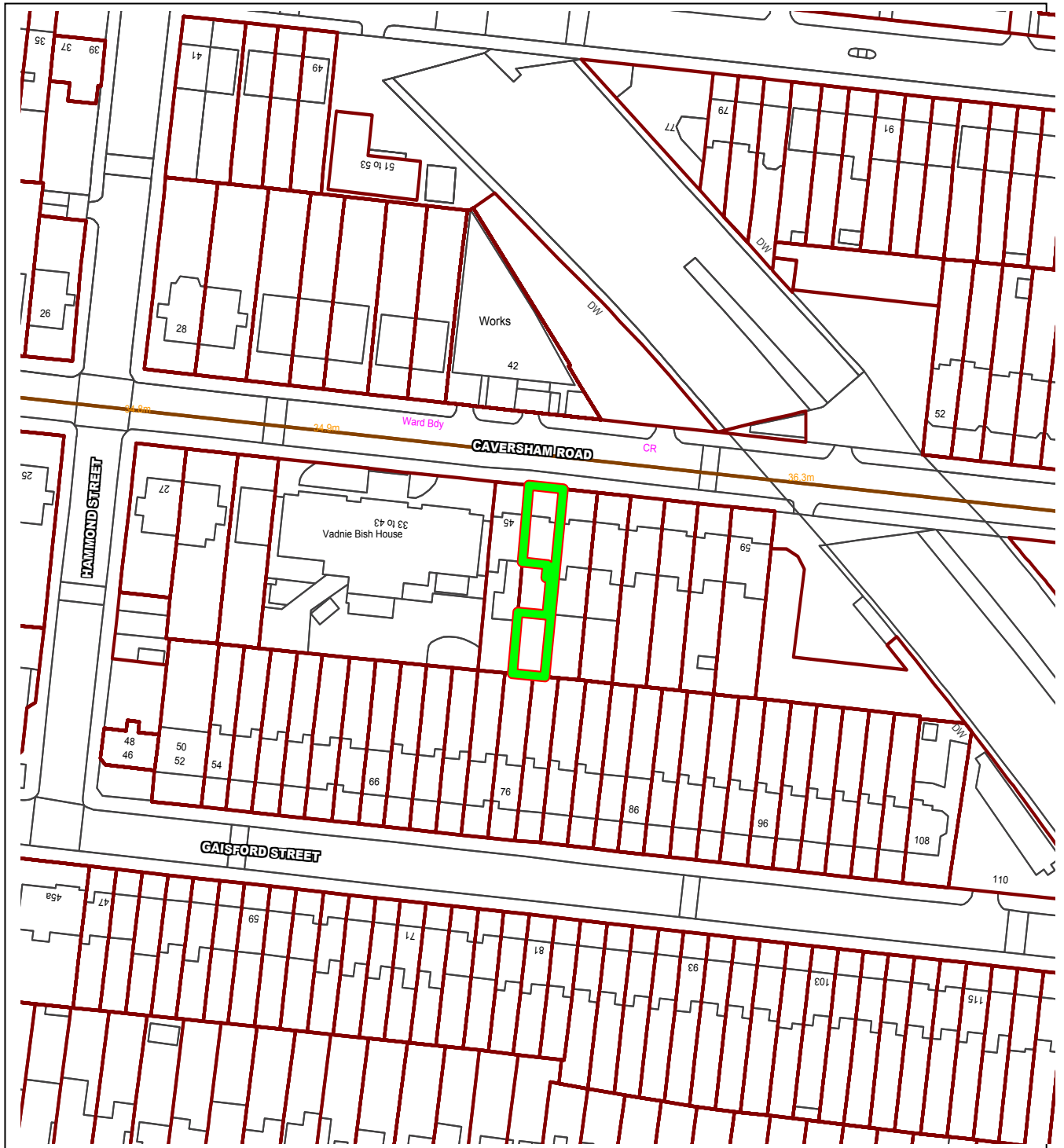
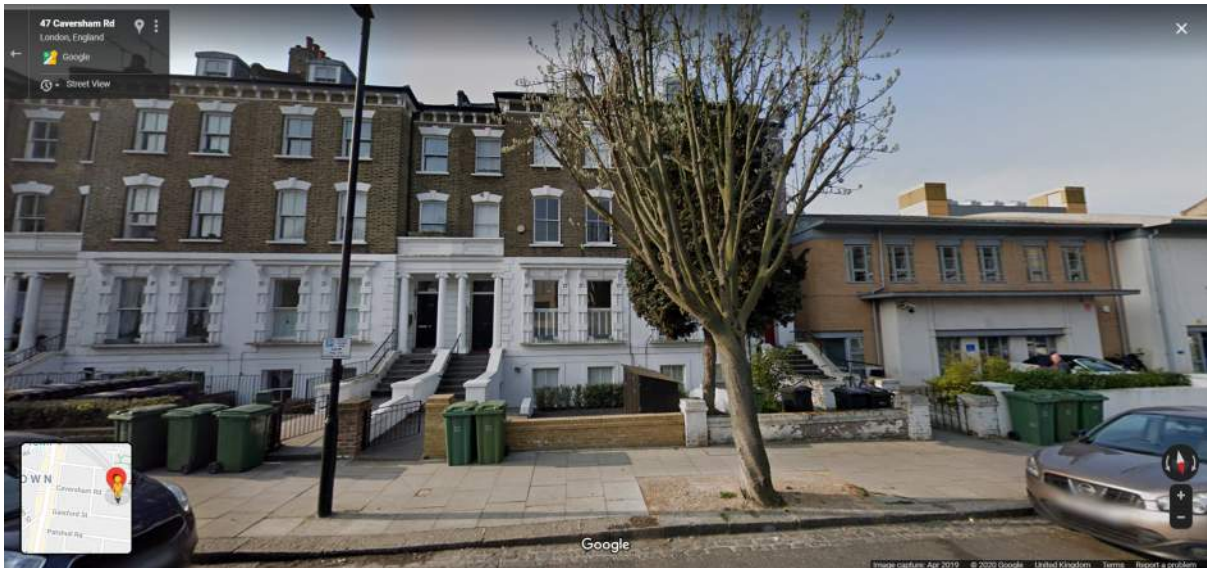


