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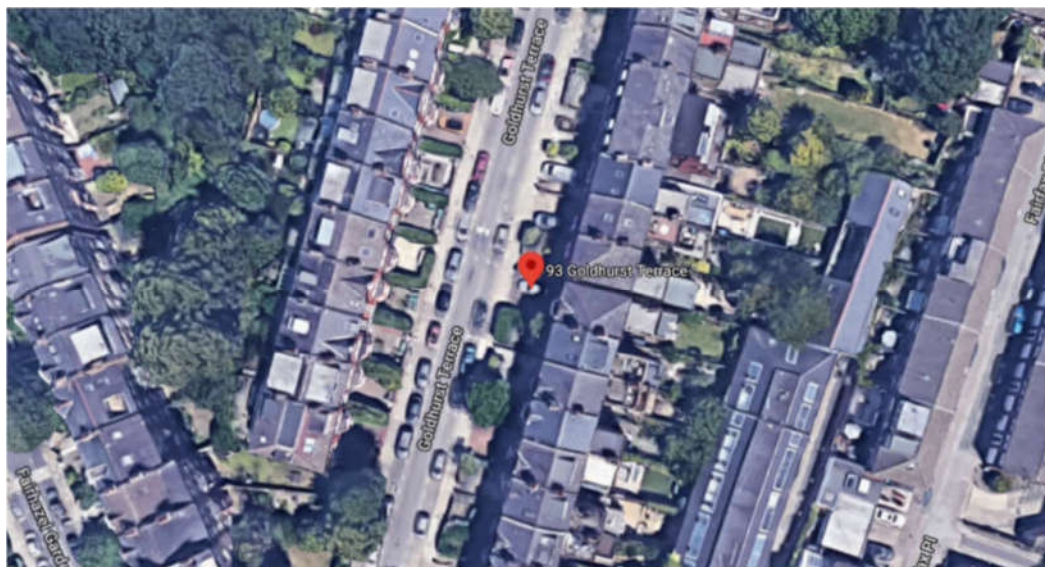
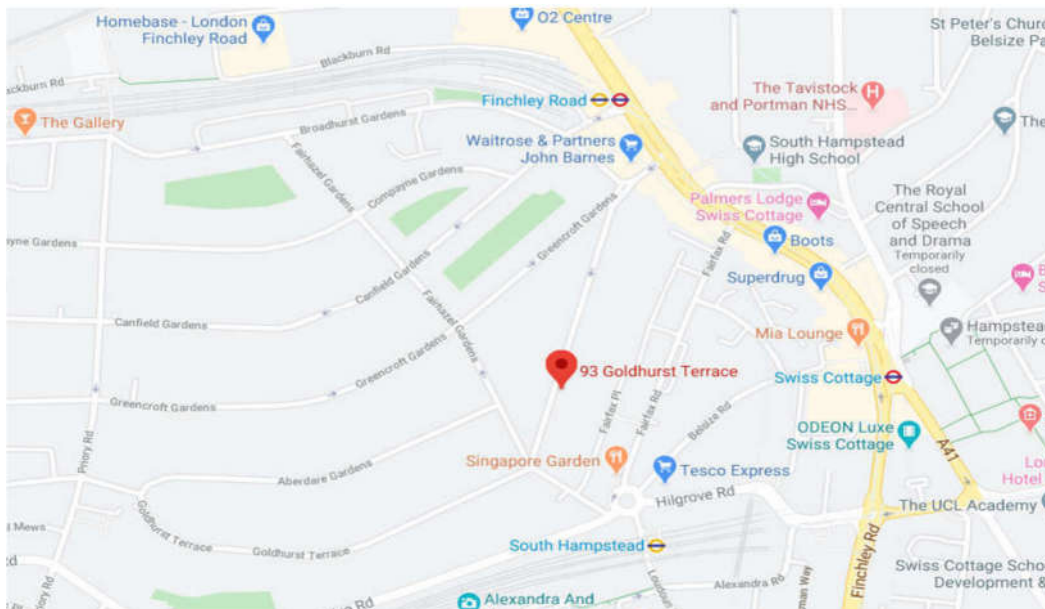
Design and Access Statement

93 Goldhurst Terrace, London, NW6 3HA

Planning application for hip to gable loft conversion, front and rear dormers and using third floor flat roof as terrace.

Location and Background

93 Goldhurst Terrace is a period end of terrace building in the South Hampstead Conservation area in the London Borough of Camden, located within 5-minute walk from Finchley Road and Swiss Cottage underground stations. The O2 shopping centre as well as the local shops and cafes are also within easy reach.



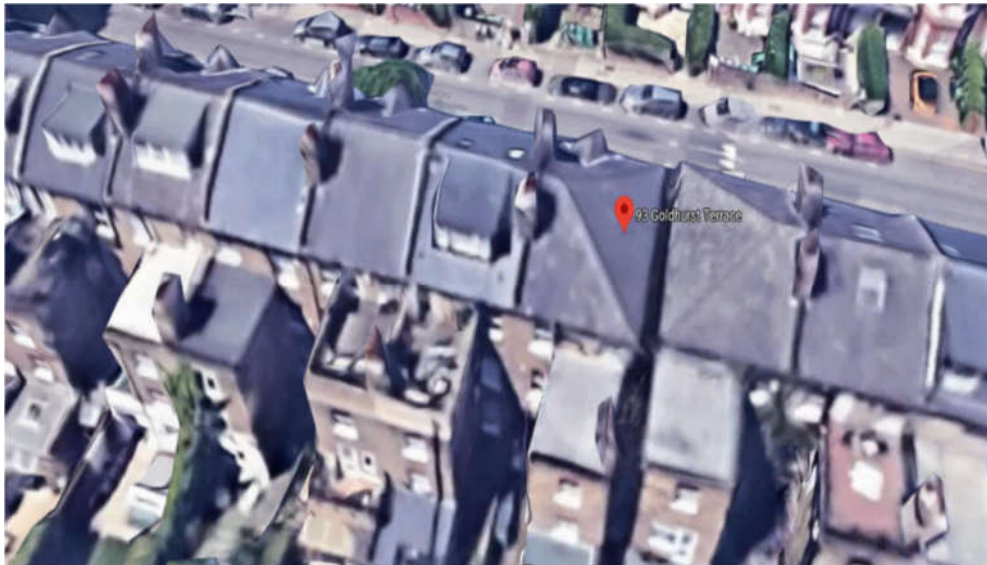
History

The use of this property has been residential family dwelling and will remain as such with this application.

The front of the property is a driveway suitable for 2 or 3 cars with a large garden to the rear. Currently the loft is not used at this property other than for storage.

Site





The Proposal

This planning application is for changes to the unused loft space and unused flat roof space to the rear.

The proposal seeks permission to construct a hip to gable to provide enough space for a habitable room within the loft, erection of front and rear dormers and gain additional private outdoor amenity space by way of a terrace at third floor level.

The front pitched roof dormer will be small with a window matching the lower windows in width. The rear dormer and third floor terrace will be similar in size and appearance to the immediate neighbour.

It is also proposed to relocate the existing stain glass window from over the stairwell (rear elevation) to the flank. The existing stain glass window provides obscure vision complying with planning policies.

Materials and Details

The materials and details to the hip to gable, front and rear dormers will match the existing dwelling and neighbouring properties to respect the local architectural styles and comply with the latest building regulations.

Access

The access to the family dwelling will remain unchanged.

Conclusion

The object is to increase the size of the existing dwelling for a growing modern family. The proposal seeks to improve the existing dwelling by sensitive design that will preserve and enhance the character of the surrounding area.