



NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

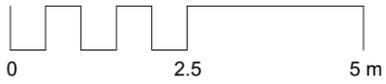
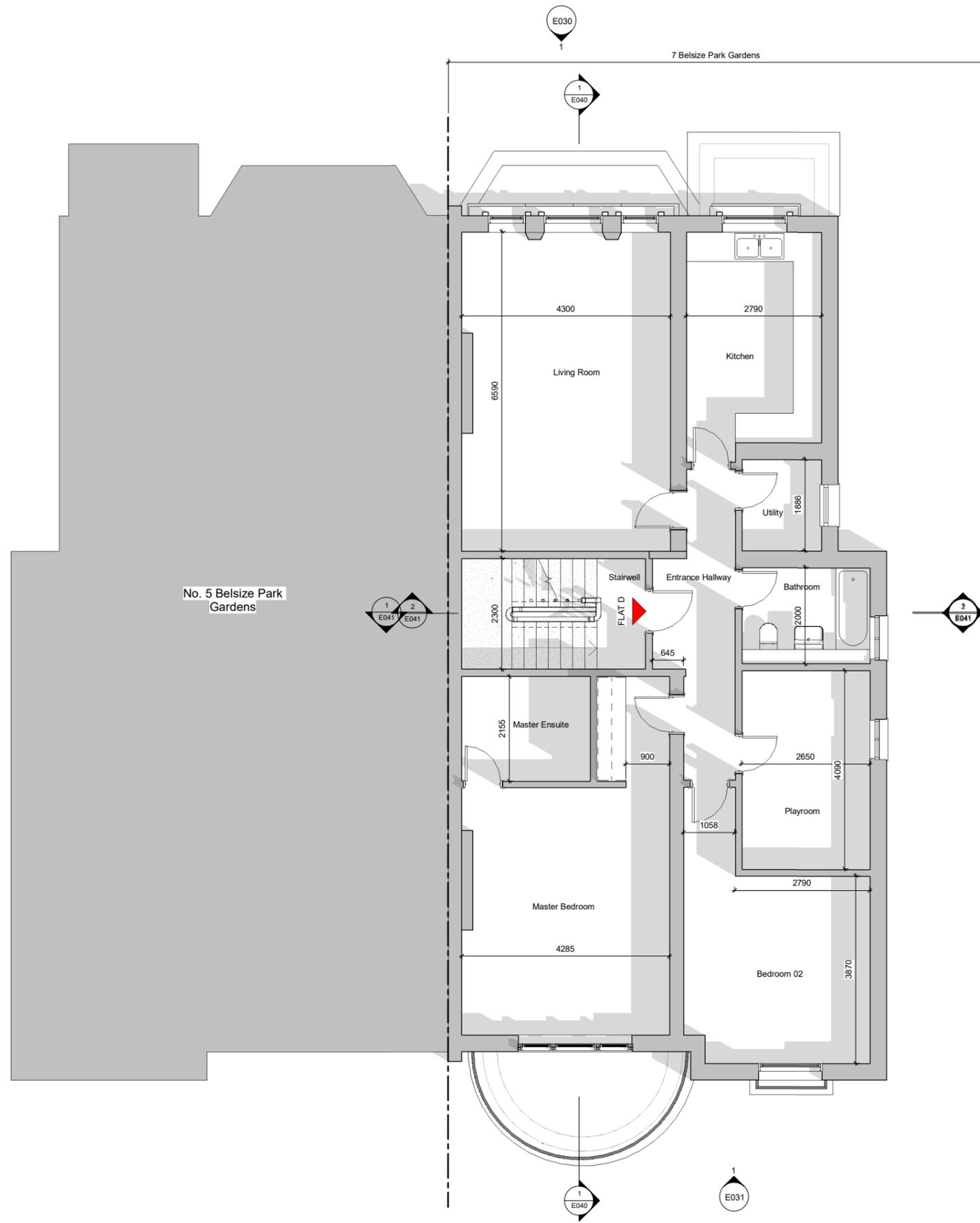
Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client / the contractor ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Revision Schedule			
Issue	Revision Description	Date	Initial



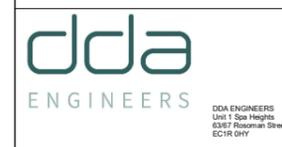
E012 Existing Second Floor Plan

1:50 @ A1, 1:100 @ A3

COPYRIGHT All rights reserved
 These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers.