2019/5010/P - 47B Caversham Road. NW5 2DR.



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Ref: 2019/5010/P - 47B Caversham Road, Site images:



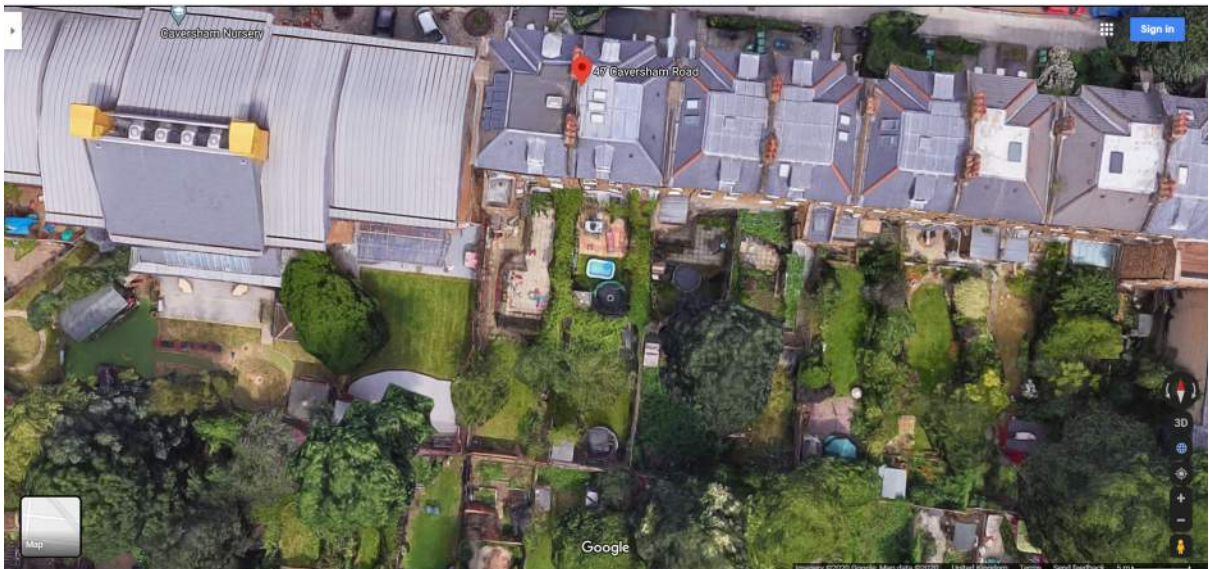
1. Front elevation, from street.



