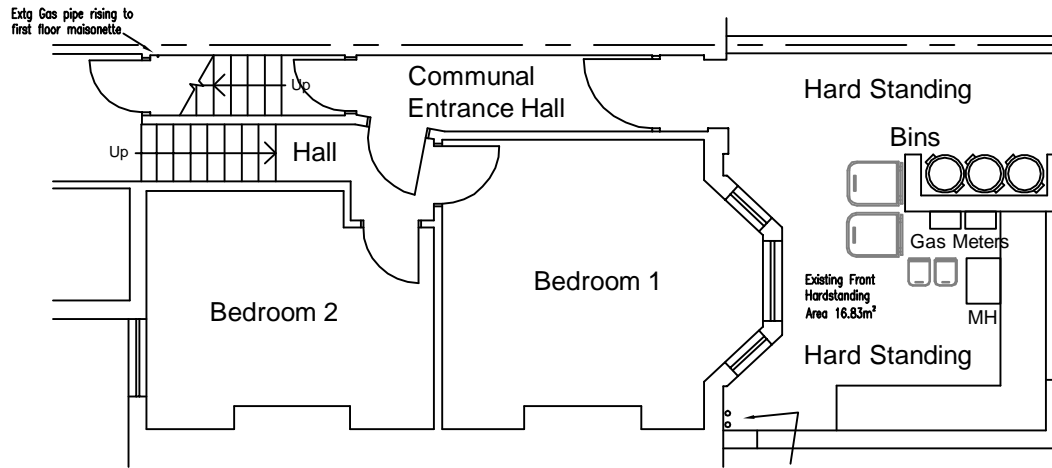


DECORATION

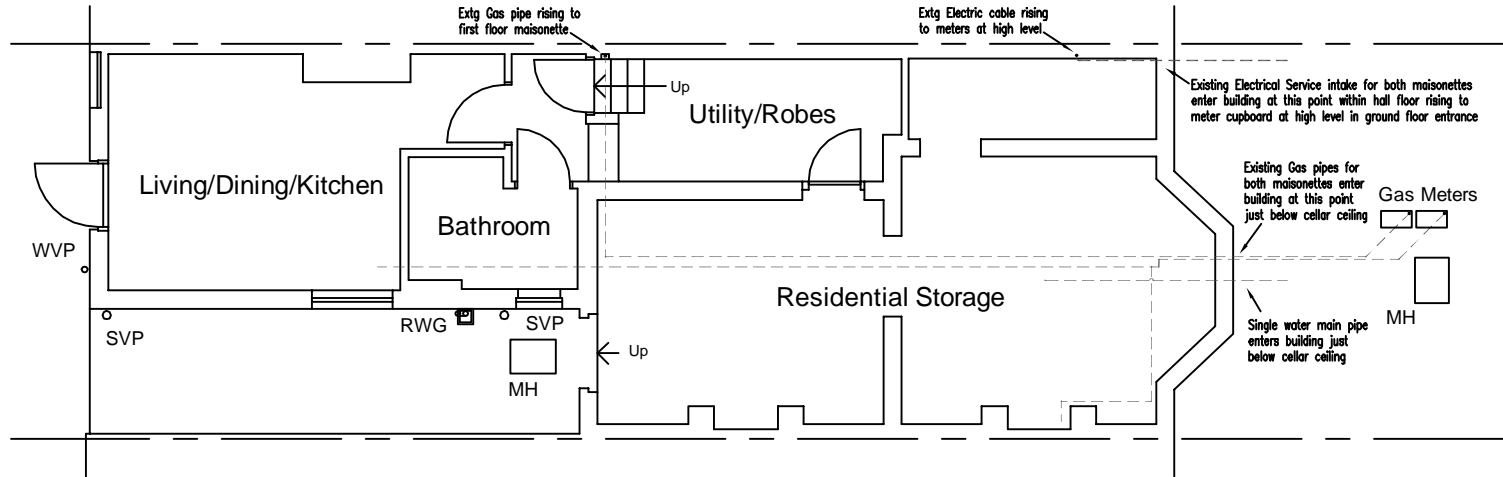
All new interior and exterior SW Joinery to be fully decorated including all concealed faces and edges. Knot, Prime, Stip, 2 Undercoats & Min 1 Glass/Satin top coat to cover as directed by client.
All new interior and exterior HW Joinery to receive clear sealant prior to fixing and minimum 2 coats clear/Unfed Glass/Satin Varnish as directed by client. All preparation to closely follow manufacturers instructions. Exterior walls to be painted with minimum 3 coats masonry paint to match existing building where applicable including making good around new work/alterations