Project
 7 Belsize Park Gardens

Client
 Private



Title
 Existing Second Floor Plan

PRE-PLANNING

Designed: ET	Client Approval by:	Date:
Drawn by: ET		
Scale: 1:50	Drawing No:	Issue
Date: 05/28/20	1800-DDA-01-A-	E012



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.

Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions

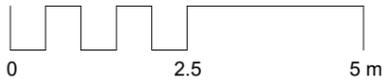
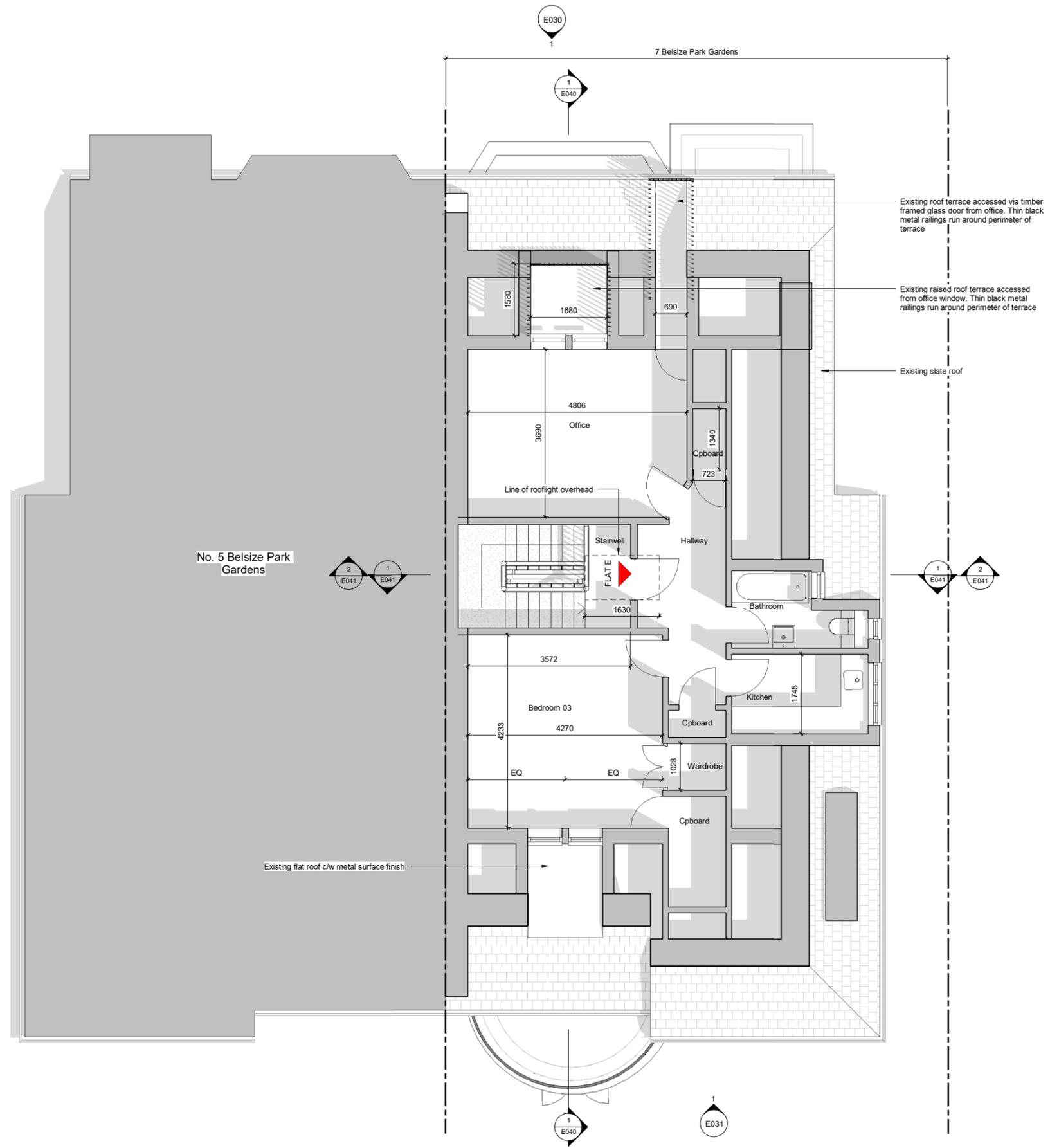
Party Walls & Rights to Light - the client / the contractor ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:

Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power

Revision Schedule			
Issue	Revision Description	Date	Initial



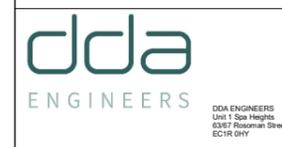
E013 Existing Third Floor Plan

1:50 @ A1, 1:100 @ A3

COPYRIGHT All rights reserved
 These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers

Project
 7 Belsize Park Gardens

Client
 Private



Title
 Existing Third Floor Plan

PRE-PLANNING

Design/Designer	Client Approval by:	Date:
Drawn by: Author		
Scale 1 : 50	Drawing No: 1800-DDA-01-A-	Issue E013
Date 05/28/20		



NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.
 Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.
 Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.
 Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions.
 Party Walls & Rights to Light - the client / the contractor ensure that any notices and consents required are obtained before work commences.
 Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

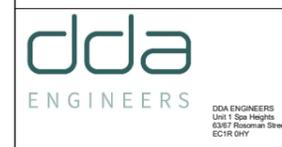
Revision Schedule

Issue	Revision Description	Date	Initial

COPYRIGHT All rights reserved
 These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers.

Project **7 Belsize Park Gardens**

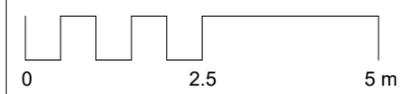
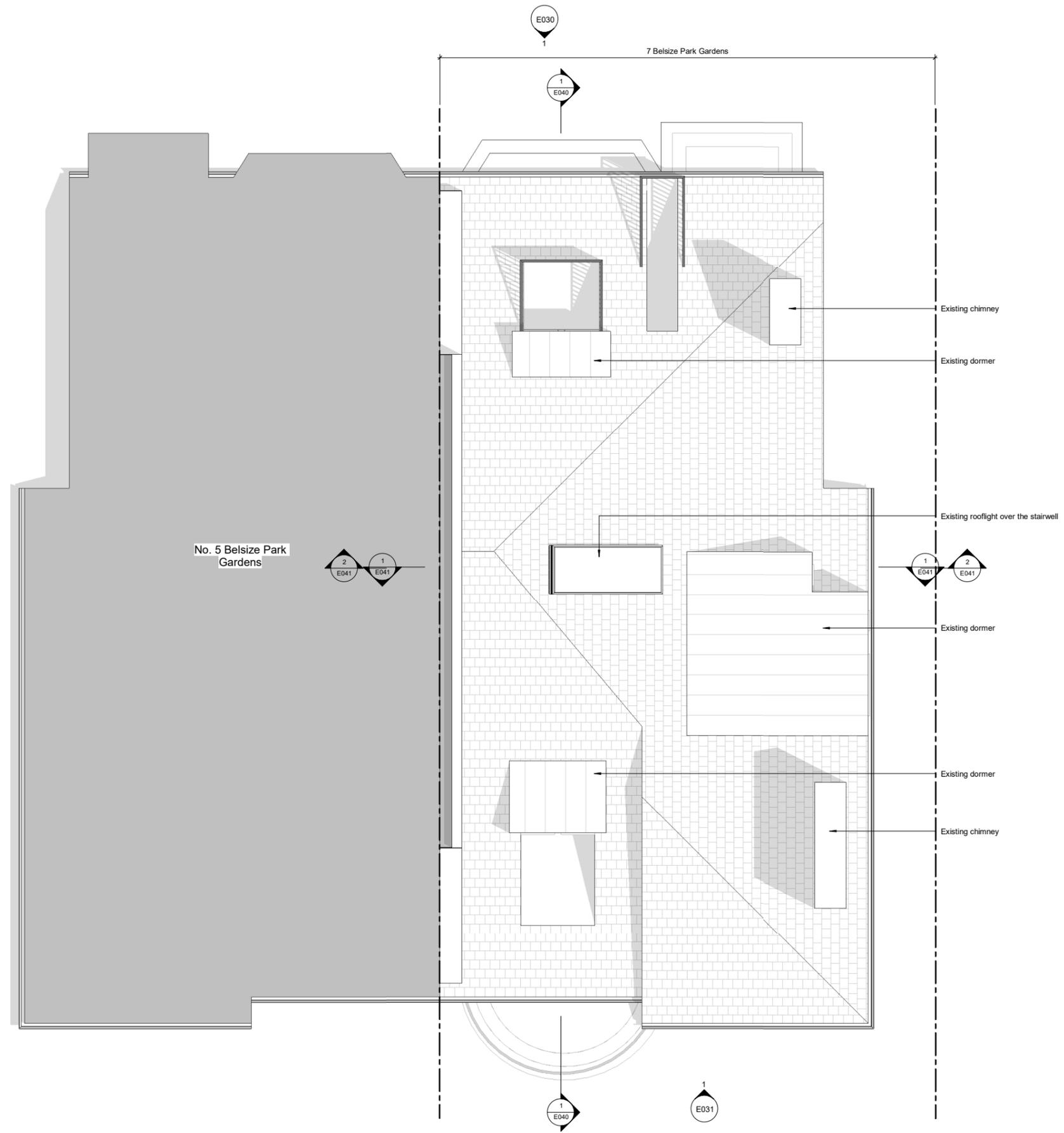
Client **Private**



Title **Existing Roof Plan**

PRE-PLANNING

Design/Designer	Client Approval by:	Date:
Drawn by: Author		
Scale	Drawing No:	Issue
1 : 50	1800-DDA-01-A-	E014
Date	05/28/20	



E014 Existing Roof Plan

1:50 @ A1, 1:100 @ A3



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client / the contractor ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:

Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power

Revision Schedule

Issue	Revision Description	Date	Initial

COPYRIGHT All rights reserved
These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers

Project
7 Belsize Park Gardens

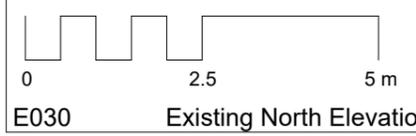
Client
Private



Title
Existing North Elevation

PRE-PLANNING

Design/Designer	Client Approval by:	Date:
Drawn by: Author		
Scale	1 : 50	Drawing No:
Date	05/28/20	1800-DDA-01-A- E030



1:50 @ A1, 1:100 @ A3



NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.
 The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
 Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client / the contractor ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Revision Schedule

Issue	Revision Description	Date	Initial
-------	----------------------	------	---------

COPYRIGHT All rights reserved
 These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers.

