

# DESIGN & ACCESS STATEMENT

NO. 7 BELSIZE PARK GARDENS, NW3 4LB –  
FLAT D & FLAT E

## Introduction

This Design & Access Statement lays out the proposal for the conversion of two self-contained flats, (a three bed and a one bed) into one single self-contained four bedroom flat on the upper two floors of no. 7 Belsize Park Gardens. The proposal also includes the replacement of two existing roof terraces to the front of the property into one consolidated roof terrace, and creation of a new roof terrace to the rear of the property.

The proposal seeks to replace the existing traditional timber framed sash windows at the front of the property on the second floor with like-for-like new windows and replace the windows to the rear of the property at the same level with timber framed sash windows.

The purpose of these developments is to improve the access and circulation within the flats as well as provide much needed outdoor amenity space for the family who reside in the upper two flats.

## Site Location

The property lies on the Western end of the Belsize Park Gardens close to the junction of Belsize Terrace, Belsize Park and Belsize Avenue.



IMAGE 01 - AERIAL VIEW



IMAGE 02 - BELSIZE PARK GARDENS, VIEW OF REAR OF PROPERTIES

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## Historical Context

The property at no. 7 Belsize Park Gardens forms half of a paired set of mid-19th Century Italianate villas situated within the Belsize Conservation Area.

Belsize Park Gardens and nearby area represent the core of the Belsize Park development undertaken by developer David Tidey in the mid 1850's. Belsize Park Gardens has a broadly uniformed character given by repeated forms of the stucco-villas design, which are closely spaced forming a continuous building line w/ narrow gaps between each pair. This uniformity creates a strong rhythm to the street.

The Tidey paired villas of Belsize Park Gardens are characterised by their rusticated quoins, recessed sash windows that diminish in size on successive upper floors comprising classically detailed surrounds, canted three-light bays on the ground floor and steps up to porticos, which form the main entrance into the buildings. The villas are symmetrical about the slab chimney stacks and have hipped, slate roofs with overhanging eaves. The overhanging eaves are supported by ornate brackets. These alongside the curved glass bay windows at the rear of the property and front entrance doors with two panels, characteristically etched with rounded heads form the primary distinguishing features of the villas.

## Current Context

The existing building has been converted into five self-contained flats with a communal staircase providing access to each flat on each floor. The second and third floor flats are owned by the applicant.

The roofscape to the front of no. 7 Belsize Park Gardens is currently broken up by two roof terraces of varying sizes. One of the terraces extends to the front edge of the roof and is narrow in width. It has thin black metal railings to either side that are fixed into a raised zinc clad upstand which follows the slope of the slate roof. The railings continue to the front of the terrace. The finish to the floor and sides of the walls of the terrace are a zinc metal, please refer to images 03, 04, 05 & 06.



IMAGE 03 - VIEW OUT ONTO FRONT ROOF TERRACES FROM OFFICE

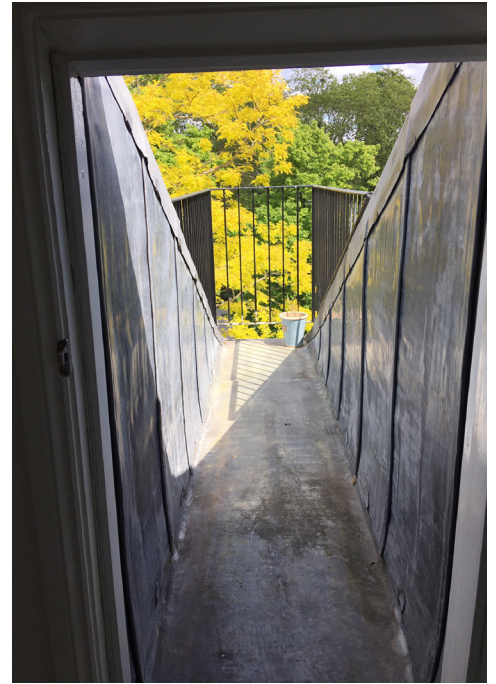


IMAGE 04 - VIEW ALONG LENGTH OF NARROW TERRACE



IMAGE 05 - FRONT ROOF TERRACE ACCESSED VIA WINDOWS



IMAGE 06 - VIEW OF SMALL ENTRANCE DOORWAY ONTO NARROW ROOF TERRACE

The second terrace is the width of the existing dormer window but only extends part way along the length of the roof. This terrace is accessed via a set of double casement windows. It has an elevated floor with a zinc finish matching the other terrace. The railings are set at a higher level due to the elevated floor. The railings are similar in style to the other terrace, being thin black metal, please refer to images 05 & 06.