2. Rear Garden of host property and those of neighbouring properties,



3. Rear Garden (closer view)



4. Rear Garden (Birds eye view)



5. View from upper floor of 47 Caversham Road.



T1 Ceonothus (mature shrub)
T2 Apple tree (decay at base)

6. View from within rear garden space.

Delegated Report		Analysis sheet	Expiry Date:	21/08/2020
(Members Briefing)		N/A / attached	Consultation Expiry Date:	02/08/2020
Officer			Application Number(s)	
Matthew Dempsey			2019/5010/P	
Application Address			Drawing Numbers	
47B Caversham Road London NW5 2DR			Site location Plan, Drawing package GMO1337 10/06/2020 Rev C pages 1-6. SM Planning Cover letter 13/03/2020.	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Erection of a garden outbuilding.				
Recommendation(s):		Grant conditional planning permission		
Application Type:		Full Planning Permission		

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
Summary of consultation responses:	<p>A site notice was displayed 08/07/2020 which expired 01/08/2020. A press notice was published 09/07/2020 which expired 02/08/2020.</p>					
Kentish Town Neighbourhood Forum, and; Bartholomew Estate and Kentish Town CAAC comments:	<p>One response was received form the Kentish Town Neighbourhood Forum who commented to neither endorse nor oppose the scheme.</p> <p>One objection was received form the Bartholomew Estate and Kentish Town Conservation Area Advisory Committee (CAAC) who raised the following concerns:</p> <ul style="list-style-type: none"> • The size of the garden room, • The loss of green space, • The potential for use as a separate dwelling • The development would be contrary to BE23 of the Bartholomew Estate Conservation Area Appraisal and Management Strategy • The loss of a tree on site. <p><u>Officer Response:</u></p> <ul style="list-style-type: none"> • <i>The size of the garden room has been reduced from the pre-app and further reduced during consultation of this scheme. The smaller scale garden room as proposed is considered acceptable.</i> • <i>The garden room shall be provided with a biodiverse roof and so any loss of green space shall be minimal, furthermore the roof shall be conditioned to be maintained in perpetuity and so to some extent the green space shall be protected.</i> • <i>The use of the outbuilding shall be conditioned to prevent use as a separate dwelling.</i> • <i>BE23 refers to conservatories and so is not entirely relevant here, however; accepting the concerns of the CAAC, and assessing the wording of BE23, it requires that developments of this sort should be subordinate to the main house. The garden room of reduced scale is considered to be subordinate to the main house and the garden space within which it sits.</i> • <i>The removal of the tree was considered acceptable by the Council's Tree Officer at pre-app stage. This position has not changed.</i> 					

Site Description

The host site, No.47 Caversham Road is a five storey property which has previously been split in to two flats (A & B) with the original rear garden also split into a private space for each flat. The application site; 47B has a side passageway from the rear of the house to access their rear garden at the back of the site. The garden serving 47B is approximately 7m wide and 13m in length (104m²). The side passage is approximately 8m long with a width of just over 1m. There are two trees within the rear garden, T1: Ceonothus Lilac which is a mature shrub, and T2: Apple Tree which is a showing some signs of decay.

