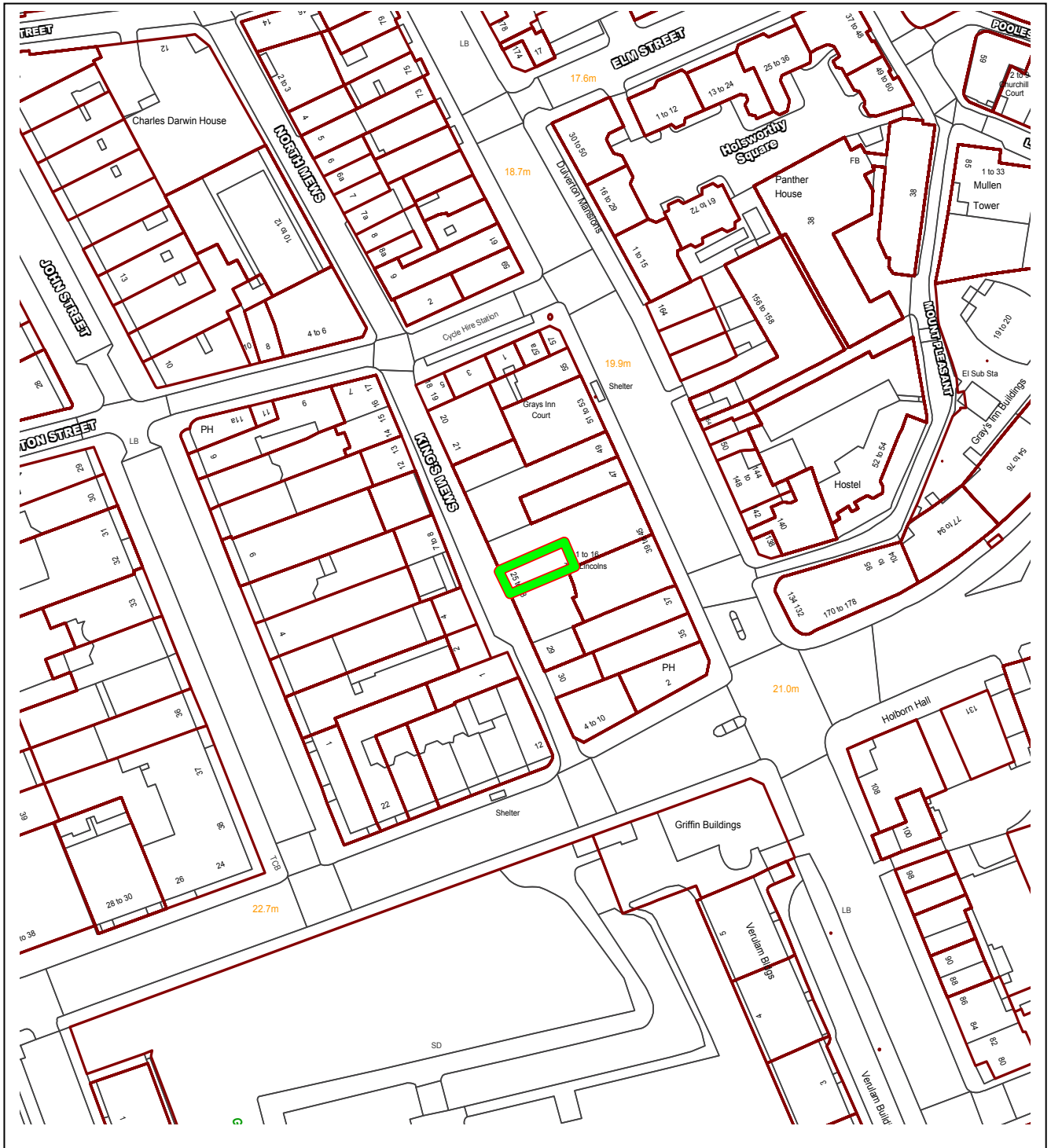


27 Kings Mews, London, WC1N 2JB



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Photos

Birds eye views of the site before works commenced –



Fig 2. Bird's eye view Looking North - site marked in red



Fig 3. Bird's eye view Looking West - site marked in red



Fig 4. Bird's eye view Looking South - site marked in red



Fig 5. Bird's eye view Looking East - site marked in red



Works in progress at the site



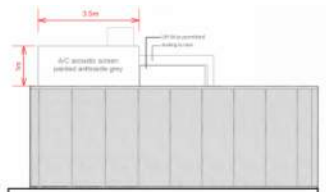
- KEY:
- 1. roofline to match approved adjacent property 28 King's Mews
 - 2. new cladding to 3rd storey facade
 - 3. etched glass
 - 4. metal louvers to obscure view from windows
 - 5. painted rendered finish
 - 6. 41 Gray's Inn Road