WALL & FLOOR TILING

All internal wall and floor tiling to be carried out using the appropriate & correct adhesives and grout. Ensure all surfaces are clean, even and flat before commencing. Prepare floors with 'Schluter-Ditra' waterproof anti-movement matting and walls with 'Schluter-Kerdi' waterproof fiberglass matting or equal approved laid in strict accordance with manufacturers instructions. Ensure that the waterproof layers are lapped and intact before laying any tiles over. Where tiled shower floor bases are required the waterproof layer is to be pressed into an appropriate trapped floor gully with removable trim to access trap for cleaning. All tile joints to be mitred and plastic edge trim avoided unless agreed beforehand by client. Baths to be filled with water during fixing to walls/floor and whilst tiling. Any specialist tiles/stone/marble to be sealed after fixing in strict accordance with suppliers instructions. All tiling/sanitaryware/taps etc to be properly & thoroughly cleaned after fixing and protected with bubblewrap and hardboard etc taped in position. These areas thereafter to have restricted access. All silicone sealant/beading to be applied by a specialist at the appropriate time and left to cure. Baths to be filled with water



EXISTING GROUND FLOOR PLAN (STREET LEVEL)



EXISTING LOWER GROUND FLOOR/ GARDEN FLOOR PLAN

ELECTRICAL SAFETY

All wiring & electrical work to be designed, installed, inspected & tested in accordance with BS7671, 17th & 18th Edition IEE Regs & Pt P of Building Regulations by competent qualified electricians registered with an approved authorised Pt P self certification scheme. Electrical Installation & Test Certificates to BS7671 to be issued to Client by installer within 30 Days of Completion

INTERNAL & EXTERNAL LIGHTING

All new lighting is to be energy efficient. LED lamps/fittings are recommended. Lamps having a luminous efficacy greater than 40 lumens/circuit Watt to be provided in all rooms, circulation spaces, outhouses, lofts, garages & conservatories and the like. All external lights to have lamps of the above efficacy or be automatically extinguished when there is enough daylight & when not required at night

VENTILATION

All habitable rooms to have 5% of floor area natural ventilation via opening doors or windows to external air. (Min ventilation rate for whole dwelling 0.3L/sec per m² of total floor area) Background ventilation of 40,000mm³ required equally distributed. In addition kitchens to have at least a 30L/sec cooker hood ducted to external air or a separate 60L/sec full extract fan Mechanical Extraction also to be provided as follows: Utility Rooms-30L/sec Bath & Shower Rooms-15L/sec. Separate WC's to have either a window giving 5% floor area & background vent or 6L/sec extract fan. All extract fans to be linked to light switch & with 15 Min overrun unless room has an opening window

GLAZING ~ SAFETY

Any glass in a window within 800mm of floor level or 1500 if in a door or within 300mm each side of a door to be Laminated to BS 6206 unless pane of glass is less than 250mm wide & under 0.5sqm in area. Any opening part of a window within 800mm of floor to be provided with a horizontal guarding rail and vertical balustrade below with maximum 99mm apertures

FIRE ALARMS/SMOKE DETECTORS

Smoke Detectors to be mains wired to Pt P compliance. If one is activated then all must sound off. Provide in circulation areas where indicated by the symbol above and within 7.5m of doors to all habitable rooms. They should be ceiling mounted Min 300mm from walls or light fittings and be kept away from Heating or Air/Con appliances/outlets. System to be installed to accord with guidance in BS 5839-1:2002 & -6:2004. Smoke & Heat Detectors to comply with BS 5446-1:2000 & -2:2003 respectively

FIRE DOORS

All Flat Entrance Doors and other internal doors opening onto common stairs to be Half Hour Fire Resisting FD30S with perko self closing devices and fitted into frames/linings with 15x40mm stops glued and screwed in place and intumescent strips rebated into head and jamb of linings to form seal in the event of a fire. If not provided stops must be 25x40mm. All other doors forming protected flat entrance halls must be FD20 Fire Resisting (Self Closing Not Required)

ACCESSIBLE SOCKETS & SWITCHES

Wall mounted sockets outlets, TV & Phone points etc to be located Min 400mm & Max 1000mm above floor level and no nearer room corners than 350mm. Switches for permanently wired appliances, unless at a higher level for particular appliances, to be located within 400 & 1200mm above floor level. All sockets and isolation switches to clearly show that they are on/off. All switches and controls that require precise hand movements are located between 750 & 1200mm above floor level. Controls that require close vision are to be located between 1200 and 1400 above floor level with thermostats being at the top of the range

