

E012 Existing Second Floor Plan

1:50 @ A1, 1:100 @ A3



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**.
The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client / the contractor ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:
Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B
Conservation of Fuel and Power

Revision Schedule			
Issue	Revision Description	Date	Initial

COPYRIGHT All rights reserved
These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers

Project
7 Belsize Park Gardens

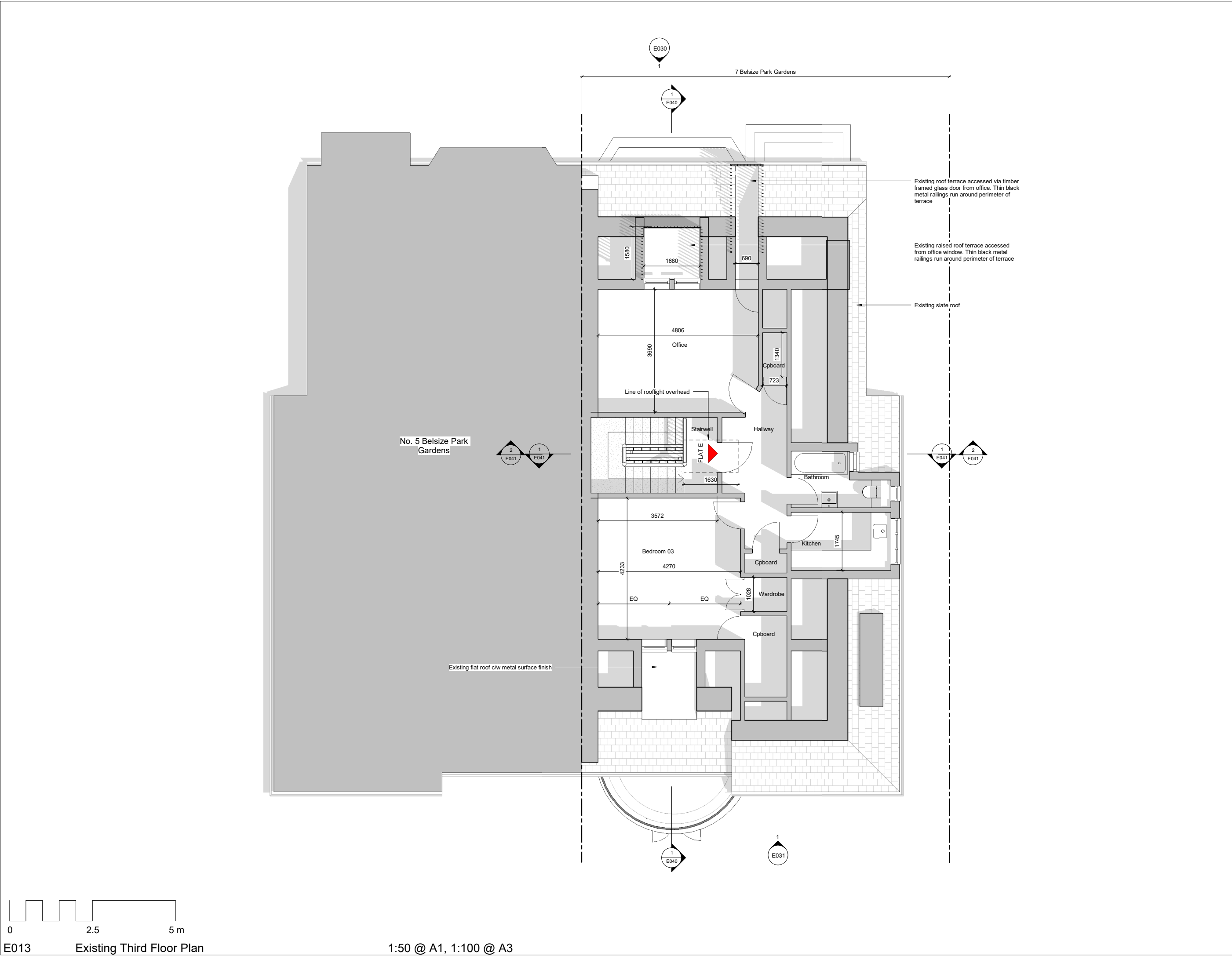
Client
Private



Title
Existing Second Floor Plan

PRE-PLANNING