proposed front elevation shown with existing buildings

Proposed front elevation

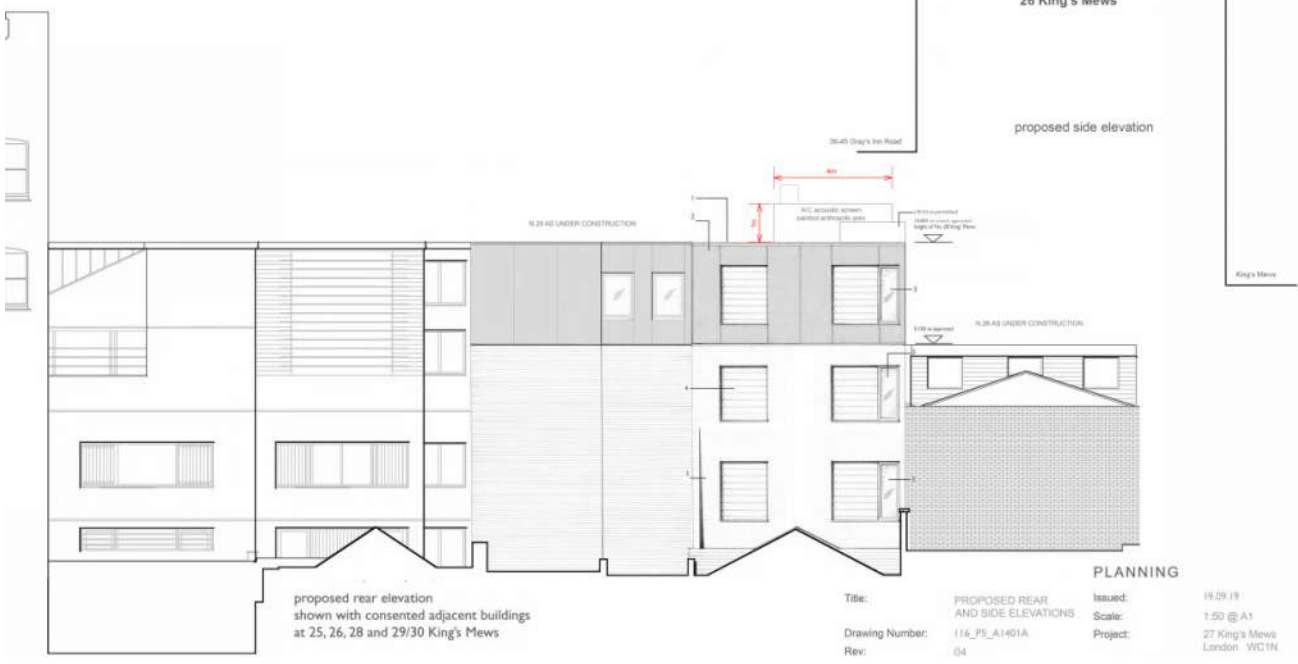


- KEY:
- 1. roofline to match approved adjacent property 28 King's Mews
 - 2. new cladding to 3rd storey facade
 - 3. etched glass
 - 4. metal louvers to obscure view from windows
 - 5. painted rendered finish
 - 6. 41 Gray's Inn Road



