



## APPENDIX A

# SERVICE CONSTRAINTS

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1. This report and the site investigation carried out in connection with the report (together the "Services") were compiled and carried out by RSK Environment Limited (RSK) for The Trustees of the St Pancras Way Block A Unit Trust & Big Lobster (the "client") in accordance with the terms of a contract [RSK Group Standard Terms and Conditions] between RSK and the "client", dated 21<sup>st</sup> December 2018. The Services were performed by RSK with the skill and care ordinarily exercised by a reasonable environmental consultant at the time the Services were performed. Further, and in particular, the Services were performed by RSK taking into account the limits of the scope of works required by the client, the time scale involved and the resources, including financial and manpower resources, agreed between RSK and the client.
2. Other than that, expressly contained in paragraph 1 above, RSK provides no other representation or warranty whether express or implied, in relation to the Services.
3. Unless otherwise agreed in writing the Services were performed by RSK exclusively for the purposes of the client. RSK is not aware of any interest of or reliance by any party other than the client in or on the Services. Unless expressly provided in writing, RSK does not authorise, consent or condone any party other than the client relying upon the Services. Should this report or any part of this report, or otherwise details of the Services or any part of the Services be made known to any such party, and such party relies thereon that party does so wholly at its own and sole risk and RSK disclaims any liability to such parties. Any such party would be well advised to seek independent advice from a competent environmental consultant and/or lawyer.
4. It is RSK's understanding that this report is to be used for the purpose described in the introduction to the report. That purpose was a significant factor in determining the scope and level of the Services. Should the purpose for which the report is used, or the proposed use of the site change, this report may no longer be valid and any further use of or reliance upon the report in those circumstances by the client without RSK 's review and advice shall be at the client's sole and own risk. Should RSK be requested to review the report after the date of this report, RSK shall be entitled to additional payment at the then existing rates or such other terms as agreed between RSK and the client.
5. The passage of time may result in changes in site conditions, regulatory or other legal provisions, technology or economic conditions which could render the report inaccurate or unreliable. The information and conclusions contained in this report should not be relied upon in the future without the written advice of RSK. In the absence of such written advice of RSK, reliance on the report in the future shall be at the client's own and sole risk. Should RSK be requested to review the report in the future, RSK shall be entitled to additional payment at the then existing rate or such other terms as may be agreed between RSK and the client.
6. The observations and conclusions described in this report are based solely upon the Services which were provided pursuant to the agreement between the client and RSK. RSK has not performed any observations, investigations, studies or testing not specifically set out or required by the contract between the client and RSK. RSK is not liable for the existence of any condition, the discovery of which would require performance of services not otherwise contained in the Services. For the avoidance of doubt, unless otherwise expressly referred to in the introduction to this report, RSK did not seek to evaluate the presence on or off the site of asbestos, invasive plants, electromagnetic fields, lead paint, heavy metals, radon gas or other radioactive or hazardous materials, unless specifically identified in the Services.
7. The Services are based upon RSK's observations of existing physical conditions at the Site gained from a visual inspection of the site together with RSK's interpretation of information, including documentation, obtained from third parties and from the client on the history and usage of the site, unless specifically identified in the Services or accreditation system (such as UKAS ISO 17020:2012 clause 7.1.6):
  - a. the Services were based on information and/or analysis provided by independent testing and information services or laboratories upon which RSK was reasonably entitled to rely
  - b. the Services were limited by the accuracy of the information, including documentation, reviewed by RSK and the observations possible at the time of the visual inspection
  - c. the Services did not attempt to independently verify the accuracy or completeness of information, documentation or materials received from the client or third parties, including laboratories and information services, during the performance of the Services.

RSK is not liable for any inaccurate information or conclusions, the discovery of which inaccuracies required the doing of any act including the gathering of any information which was not reasonably available to RSK and



including the doing of any independent investigation of the information provided to RSK save as otherwise provided in the terms of the contract between the client and RSK.

8. The intrusive environmental site investigation aspects of the Services is a limited sampling of the site at pre-determined locations based on the known historic / operational configuration of the site. The conclusions given in this report are based on information gathered at the specific test locations and can only be extrapolated to an undefined limited area around those locations. The extent of the limited area depends on the properties of the materials adjacent and local conditions, together with the position of any current structures and underground utilities and facilities, and natural and other activities on-site. In addition, chemical analysis was carried out for a limited number of parameters [as stipulated in the contract between the client and RSK] [based on an understanding of the available operational and historical information,] and it should not be inferred that other chemical species are not present.
9. Any site drawing(s) provided in this report is (are) not meant to be an accurate base plan, but is (are) used to present the general relative locations of features on, and surrounding, the site. Features (intrusive and sample locations etc) annotated on-site plans are not drawn to scale but are centred over the approximate location. Such features should not be used for setting out and should be considered indicative only.



# APPENDIX B DEVELOPMENT DRAWINGS

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© THE DRAWING IS THE PROPERTY OF GPO PARTNERSHIP LTD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFIC TO WHICH IT IS ISSUED.