Project
 7 Belsize Park Gardens

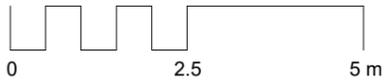
Client
 Private



Title
 Existing South Elevation

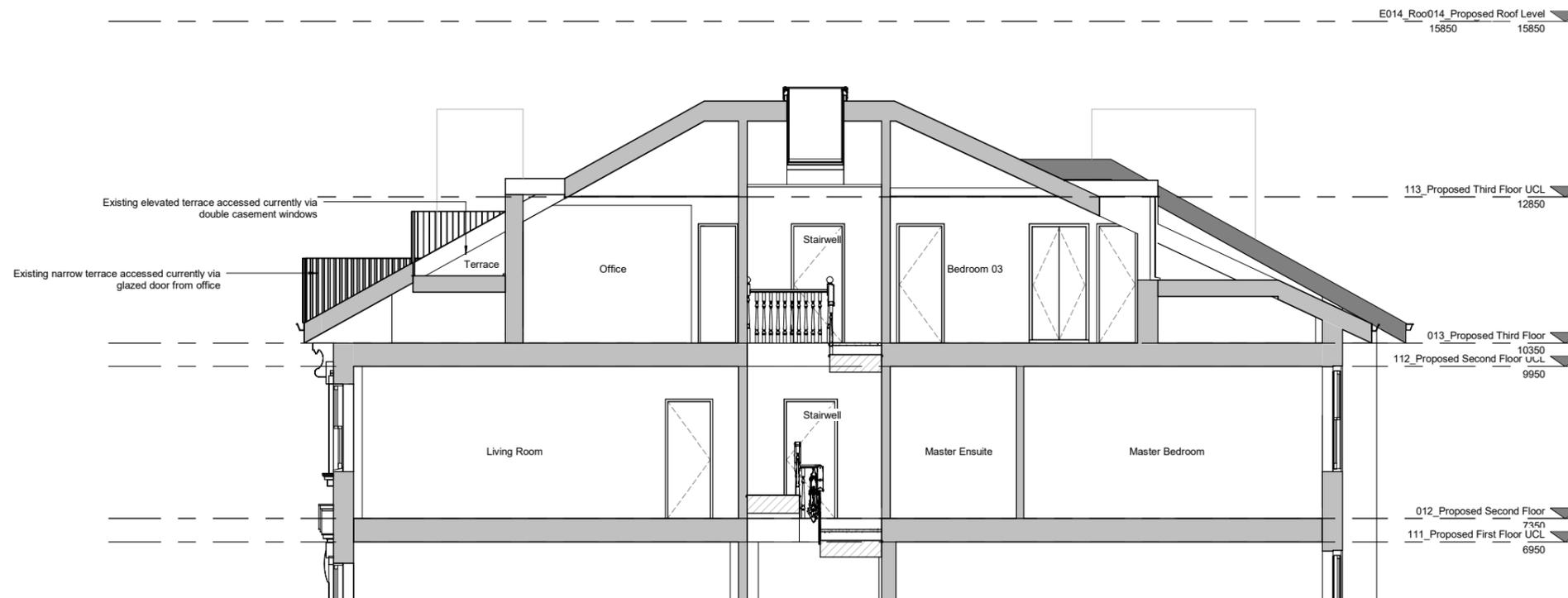
PRE-PLANNING

Design/Designer	Client Approval by:	Date:
Drawn by: Author		
Scale 1 : 50	Drawing No: 1800-DDA-01-A-	Issue E031
Date 05/28/20		



E031 Existing South Elevation

1:50 @ A1, 1:100 @ A3



NOTE:
 Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above.

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only.

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations.

Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client / the contractor ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences.

NOTE:
 Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

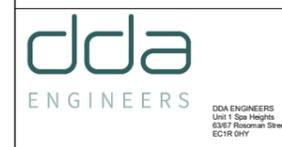
Revision Schedule

Issue	Revision Description	Date	Initial

COPYRIGHT All rights reserved
 These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers.