The two roof terraces of varying sizes and heights creates an unsymmetrical appearance to the front of the property. The terrace extended to the edge of the roof is not in keeping with the line of the neighbouring properties roof terraces, which are all set back from the edge of the roofline. These aspects detract from the uniformed characteristic of the villas by disrupting the visual rhythm to the roofscapes.

Another key issue with the current layout of the existing roof terraces is the reduction of privacy to the neighbouring properties. The elevated terrace creates a greater risk of overlooking issues onto no. 5 Belsize Parks' roof terrace.

The roof terrace that extends to the edge of the roof creates an exposed point. This not only reduces the privacy for the residents to no. 7 Belsize Park, but also creates a greater chance of overlooking onto neighbouring properties from the end of the terrace.

To the rear of the property there is an existing dormer window, which provides increased head room and natural light to a bedroom within the upper flat of no. 7. Similarly to the front bedroom terrace there is a flat section of roof extending from the dormer, which is clad in zinc, please refer to images 07 & 08.



IMAGE 07 - VIEW OUT OF REAR DORMER WINDOW ONTO ZINC CLAD WALLS OF ROOF



IMAGE 08 - VIEW OUT OF REAR OF NO. 7 SHOWING FLAT SECTION OF ROOF COMING OFF OF DORMER & REAR TERRACES OF NEIGHBOURING PROPERTY SPENCER HOUSE

## Proposed Design

The proposed developments consist of four parts:

- Consolidating two roof terraces at the front of the property into one terrace
- Creation of a new roof terrace at the rear of the property
- Converting two flats into one single self-contained dwelling
- Replacement of the existing sash windows to the front of the property and rear of the property at second floor level

## Front Roof Terrace

This proposal seeks to create a consolidated single roof terrace to the front of the property, which is set back from the eaves line at the front of the building in order to align with the roof terrace to no. 5 Belsize Park Gardens. Please refer to the proposed drawings.

The proposal to replace the timber framed, single glazed double casement windows to the dormer at the front of the property with conservation style white painted, sustainably sourced timber framed, thermally broken double glazed double doors will greatly improve the access onto the roof terrace, negating the need to climb up and out of the windows as per the current situation. This will improve the safety of the roof terrace, especially as the terraces are to be used by children as well as adults.

There are a number of similar examples of roof terraces to the front and rear of properties that have been constructed along the street with black iron railings to the perimeter that are either set back from the eaves by a slate tiles length or extend to the edge of the eaves line please refer to images 09 & 10.



IMAGE 09 - VIEW OF NO. 5 BELSIZE PARK GARDENS ROOF TERRACE AT FRONT OF PROPERTY



IMAGE 10 - VIEW OF PROPERTIES ALONG BELSIZE PARK GARDENS WITH ROOF TERRACES TO THE FRONT OF THEIR PROPERTIES

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## Rear Roof Terrace

White painted, sustainably sourced timber framed conservation style, and thermally broken double glazed double doors are being proposed to replace the two single glazed casement windows to the rear dormer to create access onto a new roof terrace. Both the front and rear new double doors will match the existing opening widths of the windows being replaced.

The glazed double doors will increase the amount of natural light entering the front and rear rooms to the top floor, which will improve the internal environment and reduce the need for using artificial lighting during the daytime.

The footprint of the proposed new roof terrace to the rear bedroom will be the same as the flat section of roof currently in situ, which comes out from the dormer window. By lowering the level of the flat section of this area to create a new floor it will enable most of the terrace to be concealed within the roofscape, reducing the visual impact of the terrace when looking up from ground floor level, or across from neighbouring properties. This in turn reduces the possibility of overlooking and privacy issues. The sides of the sloped section of roof will be clad in zinc to match the existing. Zinc clad upstands will be used on the slope of the roof to either side and to the front of the terrace to support the new railings. The style and design of the railings are to replicate the existing railings to the front roof terraces. They are to be black metal railings with a thin profiled rail, which has a slight curve to the top and thin square profiled balusters evenly spaced. The bottom rail is to be flat and thin. Please refer to image 11 for an example of the existing railings.



