



Design & Access Statement

45 Maresfield Gardens, Flat F
London, NW3 5TE
August 2020
FG/MW

On Behalf of
Amir Chen

CREATE
DESIGN + ARCHITECTURE

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1.0 Introduction

This Design & Access document has been prepared by Create Design Ltd on behalf of Amir Chen of April House, 45 Maresfield Gardens, Flat F, London, NW3 5TE.

The document provides a basis for consultation, sets out the known constraints and context of the site and establishes design principles that should underpin the existing development.

Mr Chen is the owner of the property and has prior experience of undertaking approved building works as documented in application 2013/6291/P.



Site plan

2.0 Executive Summary

The existing kitchen space on the second floor currently suffers from reduced natural lighting due to a noticeable dark spot created by the adjoining roof structure between the dining area and the living room. The client approached Create Design to explore how minor and minimal intrusive works could be explored to improve this.



East facing aerial view



3.0 Opportunities & Constraints

Existing Site

45 Maresfield Gardens is in the residential area of Hampstead, close to Finchley Road Underground Station and in the Borough of Camden.

The existing building was built circa 1880's. It was formerly a single dwelling house and now is split into residential apartments. The building is situated within the Fitzjohns Netherhall Conservation Area.

4.0 Opportunities & Constraints

Surrounding Buildings

The apartment block is a semi-detached building and Flat F shares a party wall with the adjacent property, 42 Maresfield Gardens. The building has a communal rear garden which borders the adjacent neighbours rear gardens.