Designed: ET	Client Approval by:	Date:
Drawn by: ET		
Scale 1 : 50	Drawing No:	Issue
Date 05/28/20	1800-DDA-01-A-	E012



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client / the contractor ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:
Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B
Conservation of Fuel and Power

Revision Schedule			
Issue	Revision Description	Date	Initial

COPYRIGHT All rights reserved
These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers

Project 7 Belsize Park Gardens

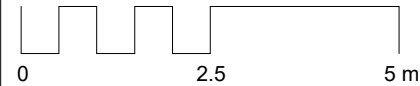
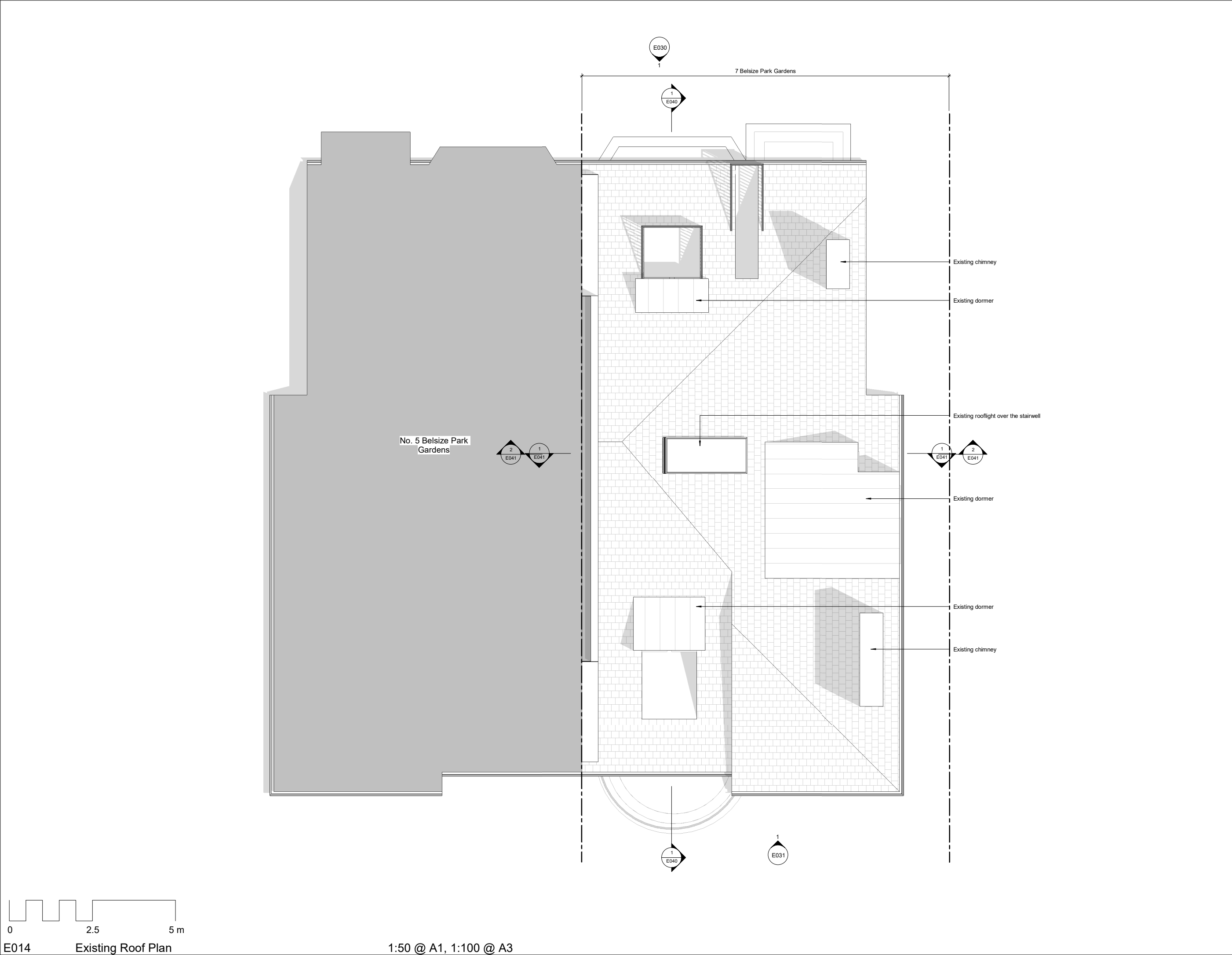
Client Private