IMAGE 11 - EXISTING BALUSRADE DESIGN & FIXING

Similarly to the front roof terrace the proposal to set the roof terrace back from the front edge of the roof and by reducing the level of the floor it will enable the terrace to be sunken down within the sloped section of the roof, which will reduce over looking towards and from no. 5 Belsize Park Gardens and other neighbouring properties.

## Converting Two Flats into a Single Self-contained Dwelling + Access

The proposal looks to convert two self-contained flats, (a three bed – Flat D, and a one bed – Flat E) on the upper two floors of the building into one single self-contained four bedroom flat to serve as a large family unit. A private stair linking the Flats D and E would be created by introducing a new partition and entrance door to the half landing between the first floor and second floor of the communal stairwell. The conversion would involve the rearrangement of internal walls at both levels to create a more open and connected feel to the dwelling. Please refer to the existing and proposed drawings for further information.

## Replacing Existing Sash Windows for New

As part of the works the proposal includes the replacement of the existing traditional, white painted timber box sash windows to the front of the property on the second floor level to the living room and kitchen and the rear of the property to the master bedroom and bedroom 02.

Like-for-like white painted timber framed box sash windows are proposed to be installed to replace the existing windows to the living room and kitchen at the front of the property complete with traditionally operated with a true weights and pulley system. The only modification in design is to use hand-drawn Mono-fine glass to improve the thermal performance as well as safety and security of the windows.

To the rear of the property the existing traditional, white painted timber box sash windows to the master bedroom and bedroom 02 are in a state of dilapidation allowing water ingress. The single glazing and height of the windows from the finished floor level make the windows hard and unsafe to easily clean, please refer to images 12 & 13.



IMAGE 12 - EXISTING SASH WINDOW TO BEDROOM 02 AT REAR OF PROPERTY

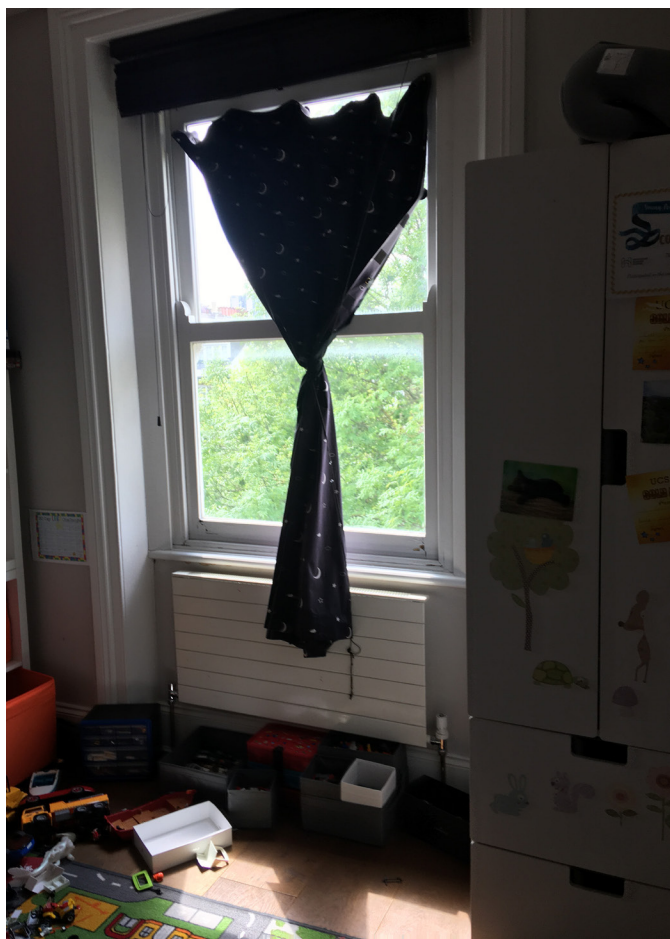


IMAGE 13 - EXISTING SASH WINDOW TO BEDROOM 02 AT REAR OF PROPERTY

The proposal to replace the existing box sash windows with white painted timber framed sliding sash windows with thermally broken double glazing would enable easier cleaning with the tilt-in function of the window. It would also enhance the thermal performance of the windows and greatly improve the safety and security of them while being operated and cleaned. The traditional appearance of the sash windows would be retained through the design of the windows – mimicking the lugs, blind stops, brick molds, meeting rails, sash top & bottom rails, putty bevels, sill height and slope, jambs, parting beads and casings.