Project
 7 Belsize Park Gardens

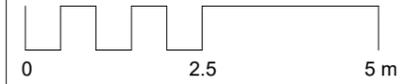
Client
 Private



Title
 Existing Long Section 01

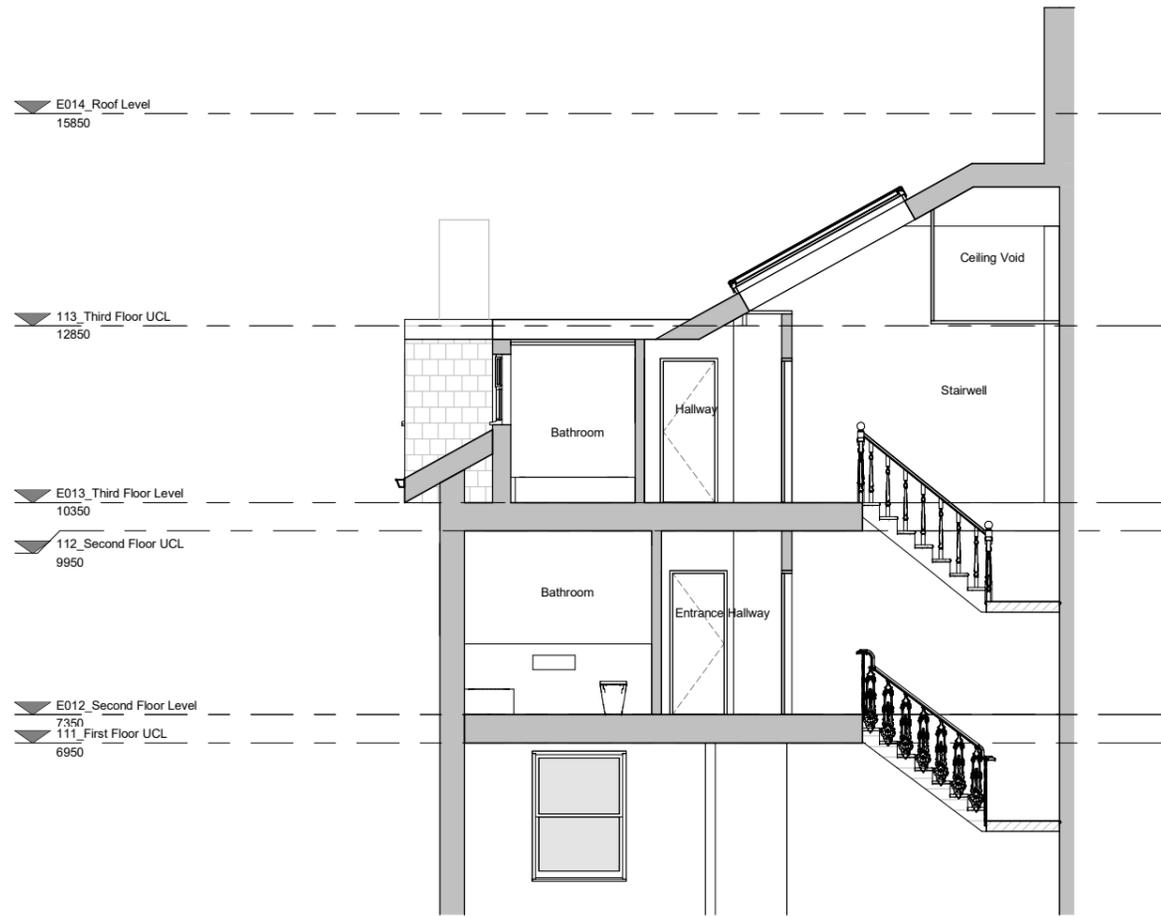
PRE-PLANNING

Design/Designer	Client Approval by:	Date:
Drawn by: Author		
Scale	Drawing No:	Issue
1 : 50	1800-DDA-01-A-	E040
Date		
05/28/20		