DOWNLIGHTERS

Down lighters are to be fully enclosed to maintain acoustic and fire separation whilst maintaining space separation to prevent overheating as recommended by the manufacturer

~ NOTES ~

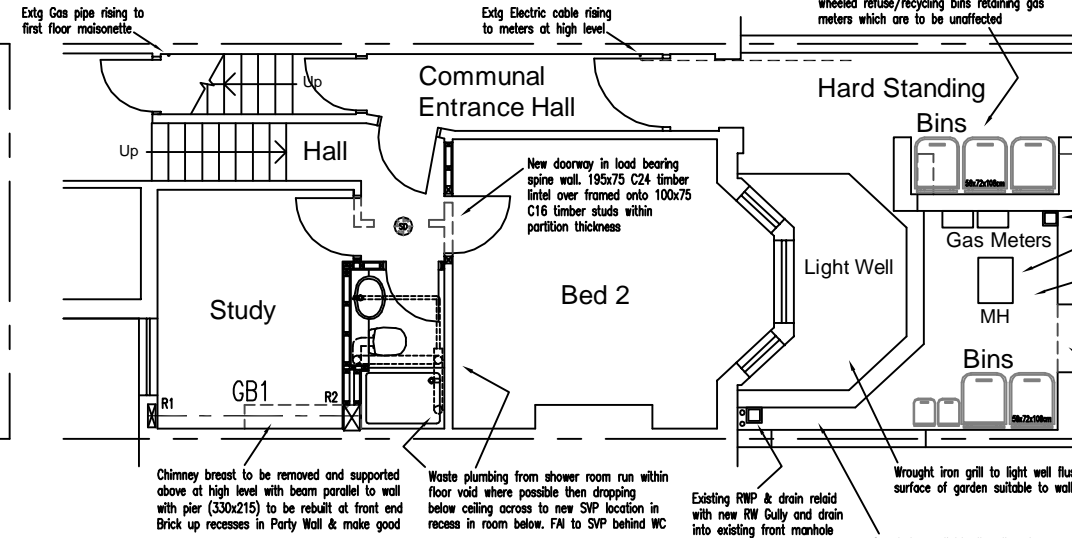
All Work to Clients & Local Authority Approval & All Relevant BS's to be complied with. Work Only to Written Dimensions unless directed to scale by Design Team. Report Discrepancy's and Obtain Permission Prior to Proceeding. Contractor Shall be Responsible to Rectify Any Variations carried out without Prior Approval. Any Disturbance to be Made Good to Match Existing or as Directed. Architraves, Cornices, Doors & Skirtings etc to Match Existing and be Purpose Made where an acceptable standard product is not readily available. Services to be Altered and Extended as Required

WINDOWS & EXTERIOR DOORS

Materials for frames, hinges etc to match existing unless a complete new installation is called for. All to be provided with suitable locking devices to match the existing or multi point locking devices complying to insurance industry standards. Easy-clean hinges to be stainless steel types or equal approved with a full opening device where necessary for emergency escape purposes. Glazing to comply with safety glass rules, be double glazed with low-e, anti-glare & Argon fill all incorporated to achieve a U value as close to 1.4W/m²K as possible but not exceeding 2.0W/m²K. Provide the Maximum gap to sealed units possible for frame material selected. Obscured glass to be selected by client from samples to be provided by contractor. Draught stripping to be the best quality fitted into grooves/rebates as applicable. Frames to incorporate a thermal break except where wooden. Obtain Clients written Approval for all details including window/door configuration

EMERGENCY ESCAPE

All habitable rooms to have emergency exits of at least a window having a clear opening area of 0.33sqm & Min 450mm high or wide. The bottom of which should be within 1100mm of floor level. If safety guarding is provided to a window the clear opening area must be measured above the guarding



PROPOSED GROUND FLOOR PLAN (STREET LEVEL)

CAVITY WALLS

Outer leaf to be 112.5mm second hand stock brickwork to match the existing & to be agreed with client. 100mm cavity completely filled with 100mm 'Drytherm 32' mineral fibre insulation cavity batts. Inner leaf to be 100mm 4.2N 'Plasmor Aglite' blockwork unless Structural Engineers details specify a higher requirement. Finish internally with 12.5mm Plasterboard on dabs with 2.5mm hard plaster set coat. Cavity wall ties to BS1243 (as amended) @ 450 Vert & 750 Horz c/c staggered. 225 Vert c/c to reveal and 'Thermabate' or equal insulated DPC cavity closures including below eills. Mortar joints to be in 1:1:6 mix cement/plasticizer/sand. All work below DPC level to be in sulphate resisting materials unless soil report or local Authority indicate otherwise. DPC cavity trays, stepped as necessary and code 5 lead flashings above all abutments