## Precedents

There are a number of precedents within the building itself as well as along the street where planning permission has been granted by the council for the alteration and extension of properties. Planning permission has also been granted for the replacement of existing traditional timber framed box sash windows. Please see details below regarding relevant applications and Appendix for further information:

- Application Ref: 2018/3350/P
  - o Replacement of single glazed timber-framed sash/ casement windows w/ double glazed timber-framed sash/ casement windows
- Application Ref: 2017/7041/P
  - o Proposed enlargement of existing front and rear dormers including terraces and the construction of a side dormer window and chimney
- Application Ref: 2010/1107/P
  - o Conversion of two self-contained flats into one self-contained residential unit

## Conclusion

We feel that the proposed developments will greatly improve the function and safety of the property creating a home suitable for the needs of a family with young children while being sensitive to the history and context of the site.

The consolidation and reconfiguration of the front roof terraces into a single enlarged terrace will help to unify the paired villas once again, therefore enhancing the overall appearance of the building while preserving the characteristics of the conservation area.

## Appendix

- Application Ref: 2018/3350/P
  - o Replacement of single glazed timber-framed sash/ casement windows w/ double glazed timber-framed sash/ casement windows

Application ref: 2018/3350/P  
Contact: Nora-Andreea Constantinescu  
Tel: 020 7974 5758  
Date: 20 November 2018

Graham Ford Architects  
Britannia House  
11 Glenthorne Road  
LONDON  
W6 0LH



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Regeneration and Planning  
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[www.camden.gov.uk/planning](http://www.camden.gov.uk/planning)

Dear Sir/Madam

### DECISION

Town and Country Planning Act 1990 (as amended)

#### Full Planning Permission Granted

Address:  
**Upper Ground Floor Flat**  
**64 Belsize Park Gardens**  
**London**  
**NW3 4NE**

Proposal:  
Replacement of single-glazed timber-framed sash/casement windows and doors with double-glazed timber-framed sash/casement windows and doors, replacement of timber frames to curved bay window to rear elevation, all to upper floor flat (Class C3).

Drawing Nos: PL-1001 Rev 01; PL-1011 Rev 01; PL-1010 Rev 00; PL-1020 Rev 01; 001; 002; 003; 005; Details - Ovolo glazing bar options; Histoglass -Product specifications; Design and access statement.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

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- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans:

PL-1001 Rev 01; PL-1011 Rev 01; PL-1010 Rev 00; PL-1020 Rev 01; 001; 002; 003; 005; Details - Ovolo glazing bar options; Histoglass -Product specifications; Design and access statement.

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reasons for granting permission:

It is proposed to replace the front bay single glazed window with double glazed (Histoglass mono) window, and replace the existing frames with new ones to match the existing dimensions and design. Along the side elevation, the proposal would include replacement of all timber sash windows with double glazed, and proposed window frames and dimensions. Details have been provided which demonstrate that the proposed windows would preserve the appearance of the host building, streetscene and wider Belsize Park Conservation Area.

To the rear elevation, the upper floor flat opens to the rear garden through a large curved bay window. It is proposed to retain the single glazed window but the frames would be replaced with new ones to match existing dimensions and design. Next to the bay window, the flat has a large timber sash window, proposed to be replaced with double glazed and new frames to match existing. Details have been provided to demonstrate glazing bars are structural and the proposed windows would preserve the appearance of the host building.

Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

A comment was received prior making this decision, which is fully addressed in the consultation summary. The planning history of the site has been taken into account when coming to this decision.