26 King's Mews

proposed side elevation



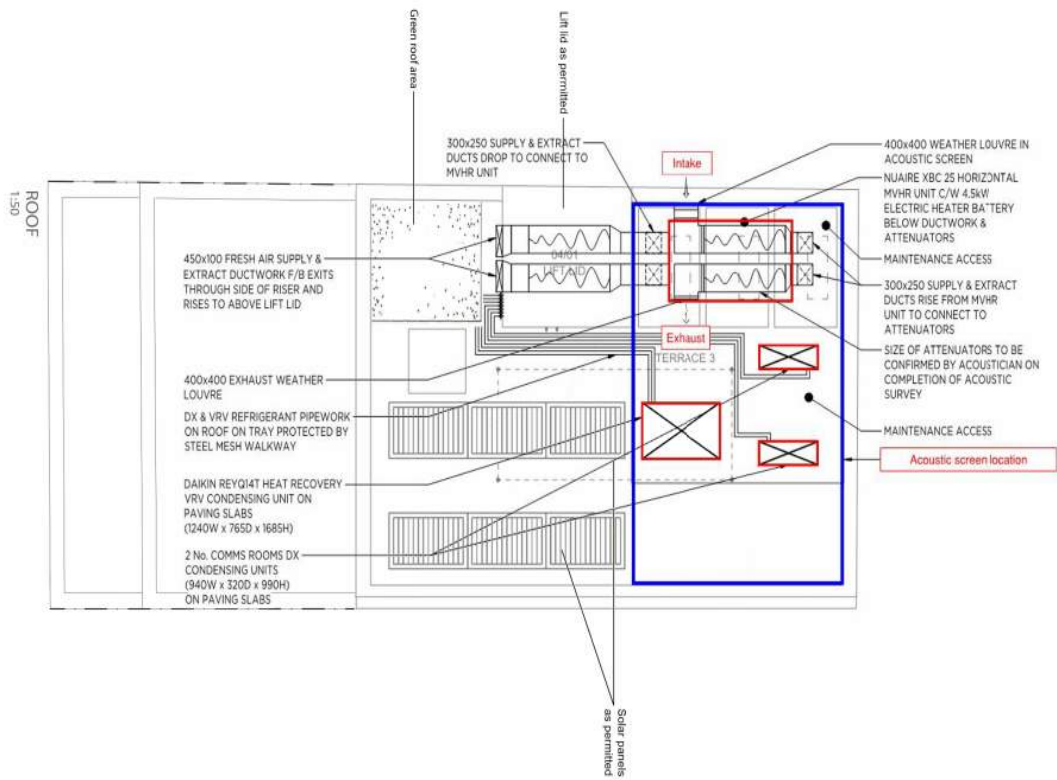
proposed rear elevation shown with consented adjacent buildings at 25, 26, 28 and 29/30 King's Mews

Title: PROPOSED REAR AND SIDE ELEVATIONS
 Drawing Number: 116_P9_A1401A
 Rev: 04

Issued: 15.09.19
 Scale: 1:50 @ A1
 Project: 27 King's Mews London WC1N

Proposed rear elevation

Proposed roof plan –



Front of roof is on the left side and enclosure and new AC units are to the rear of the building 4.5m set back.

| | | | | | | | |
|--------------------------------------|--|---|--|----------------------------------|--|-------------------------------------|--|
| Delegated Report | | Analysis sheet | | Expiry Date: | | 17/07/2019 | |
| (Members Briefing) | | N/A / attached | | Consultation Expiry Date: | | 04/08/19 | |
| Officer | | | | Application Number(s) | | | |
| Jaspreet Chana | | | | 2019/2660/P | | | |
| Application Address | | | | Drawing Numbers | | | |
| 27 King's Mews London WC1N 2JB | | | | <i>Refer to decision notice</i> | | | |
| PO 3/4 | | Area Team Signature | | C&UD | | Authorised Officer Signature | |
| | | | | | | | |
| Recommendation: | | Grant conditional planning permission | | | | | |
| Application Type: | | Full Planning Permission | | | | | |
| Proposal(s): | | Installation of three new AC condensers, single air exchange unit and ducting linked to the cooling system of the building, and associated acoustic enclosure (retrospective) | | | | | |

| | | | | |
|---|---|-----------|-------------------|-----------|
| Conditions or Reasons for Refusal: | Refer to Decision Notice | | | |
| Informatives: | | | | |
| Consultations | | | | |
| Summary of consultation: | <p>The site notice(s) were displayed on 10/07/19 (consultation end date 03/08/19).</p> <p>The development was also advertised in the local press on the 17/07/19 (consultation end date 04/08/19).</p> | | | |
| Adjoining Occupiers: | No. of responses | 04 | No. of objections | 04 |
| Summary of consultation responses: | <p>Objections were received from neighbouring residents (1, 2, 4 and 25 Kings Mews), they can be summarised below:</p> <ol style="list-style-type: none"> 1. This application is inconsistent with the original application and the works have already taken place. 2. The proposed structure would be unsightly jutting above the roofline and would represent an eyesore. 3. Inconsistent with all other properties in the mews 4. Why isn't the plant accommodated within the building 5. The light conditions for the PV panels at No. 25 will be adversely impacted. 6. The screen is set so far forward on the roof and why is the height over 1.5m? <p><u>Officer's response:</u></p> <ol style="list-style-type: none"> 1. <i>This application is solely for the 3 air condensers and enclosure screen and ducting. Although the works may have been carried out the proposal has been revised slightly and submitted to be assessed.</i> 2. <i>Please see section 4 below.</i> 3. <i>Please see section 4 below.</i> 4. <i>The system is required to be placed in the open air hence the chosen area of the roof. The majority of the building plant is located within the building itself. Many other sites adjacent to the site have condensers on the roof and as such the development would not be an incongruous addition.</i> 5. <i>No.26 is in-between 25 and 27 and No.25 has a higher roof level extension where the PV panels sit facing the sky at an angle, given the distance and screen set back from the front of the roof it is not considered the PV panels would lose light or be obstructed in any such way.</i> 6. <i>The works are set 4.5m back towards the rear of the roof and the screen has been reduced down to 1m in height.</i> | | | |