Title Existing Third Floor Plan

PRE-PLANNING

Design/Designer	Client Approval by:	Date:
Drawn by: Author		
Scale 1 : 50	Drawing No:	Issue
Date 05/28/20	1800-DDA-01-A-	E013



E014 Existing Roof Plan

1:50 @ A1, 1:100 @ A3



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**.
The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client / the contractor ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:
Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B
Conservation of Fuel and Power

Revision Schedule			
Issue	Revision Description	Date	Initial

COPYRIGHT All rights reserved
These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers

Project 7 Belsize Park Gardens

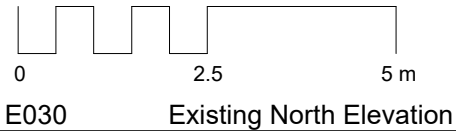
Client Private



Title Existing Roof Plan

PRE-PLANNING

Design/Designer	Client Approval by:	Date:
Drawn by: Author		
Scale 1 : 50	Drawing No:	Issue
Date 05/28/20	1800-DDA-01-A-	E014



1:50 @ A1, 1:100 @ A3

NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**. The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others. Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client / the contractor ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:
Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B
Conservation of Fuel and Power

Revision Schedule			
Issue	Revision Description	Date	Initial

COPYRIGHT All rights reserved
These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers

Project
7 Belsize Park Gardens

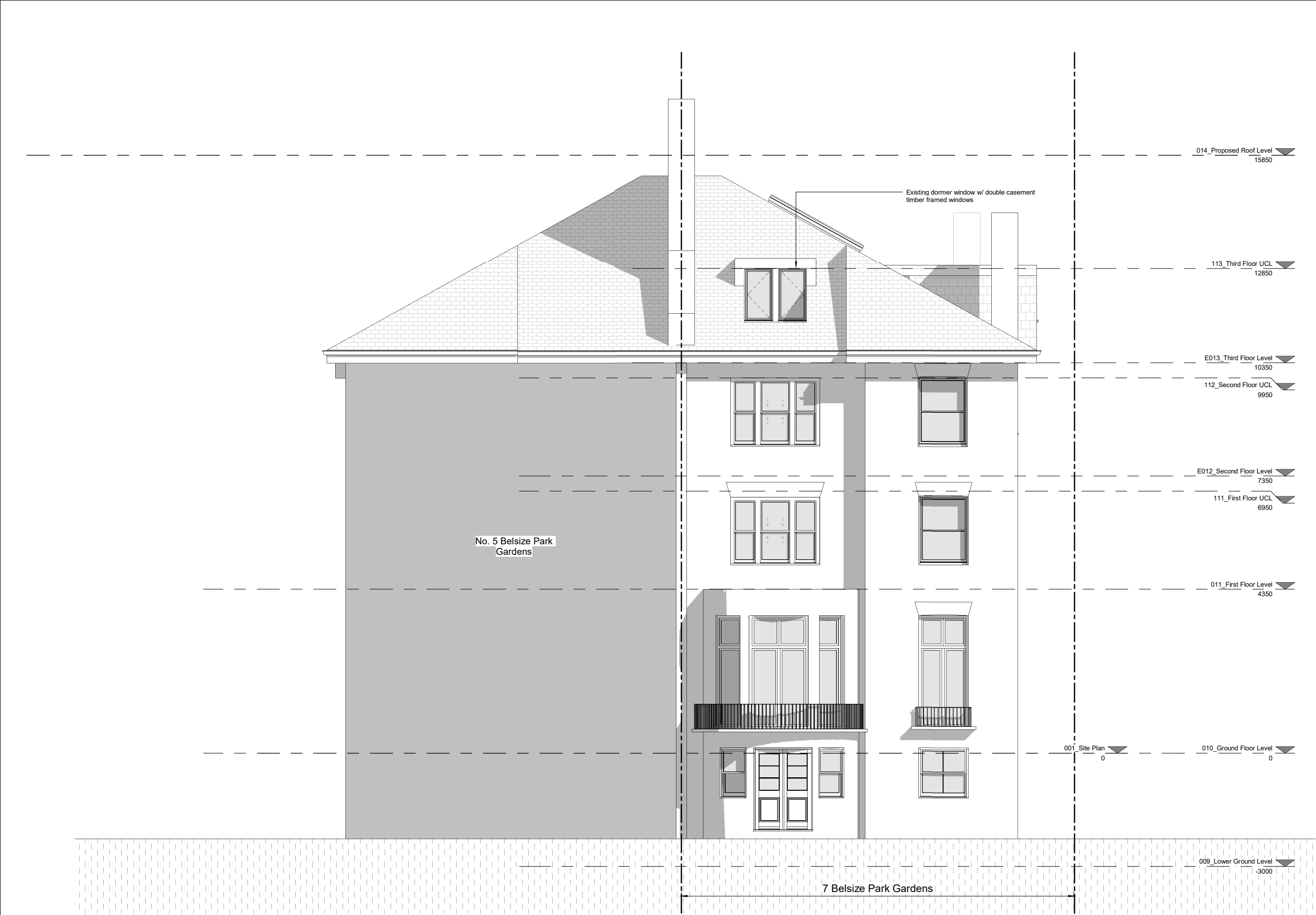
Client
Private

dda
ENGINEERS
DDA ENGINEERS
Unit 1 Spa Heights
63/67 Rossmore Street
EC1R 6HT

Title
Existing North Elevation

PRE-PLANNING

Design/Designer	Client Approval by:	Date:
Drawn by: Author		
Scale	Drawing No:	Issue
Date	1800-DDA-01-A- E030	



NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**.
The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
Dimensions and setting out - should be checked on site; see above

Structure & Construction – these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light – the client / the contractor ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological – the client / the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:
Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B
Conservation of Fuel and Power

Revision Schedule			
Issue	Revision Description	Date	Initial

COPYRIGHT All rights reserved
These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers

Project
7 Belsize Park Gardens

Client
Private

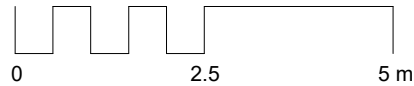
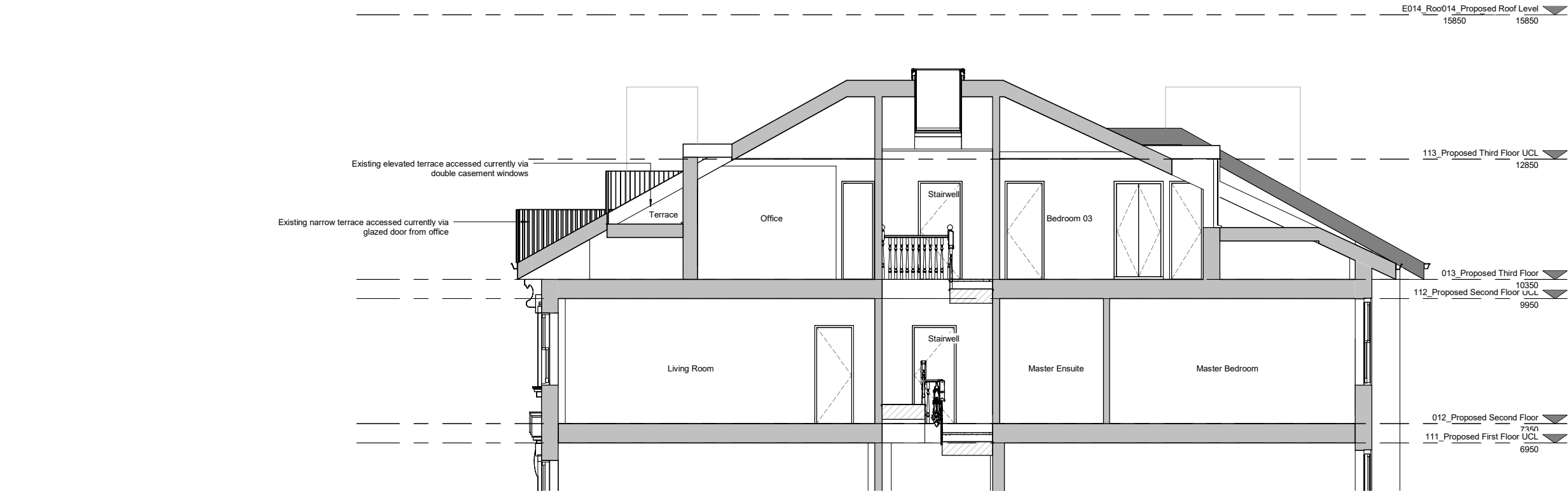
ddaENGINEERS

DDA ENGINEERS
Unit 1 Spa Heights
63/67 Rosoman Street
EC1R 9HT

Title
Existing South Elevation

PRE-PLANNING

DesignDesigner	Client Approval by:	Date:
Drawn by: Author		
Scale	Drawing No:	Issue
1 : 50	1800-DDA-01-A-	E031
Date	05/28/20	



E040 Existing Long Section 01

1:50 @ A1, 1:100 @ A3

NOTE:

Architectural Information - the level of detail shown on the drawings is relative to the submission of a **PLANNING APPLICATION**.
The drawings should therefore not be used for any other purpose without both the prior agreement of the architect, and subsequent checking / development by others.
Dimensions and setting out - should be checked on site; see above

Structure & Construction - these drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-up only

Building Control - the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations

Planning - the client / the contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions

Party Walls & Rights to Light - the client / the contractor ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences

NOTE:
Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B
Conservation of Fuel and Power

Revision Schedule			
Issue	Revision Description	Date	Initial

COPYRIGHT All rights reserved
These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers