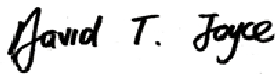
As such, the proposed development is in general accordance with policies A1, D1, and D2 of Camden Local Plan 2017. The development would also accord with the National Planning Policy Framework 2018 and the London Plan 2016.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service (tel: 020-7974 6941).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2018.

You can find advice about your rights of appeal at:  
<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce  
Director of Regeneration and Planning

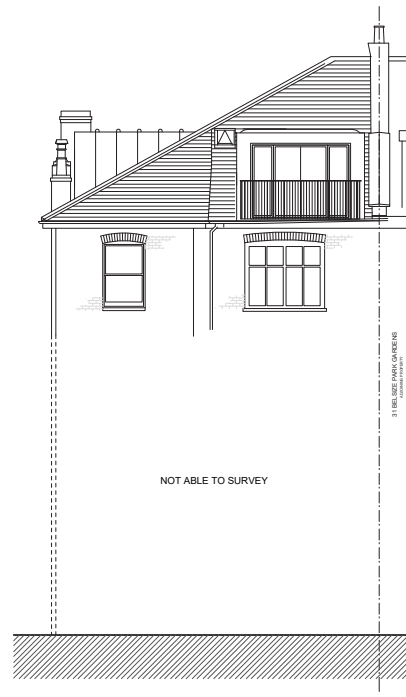
Application Ref: 2017/7041/P

o Proposed enlargement of existing front and rear dormers including terraces and the construction of a side dormer window and chimney



1 FRONT ELEVATION  
05

These plans are based on measured survey undertaken in AUGUST 2017. Due care is exercised in surveying but no liability can be accepted for any inaccuracy; the client and third parties should rely on their own information, notwithstanding this the drawings are a fair representation of the premises for present purposes. copyright is held by the author; no unauthorised use shall be made of the drawings. given dimensions are in mm.



3 REAR ELEVATION  
03

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29 BELSIZE PARK GARDENS LONDON NW3 4JH	
MR P. ARMIGER	
PROPOSED FRONT & PART REAR ELEVATIONS	
Scale: 1/100 @ A3 Date: 15.12.2017 Draw: MR	Draw By: 776_05_101

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Application Ref: 2010/1107/P

o Conversion of two self-contained flats into one self-contained residential unit

Mr Paul Cavill  
Hertford Planning Service  
37-41 Castle Street  
Hertford  
Hertfordshire  
SG14 1HH



Development Control  
Planning Services  
London Borough of Camden  
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www.camden.gov.uk/planning

Application Ref: **2010/1107/P**  
Please ask for: **Aysegul Olcar-Chamberlin**  
Telephone: 020 7974 **6374**

12 May 2010

Dear Sir/Madam

#### DECISION

Town and Country Planning Acts 1990 (as amended)  
Town and Country Planning (General Development Procedure) Order 1995  
Town and Country Planning (Applications) Regulations 1988

#### Full Planning Permission Granted

Address:  
**Flat C & D**  
**7 Belsize Park Gardens**  
**London**  
**NW3 4LB**

Proposal:  
Conversion of two one-bedroom flats into one three-bedroom flat including replacement of rear first floor windows with French doors and installation of railings above the rear bay windows in connection with a new balcony to first floor flat.

Drawing Nos: 10160-S001; 001-B; 002; and 003-A

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.



INVESTOR IN PEOPLE

Page 1 of 3

Director of Culture & Environment  
Rachel Stopard

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Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies B1 and B7 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: 10160-S001; 001-B; 002; and 003-A.

Reason:

For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reasons for granting permission.

The proposed development is in general accordance with the policy requirements of the London Borough of Camden Replacement Unitary Development Plan 2006, with particular regard to policies SD6 (Amenity for neighbours and occupiers), H3 (Protecting existing housing), H7 (Lifetime homes and wheelchair housing), H8 (Housing mix), B1 (General design principles), B3 (Alterations and extensions) and B7 (Conservation Areas). For a more detailed understanding of the reasons for the granting of this planning permission, please refer to the officer's report.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2363).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Planning and Public Protection Division (Compliance and Enforcement Team), Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 5613 or by email [ppp@camden.gov.uk](mailto:ppp@camden.gov.uk) or on the website [www.camden.gov.uk/pollution](http://www.camden.gov.uk/pollution)) or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.