lyndhurst Gardens,</b> <b>Hampstead, London</b>			
<small>Restoration of a Grand Victorian House to Private Domestic Accommodation NW3 5NU</small>			
CLIENT			
<b>Mr and Mrs Yu</b> REPRESENTED BY <b>JAGA Developments (London)</b>			
DRAWING			
<b>Sections CC-EE</b> <b>as Existing</b>			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GM:G	
DATE		DATE	
Oct 2015		Oct 2015	

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JOB No:	DRAWING No:	REVISION:
<b>19013</b>	<b>1051</b>	<b>B</b>
STATUS:	FOR PLANNING	