The site is not listed, but it is within the boundary of the Bartholomew Estate Conservation Area, and also falls within the boundary of the Kentish Town Neighbourhood Forum.

Relevant History

CTP/G12/10/14/21006 - Change of use including works of conversion, and new rear spiral staircase, to form a self-contained 2 bedroom maisonette in the basement and ground floors and a self-contained 4 bedroom maisonette on the first, second and third floors. **Conditional approval 14/08/1975.**

Relevant policies

National Planning Policy Framework 2019

The London Plan 2016

The London Plan (intend to publish) 2019

Camden Local Plan 2017

Policy A1 Managing the Impact of Development

Policy A3 Biodiversity

Policy D1 Design

Policy D2 Heritage

Kentish Town Neighbourhood Plan (2016)

Policy D3: Design principles

Policy D4: Non-designated heritage assets

Policy GO3: Biodiverse habitats

Camden Planning Guidance

CPG Design (2019)

CPG Altering and extending your home (2019)

CPG Trees (2019)

CPG Amenity (2018)

Bartholomew Estate Conservation Area Appraisal and Management Strategy (2000)

Assessment

1.0 Proposal

- 1.1 Planning permission is sought for the erection of a single storey timber clad garden room, measuring 5m wide, with a depth of 3m, and a height of 2.9m.
- 1.2 The North and West elevations shall be finished in Siberian Larch timber cladding. The South and East elevations shall be clad in grey cement board.
- 1.3 Fenestration shall be anthracite grey aluminium framed, with bi-fold doors to the North elevation. Additional smaller windows shall be installed to the South and East with obscured glazing. A single roof light shall also be installed.
- 1.4 The garden room shall be provided with a biodiverse roof.
- 1.5 One Ceonothus Lilac shall be felled to ground with the retention of one Apple Tree.
- 1.6 The proposed use of the garden room is for a home gym ancillary to the residential property No.47 B Caversham Road.

2.0 Revisions:

- 2.1 The garden room has been revised to reduce the scale of the proposed structure, and also to include the specification of a biodiverse roof.

3.0 Assessment:

- 2.1 The principal considerations material to the determination of this application are as follows:
 - Design and Heritage: The visual impact upon the setting, character and appearance of the host property and this part of the wider Bartholomew Estate Conservation Area.
 - Amenity: The impact upon residential amenity of neighbouring occupiers.
 - Trees and landscaping.

4.0 Design and Heritage

- 3.1 The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 seeks to preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas.
- 3.2 CPG Altering and Extending your home provides further guidance on the erection of outbuildings. Paragraph 5.22 states; Large garden buildings may affect the amenity value of neighbours' gardens, and if used for purposes other than storage or other domestic uses, may intensify the use of garden spaces and cause loss of amenity through overlooking, overshadowing and noise nuisance.
- 3.3 The proposed garden room is considered a suitable scale for the setting of the rear garden. The garden serving 47B is approximately 7m wide and 13m in length (104m²). The proposed garden room shall be 5m wide by 3m in depth (15m²), with a maximum height below 3m.
- 3.4 The reduced scale structure retaining approximately 85% of the existing garden, and introduction of a biodiverse roof is considered acceptable. Details of biodiverse roof are to be provided prior to commencement of development, secured by condition.
- 3.5 The structure shall be a minimum of 500mm from any neighbouring boundary to ensure retention of satisfactory wildlife corridors and to promote biodiversity. Additionally, a biodiverse roof has been agreed to further soften the impact of the structure within the rear garden setting.
- 3.6 The proposed materials are considered appropriate for a rear garden development. The use of timber

cladding and biodiverse roof would enable the building to blend with the verdant character of the rear gardens in this location.