West facing aerial view



South facing aerial view



North facing aerial view

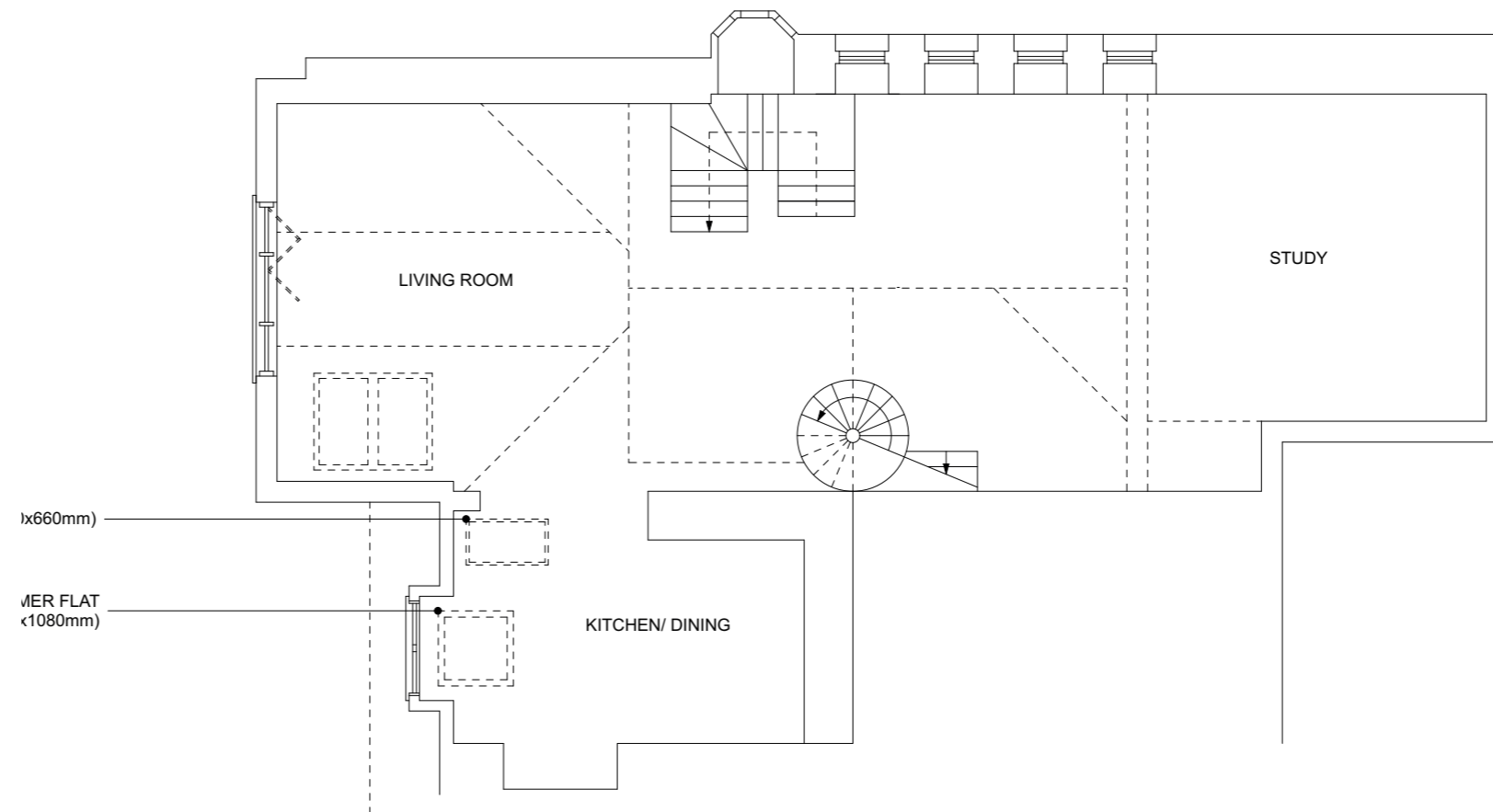
5.0 Design: Proposed Works

To improve lighting within the second floor whilst reducing the residents need for artificial lighting, two minor options are being proposed;

1. 1No. slim rooflight will be added to the west facing roof plane between the existing dormer window and the roof valley. This would match the existing rooflights on the adjacent south facing plane.

2. 1No. fixed rooflight to be added to the existing dormer flat roof.

It is considered both of these additions will significantly aid the amount of natural light and ventilation into the property without compromising the building or areas character.

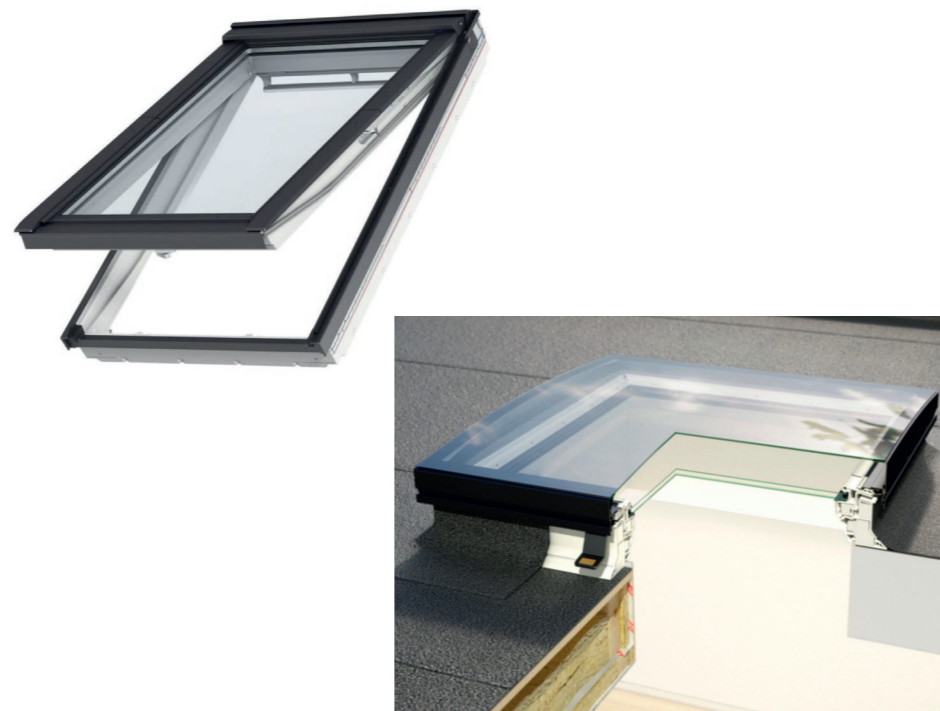


6.0 Design: Access

The proposed works, although considered minor, will require the erection of temporary scaffolding to enable the works and comply with HSE.

Given the expected minimal duration of works, a party wall agreement between the affected parties will be prepared however this is not considered a cause for concern.

Above, Proposed second floor plan indicating proposed roof light positions
Below, Proposed Velux roof lights
Right, Proposed location within dining room



7.0 Design: Materials

The rooflights being proposed are Velux and will match the existing rooflights with a powder-coated aluminium grey finish. Internal blinds will be fitted.



8.0 Planning Precedents

A previous application was approved in 2013 (2013/6291/P) that permitted 2No. rooflights and the conversion of sash windows into a Juliet balcony. Given these were approved despite being in a conservation area, we argue it would be logical to permit the addition of these two rooflights which, it could be argued, are even less visible.

9.0 Energy

As the resident is conscious of the windows energy efficiency, double-glazed windows are being proposed at a minimum.

10.0 Conclusion

To conclude, the proposed works to the rear roof are considered extremely minor with no impact on any neighbour's privacy and are being proposed to improve the quality of accommodation through a discreet addition.

The fact that two rooflights and a Juliet balcony to the rear were previously approved and encountered no objections from either the conservation areas officer or the Netherhall neighbourhood association, indicates that these two would result in a similar outcome therefore we hope that our proposal is not considered controversial and can be viewed favourably in terms of planning terms.



Above, Existing roof lights previously approved.

Right, Rear elevation indicating the extensive glazing both properties currently have.

Below, The west facing roof for the proposed rooflight and the respective dormer