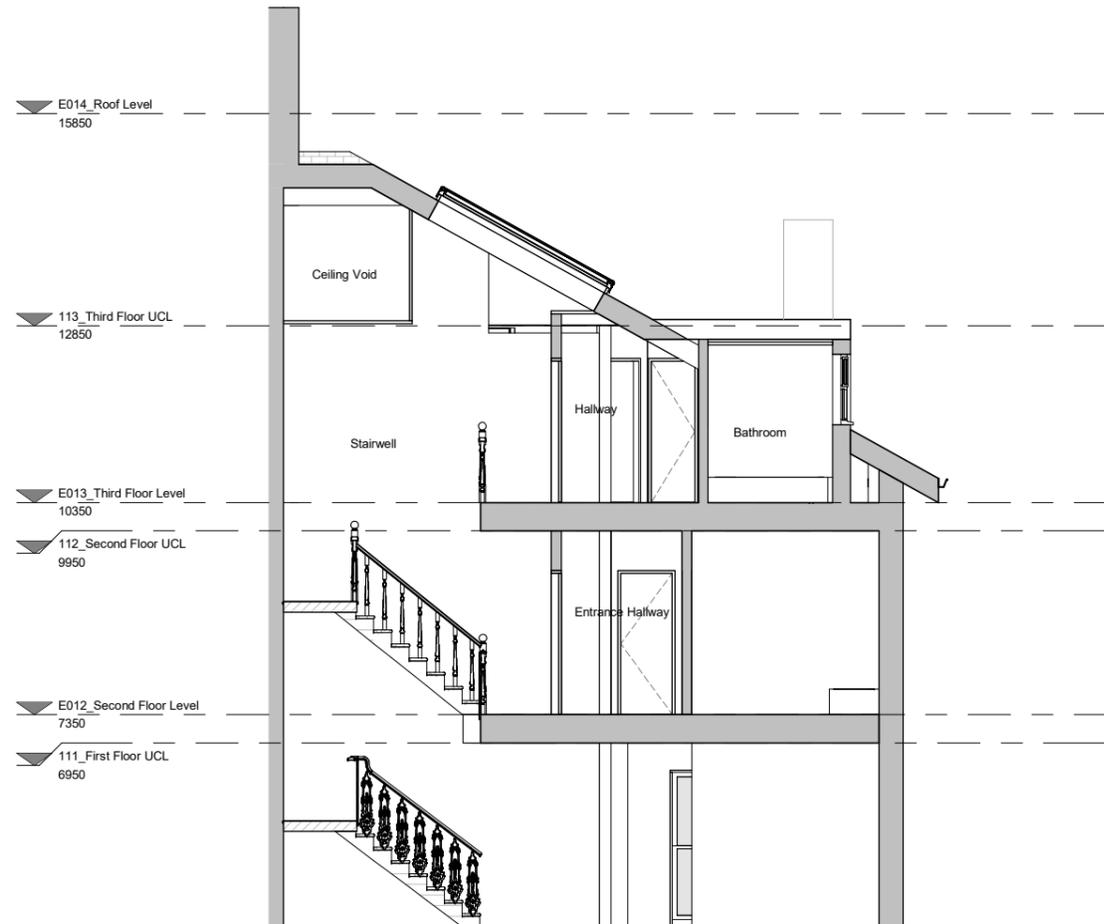


E040 Existing Long Section 01

1:50 @ A1, 1:100 @ A3



E041_Existing Cross Section
1 : 50



E041_Existing Cross Section2
1 : 50

Issue	Revision	Date	Initial
<p>COPYRIGHT All rights reserved These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers</p>			
<p>Project 7 Belsize Park Gardens</p>			
<p>Client Private</p>			
<p>dda ENGINEERS <small>DDA ENGINEERS Unit 1 Spa Heights 63/67 Rosoman Street EC1R 0HY</small></p>			
<p>Title Existing Cross Section 01</p>			
<p>PRE-PLANNING</p>			
Design/Designer	Client Approval by:		Date:
Drawn by: Author			
Scale	North	Drawing No:	Issue
1 : 50		1800-DDA-01-A-E041	
Date	05/28/20		