Site Description

The application site forms part of a two storey commercial building occupying Nos. 26-28 Kings Mews. The building was formerly in use as a storage facility for an adjacent retail unit on Grays Inn Road (class B1/B8). Planning permission was previously granted in 2016 for the demolition of the existing office/warehouse building and the erection of a new three to four storey plus basement office building for office use. Development has commenced on site is largely complete. The surrounding area is a mix of uses, predominantly offices, commercial and residential buildings.

The site is in Bloomsbury Conservation Area and also lies within the Central London Area.

Relevant History

27 King's Mews

2012/3125/P & 2012/3126/C - Demolition of existing warehouse (Class B1/B8) and erection of a three storey 3 bedroom dwelling house (Class C3). Recommended for approval by development Control Committee on 18/10/2012, but withdrawn by the applicant before the Section 106 Agreement was signed.

2013/1002/P & 2013/2081/C - Erection of a three storey plus basement dwelling house with second floor terrace (Class C3) following partial demolition of existing office/warehouse (Class B1/B8). Granted 24/12/2013

2016/3843/P - Erection of a three to four storey plus basement office building (Class B1) with 2nd and 3rd floor terraces following demolition of existing office/warehouse (Class B1/B8) – Granted subject to S106 on 23/03/2017.

2017/6484/P - Amendments to planning permission ref: 2016/3843/P dated 15/09/2016 for erection of a 3 to 4 storey plus basement office building with 2nd and 3rd floor terraces following demolition of existing office/warehouse namely addition of lift overrun – Granted – 13/12/2020.

Relevant policies

National Planning Policy Framework (2019)

The London Plan (2016)

The London Plan (intend to publish) (2019)

Camden Local Plan (2017)

- A1 Managing the impact of development
- A4 Noise and vibration
- CC2 Adapting to climate change
- D1 Design
- D2 Heritage

Camden Planning Guidance:

- CPG – Design 2019
- CPG – Amenity 2018
- CPG – Energy efficiency and adaptation 2019

Bloomsbury Conservation Area Appraisal and Management Plan (2011)

Assessment

1. The proposal

1.1. Planning permission is sought for:

- Installation of three new AC condensers, single air exchange unit and ducting linked to the cooling system of the building, and associated acoustic enclosure (retrospective).

2. Revisions

2.1. It should be noted that during the course of the assessment revisions to the proposed scheme were requested in order to appease concerns raised by objectors and officer's concerns regarding the size and height of the proposed acoustic screen. The revision made to the proposed scheme can be summarised as follows:

- Reduction in height of the acoustic screen from 1.5m to 1m.

2.2. The revisions made to the scheme did not materially affect the scheme and as such were accepted as amendments under the ongoing application.

3. Assessment

3.1. The principal considerations material to the determination of this application are as follows:

- The visual impact upon the character and appearance of the host property, streetscene, local area and Bloomsbury Conservation Area
- The impact on neighbouring amenity
- Sustainability

4. Design and Conservation

4.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained in Policy D1 are relevant to the application; development should consider the character, setting, context and the form and scale of neighbouring buildings, and the quality of materials used. Policy D2 states the Council will preserve, and where appropriate, enhance Camden's diverse assets and their settings including conservation areas and listed buildings.

4.2. According to the planning consent granted in 2016, works are in progress on a new build office over 3 storeys above ground and a basement. The proposed works would not affect any part of the already approved design of the building, except for the roof above the third floor. The approved roof plan includes solar panels, a green roof tray and the lift lid. This application amends the roof plan with the addition of an acoustic enclosure measuring a reduced height of 1m and 4m wide set back on the rear part of the roof for three AC condensers and a single air exchange unit and ducting linked to the cooling of the building.

4.3. Given that the enclosure and units would be set 4.5m back from the front of the roof and the revised reduced height of the enclosure screen it is not considered they would cause a detrimental impact on the character and appearance of the subject site or the surrounding conservation area.

4.4. The enclosure screen and ducting will be painted RAL 7016 (anthracite grey) to match the roof coverings and the zinc cladding of the building and adjacent building and therefore should blend into the roof and be less visible in the street scene. Although the proposed works may be seen from long views, due to its set back and set down nature views are expected to be limited and therefore not harmful to the subject site or the surrounding conservation area and for that reason

would be acceptable. It is further noted that other neighbouring sites also have condensers on their roof and to the rear of their properties therefore these proposed units would not be out of keeping with the rest of the mews.