3.7 Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

3.8 Subject to the recommended conditions, it is considered that the proposed outbuilding would not result in harm to the host property or the character of the wider conservation area, in accordance with policies D1 and D2 of the Camden Local Plan, and policies D3 and D4 of the Kentish Town Neighbourhood Plan.

5.0 Amenity:

5.1 Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission for development that would not unduly harm the amenity of residents. This includes factors such as privacy, outlook, impact on natural light, artificial light spill, as well as impacts caused from the construction phase of development.

5.2 The nearest neighbouring properties are the immediate neighbours on either side of the host property on Caversham Road, and those occupying properties to the rear on Gaisford Street. The nearest neighbouring windows are over 18m from the proposed structure and therefore it is not considered that the proposal would not result in undue harm to the occupiers of neighbouring properties in terms of daylight/sunlight, loss of outlook or overlooking.

5.3 The side window would be installed with obscured glazing to prevent any overlooking of neighbouring gardens which is considered to be acceptable.

5.4 The applicant has confirmed they intend to utilise the outbuilding for a personal gym space. This is considered an acceptable ancillary use to the existing residential property and is unlikely to result in unduly harmful levels of noise and vibration to the surrounding area.

5.5 A condition has been added restricting the use of the outbuilding as ancillary to the use of the host property, and shall not be used as separate residential accommodation, business premises or similar non-ancillary use in perpetuity.

5.6 On the basis of the above, it is therefore considered that the proposed outbuilding would not result in undue harm to the residential amenity of neighbouring properties.

6.0 Trees:

6.1 One mature shrub (T1 Ceonothus Lilac) shall be removed as part of the development. This had been agreed in principle at pre-app stage, however; this proposal was also checked with the Tree Officer as part of the consultation on this application.

6.2 The retention of an Apple Tree (T2) on site is also part of the scheme. In order to ensure this is protected throughout the development, a condition has been added to the decision requiring details of tree protection measures.

7.0 Recommendation:

6.1 Grant Planning Permission with conditions

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 17th August 2020, nominated members will advise whether they consider this application

should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2019/5010/P
Contact: Matthew Dempsey
Tel: 020 7974 3862
Email: Matthew.Dempsey@Camden.gov.uk
Date: 7 August 2020

Telephone: 020 7974 **OfficerPhone**
SM Planning
80-83 Long Lane
London,
EC1A 9ET

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
47B Caversham Road
LONDON
NW5 2DR

DECISION

Proposal:
Erection of a garden outbuilding.
Drawing Nos: Site location Plan, Drawing package GMO1337 10/06/2020 Rev C pages 1-6. SM Planning Cover letter 13/03/2020.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans Site location Plan, Drawing package GMO1337 10/06/2020 Rev C pages 1-6. SM Planning Cover letter 13/03/2020.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 Notwithstanding the roof plan hereby approved, a green roof shall be installed to the outbuilding, full details of which shall be submitted to and approved by the local planning authority prior to commencement. The details shall include-

- i. a detailed scheme of maintenance;
- ii. roof plan at a scale 1:50
- iii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used;
- iv. full details of planting species and density.

The living roof shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme in perpetuity.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies CC1, CC2, CC3, CC4, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

- 5 The side windows on the south and eastern elevation of the garden room hereby approved, shall be obscure glazed in perpetuity.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policies A1 of the London Borough of Camden Local Plan 2017.

- 6 The outbuilding hereby approved shall remain ancillary to the use of the main property 47 B Caversham Road, NW5 2DR, and shall not be used as separate residential accommodation, business premises or similar non-ancillary use.

Reason: In order to protect the residential amenities of neighbouring occupiers in accordance with policy A1 of the London Borough of Camden Local Plan 2017.

- 7 Prior to the commencement of any works on site, details demonstrating how trees to be retained shall be protected during construction work shall be submitted to and approved by the local planning authority in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction". All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.

Reason: To ensure that the development will not have an adverse effect on

existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Economy, Regeneration and Investment