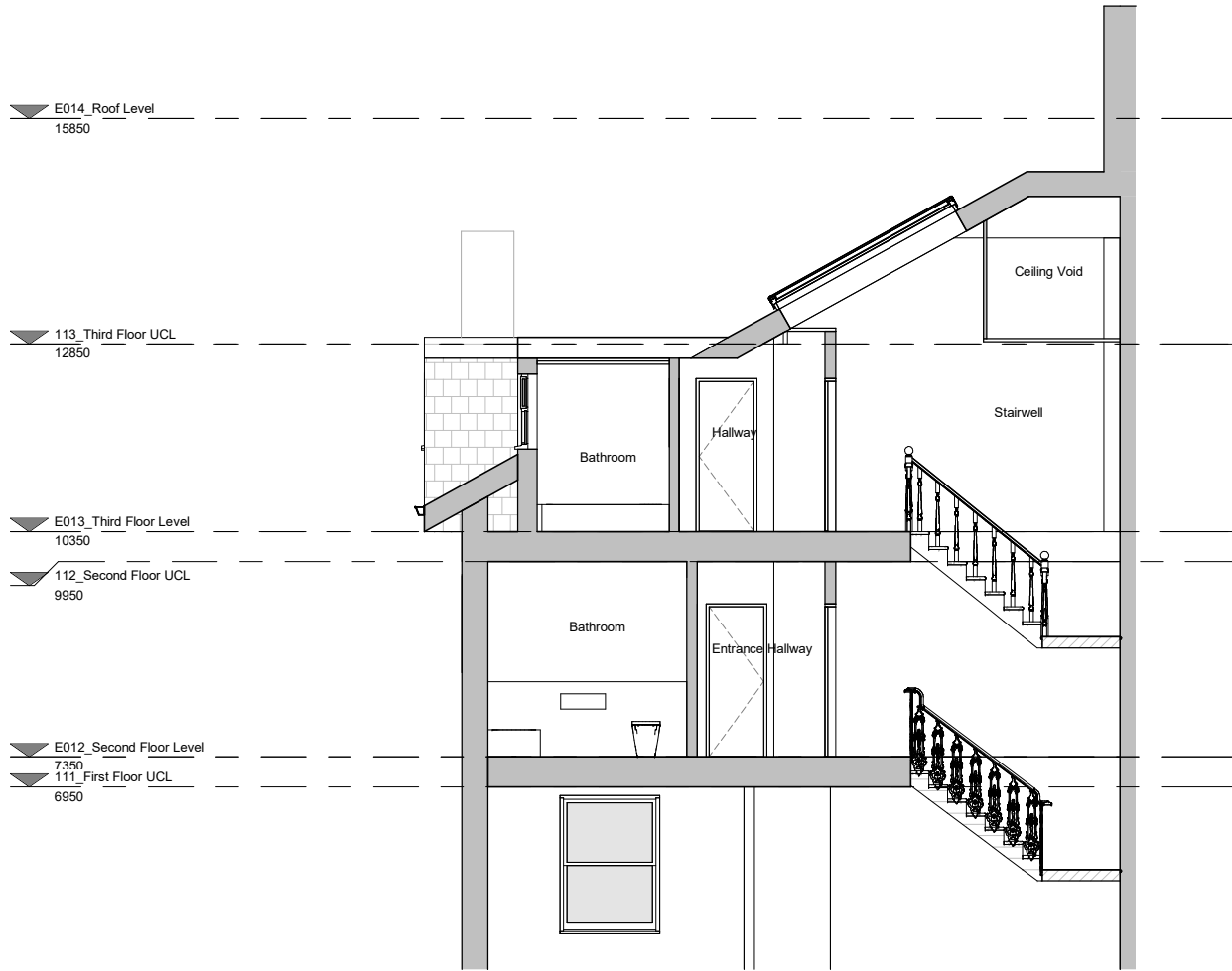
Project 7 Belsize Park Gardens

Client Private

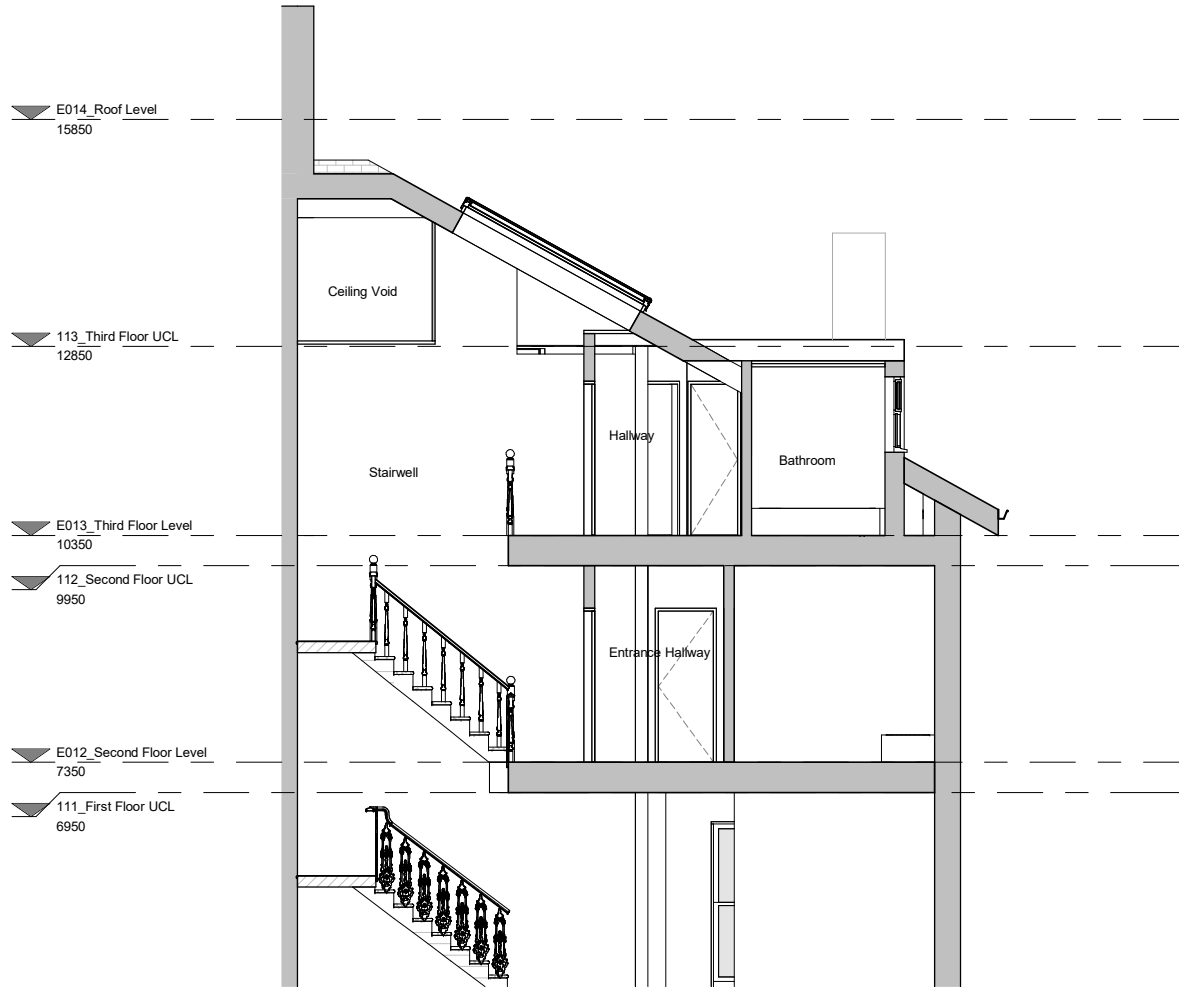


Title Existing Long Section 01

PRE-PLANNING			
DesignDesigner		Client Approval by:	



E041_Existing Cross Section
1 : 50



E041_Existing Cross Section2
1 : 50

Issue	Revision	Date	Initial
COPYRIGHT These drawings plans & specifications & the copyright therein are the property of DDA Engineers & must not be used, reproduced or copied wholly or in part without written permission of DDA Engineers			
Project 7 Belsize Park Gardens			
Client Private			
dda ENGINEERS DDA ENGINEERS Unit 1 Spa Heights 63/67 Rosoman Street EC1R 0HY			
Title Existing Cross Section 01			
PRE-PLANNING			
Design: Designer	Client Approval by:		Date:
Drawn by: Author			
Scale	North	Drawing No:	Issue
Date	1800-DDA-01-A-E041		
1 : 50			
05/28/20			