- 4.5. Overall, the proposed works would not result in harm to the character or appearance of the building nor the surrounding conservation area.
- 4.6. Special regard has been attached to the desirability of preserving or enhancing the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

5. The impact on neighbouring amenity

- 5.1. Policy A1 seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of neighbouring residents.
- 5.2. Local plan Policy A4 requires the Council to ensure that noise and vibration is controlled and managed.
- 5.3. Given the units and enclosure's location and modest size placed high on the roof it is not considered they would cause harm to the amenities of the neighbouring properties in regards to loss of light, outlook or privacy impacts.
- 5.4. The applicants have provided an acoustic report for the proposed 3 condenser units and this has been reviewed by the Council's environmental health officer. The officer states that the acoustic assessment has proposed sufficient levels with specified noise mitigation as required for the installation and therefore we do not have any objections to the installation subject to a noise and vibration conditions. These conditions seek to ensure Camden's noise thresholds are not breached and ensure that the units are installed in conjunction with noise and vibration measures.
- 5.5. The development is therefore considered to be in accordance with planning policies A1 and A4.

6. Sustainability

- 6.1. Local plan Policy CC2 (Adapting to climate change) states that all development should adopt appropriate climate change adaptation measures to reduce the impact of urban and dwelling overheating, including application of the cooling hierarchy.
- 6.2. The Council requires the development to comply with the currently local plan policy and the CPG Energy and efficiency guidance. The development falls under the 1000m² threshold (coming in at 350m²) and thus is not considered a major development. However, it still has to comply with the cooling hierarchy as stated in policy CC2 where all developments should consider measures to reduce the impact of urban overheating.
- 6.3. The applicants have submitted an Overheating statement, the report demonstrates compliance with policy CC2 in a 2 step analysis:
 - Step 1 – Reducing Cooling demand
 - Step 2 – Assessing the need for Active Cooling
- 6.4. The results from step 1 found that a 48% reduction in cooling demand was had through implementation of passive measures and efficient building services such as LED lighting, removing low temperature hot water heating pipework, a light coloured roof, and a high performance thermal insulation internally.
- 6.5. Step 2 follows the cooling hierarchy to analyse the need for active cooling. The overheating

assessment considered the building under 4 scenarios: passive ventilation, mechanical ventilation, natural ventilation and active cooling.

- 6.6. The results to step 2 demonstrated that only the active cooling scenario allowed all rooms to pass TM52 and therefore maintain a comfortable internal temperature, thus providing an acceptable working environment for the building.
- 6.7. Given the above it is considered that the proposed 3 air condensers are acceptable and are in compliance with Policy CC2.

7. Recommendation

- 7.1. Grant conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 17th August 2020, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2019/2660/P
Contact: Jaspreet Chana
Tel: 020 7974 1544
Email: Jaspreet.Chana@camden.gov.uk
Date: 12 August 2020

Telephone: 020 7974 **OfficerPhone**
Nico Warr Architects
Studio 54
Great Western Studios
65 Alfred Road
London
W25EU
UK

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
27 King's Mews
London
WC1N 2JB

Proposal: Installation of three new AC condensers, single air exchange unit and ducting linked to the cooling system of the building, and associated acoustic enclosure (retrospective)

Drawing Nos: 116_P4_A1000, 116 A1201, 116_P5_A1400 Rev 04, 116_P5_A1401A, Design & Acces Statement, Plant Noise Assessment May 2019, Overheating Statement 24/12/2019.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: 116_P4_A1000, 116 A1201, 116_P5_A1400 Rev 04, 116_P5_A1401A, Design & Access Statement, Plant Noise Assessment May 2019, Overheating Statement 24/12/2019.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 4 Noise levels at a point 1 metre external to sensitive facades shall be at least 10dB(A) less than the existing background measurement (LA90), expressed in dB(A) when all plant/equipment (or any part of it) is in operation unless the plant/equipment hereby permitted will have a noise that has a distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are distinct impulses (bangs, clicks, clatters, thumps), then the noise levels from that piece of plant/equipment at any sensitive façade shall be at least 15dB(A) below the LA90, expressed in dB(A).

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

- 5 Prior to use, plant or equipment and ducting at the development shall be mounted with proprietary anti-vibration isolators and fan motors shall be vibration isolated from the casing and adequately silenced and maintained as such.

Reason: To ensure that the amenity of occupiers of the development site and surrounding premises is not adversely affected by vibration, in accordance with the requirements of policy A4 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Economy, Regeneration and Investment

DRAFT

DECISION