DPC's & DPM's

All DPC's to BS 743 Min 150mm above finished ground levels, stepped as required to suit site levels. All on mortar bed. Vertically lap or tong as appropriate. Inner leaf DPC not to be above floor level and to be lapped to floor DPM's. Use H-Load DPC's below any concrete floors or floor beams. DPM's to be 1200 gauge polythene or equal approved & protected with soft sand blinding where necessary. All DPC's & DPM's to be lapped to existing at all abutments

DRAINAGE

All to be to BS 8301. 100mm # plastic underground drains laid @ 1:40 falls in 150mm pea shingle bed and surround. Min 800mm cover below driveways or encase in concrete. Build pipes into walls where passing through with joints within 150mm of wall face and then at approximately 600mm from first joint to form a rocker pipe. All gullies to be roddable back inlet types with fixed covers/gratings. large radius bends at base of soil stacks. provide one way valves to drains or flexible anti climb fins to stacks to prevent rodents climbing pipes to exit drains. All drains to be accessible and roddable. 450mm # plastic or 450x450mm semi-engineering brick inspection chambers on 150mm concrete bases. Concrete backfill to plastic IC's. Maximum depth 1.2m. Covers 450mm # or 430mm sq. All internal IC's etc to be fitted with double seal bolt down air tight covers and frames. Refer to plan for further requirements and/or greater depths etc. All paved areas to be provided with drainage in the form of gullies or channels discharging to a separate surface water drainage system together with rainwater from roofs

PIPE & VENT DUCTWORK

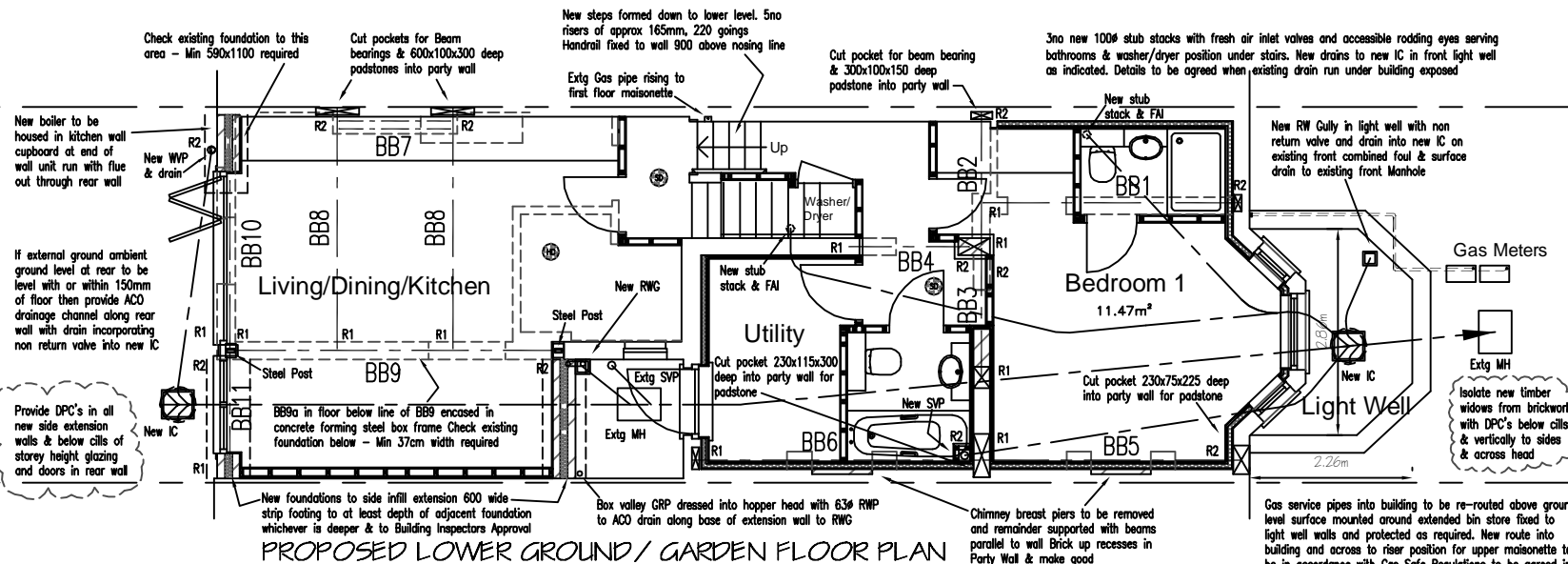
Encase all ducts and stock pipes etc in 2 layers 12.5mm plasterboard fixed to break joint & with plaster skim finish. 100mm 'Knauf' earthwool Acoustic Roll infill throughout. 50x50 SW framework. Access panels in 2 layers 15mm Masterboard or similar fire retardant material screw fixed into 25mm rebated frame. Low level to stacks. Intumescent fire collars to all pipes passing through compartment floors into another part of the building used by a different occupant

WASTE PLUMBING

All to be to BS 5572. 100mm # soil & vent stacks or stub stacks as directed. 100mm # WC branches with 50mm deep 'P' traps. All other traps accessible and cleanable. Waste & trap sizes as follows: - Basins & Bidets 32mm #, Sinks & Washing machines etc 40mm # all with 75mm deep traps. baths & Showers 40mm # with 50mm deep traps. No waste to be connected to a stack within 200mm of a WC branch. Increase pipe sizes from 32 to 40mm @ 1.7m, 40 to 50mm @ 3.0m. Any wastes over 4.0m provide anti-siphon traps or a vent connected to waste within 300mm of trap, rising continuously either to external air or back to stack above highest floor level. Wherever possible & always at head of drain stacks to be vented to external air via balloon cage 900mm above any ventilation opening within 3.0m. Code 5 lead collars/sleeves above roof abutments. Fresh air inlet valves only to be used in accordance with manufacturers instructions and Local Authority Approval. provide rodding eyes to all bends & junctions. Box in & conceal wastes etc in agreement with client/owner

PARTITIONS ~ TIMBER STUD

75x50mm SW studs @ 400/c. Noggins @ 800/c. 75x50 base and top plates. Double up joints below partitions unless otherwise specified. 12.5mm plasterboard & 2.5mm skim coat of plaster finish both sides with 75mm 'Knauf' earthwool Acoustic Roll infill throughout. All studwork within a bath or shower room (or other wet area) to be lined out on wet side with aqua panel or equal approved purpose made boards



PROPOSED LOWER GROUND/ GARDEN FLOOR PLAN

Refuse Bin Requirements (No 240 L wheeled bins to replace existing arrangement and serve both flats. Existing 2no food waste containers retained.)

New RW Gully to serve front hard standing so that surface water does not run onto public footpath (New drain to existing manhole (Replace cover with new))

Remainder of front garden to be hard-standing as other properties in the street with light-wells (Sand bedded block paving so as to be permeable)

Form opening in front garden wall to access remainder of front garden, Gas Meters & 2no 240 L wheeled bins.

REV Q - 3rd bedroom removed	23/07/2020
REV P - Light well shape & size changed	23/07/2020
REV O - Internal layout of basement book to Rev D	07/07/2020
REV N - Clarification of DPC provision	11/03/2020
REV M - Electric, Gas & Water Services Routes	24/10/2019
REV L - Bin store & existing manhole clarified	31/05/2019
REV K - Bin store & front garden walls revised	28/05/2019
REV J - Lightwell drainage revised	05/06/2018
REV I - Foundations details updated	22/05/2018
REV H - Lightwell revised (width reduced)	27/03/2018
REV G - Party Wall interventions clarified	23/03/2018
REV F - Rear extension removed - layout updated	28/02/2018
REV E - Rear extension combined with side infill	12/12/2017
REV D - Rear extension changed to side infill	15/11/2017
REV C - Extg & Prop'd hard surface areas added	30/08/2017
REV B - Existing & preliminary proposed surface water drainage added	29/08/2017
Chimney breast removal notes added	
REV A - Lightwell & front garden layout revised	04/05/2017

Architectural Design & Planning

THE DESIGN WORKS

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TITLE EXISTING & PROPOSED FLOOR PLANS

ADDRESS
28 KYLEMORE ROAD
LONDON NW6 2PT

CLIENT COBSTAR Ltd	SCALE 1:50 & 1:100	DATE JAN 2017
DRAWING No. 170130/01	REV. Q	

Water service to be temporarily re-routed to avoid excavation works exposed. Provide duct with draw string dropped down behind & below base of light well & basement floor to a depth of at least 600mm. Locate riser pipe to upper maisonette and reconnect water main at appropriate time in contract period. Provide new metered water supply to lower maisonette run within same duct route into building