**NOTES**

1. DON'T SCALE THIS DRAWING.
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ENGINEERING SPECIFICATIONS, AND SERVICES ENGINEERING DRAWINGS & SPECIFICATIONS.
3. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
4. WORK TO FIGURED DIMENSIONS ONLY.
5. ALL WORK TO COMPLY WITH THE RELEVANT BRITISH STANDARDS, CODES OF PRACTICE AND THE BUILDING REGULATIONS.

KEY	
<span style="color: green;">○</span>	POINT LOAD AT BASEMENT LEVEL
<span style="color: magenta;">○</span>	POINT LOAD AT GROUND FLOOR LEVEL

ALL LOADINGS STATED ARE UNFACTORED

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Client: REEF ESTATES

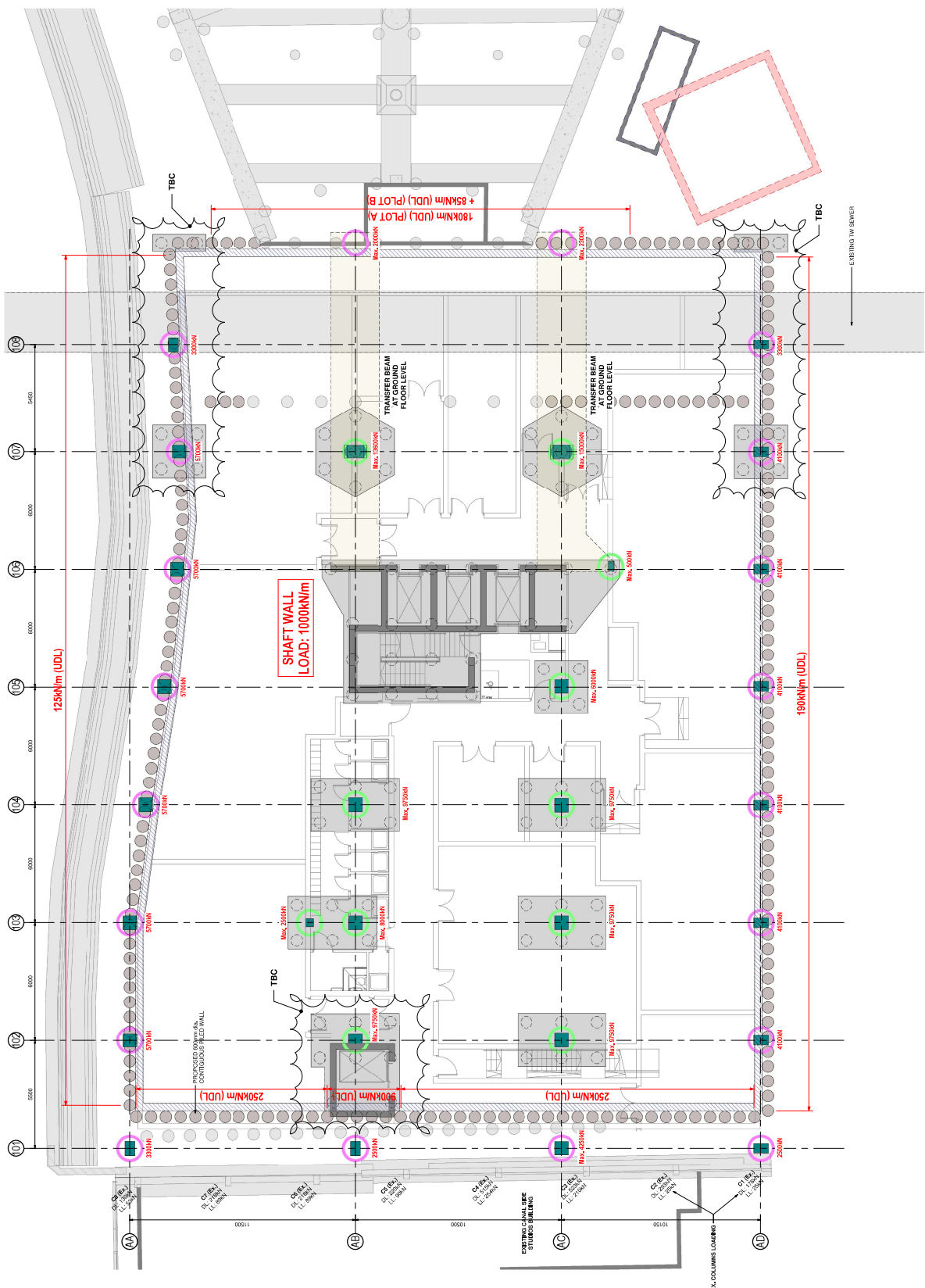
Project: **The Ugly Brown Building**

Drawings: PLOT A - PROPOSED FOUNDATION LOADS

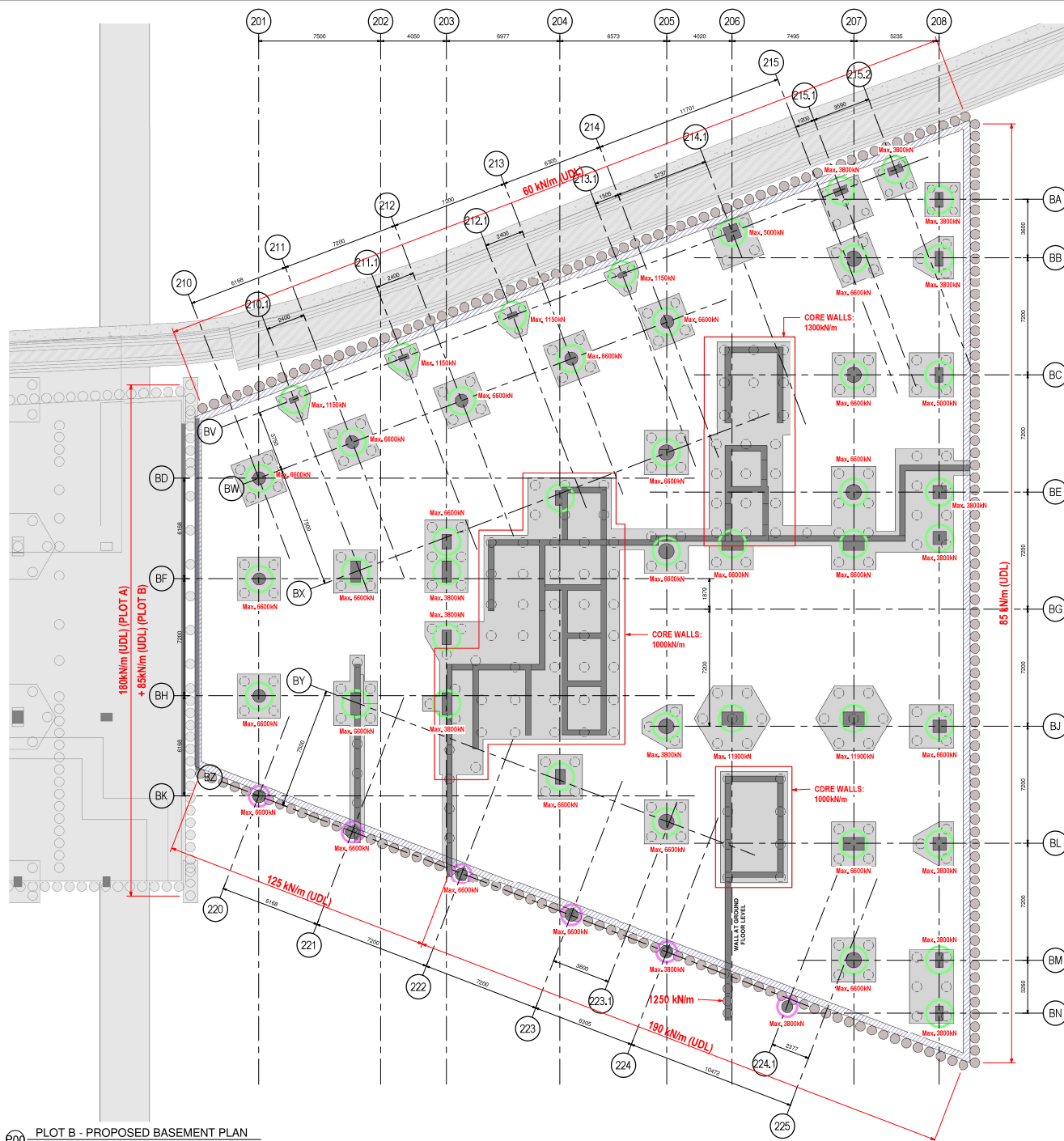
Scale: 1:100 SCALES INDICATED (OR SCALES)  
 Drawn: MM Checked: PP Date: OCT. 2017

Job No: 16-017 SK(A) - 250 B

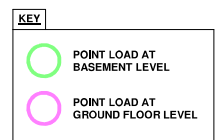
SKETCH



1 PLOT A - PROPOSED BASEMENT PLAN  
 1:100



- NOTES**
- DO NOT SCALE THIS DRAWING.
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ENGINEERS, ARCHITECTS, AND SERVICES ENGINEERS DRAWINGS & SPECIFICATIONS.
  - ALL DIMENSIONS ARE IN MILLIMETRES (mm).
  - WORK TO FIGURED DIMENSIONS ONLY.
  - ALL WORK TO COMPLY WITH THE RELEVANT BRITISH STANDARDS, CODES OF PRACTICE AND THE BUILDING REGULATIONS.



**ALL LOADINGS STATED ARE UNFACTORED**

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**Client:**  
 REEF ESTATES

**Project:**  
 The Ugly Brown Building

**Drawing:**  
 PLOT B - PROPOSED FOUNDATION LOADS

Scale: As Indicated **SCALES INDICATED** (2x SCALES A3)  
 Drawn: MM Checked: PP Date: OCT. 2017

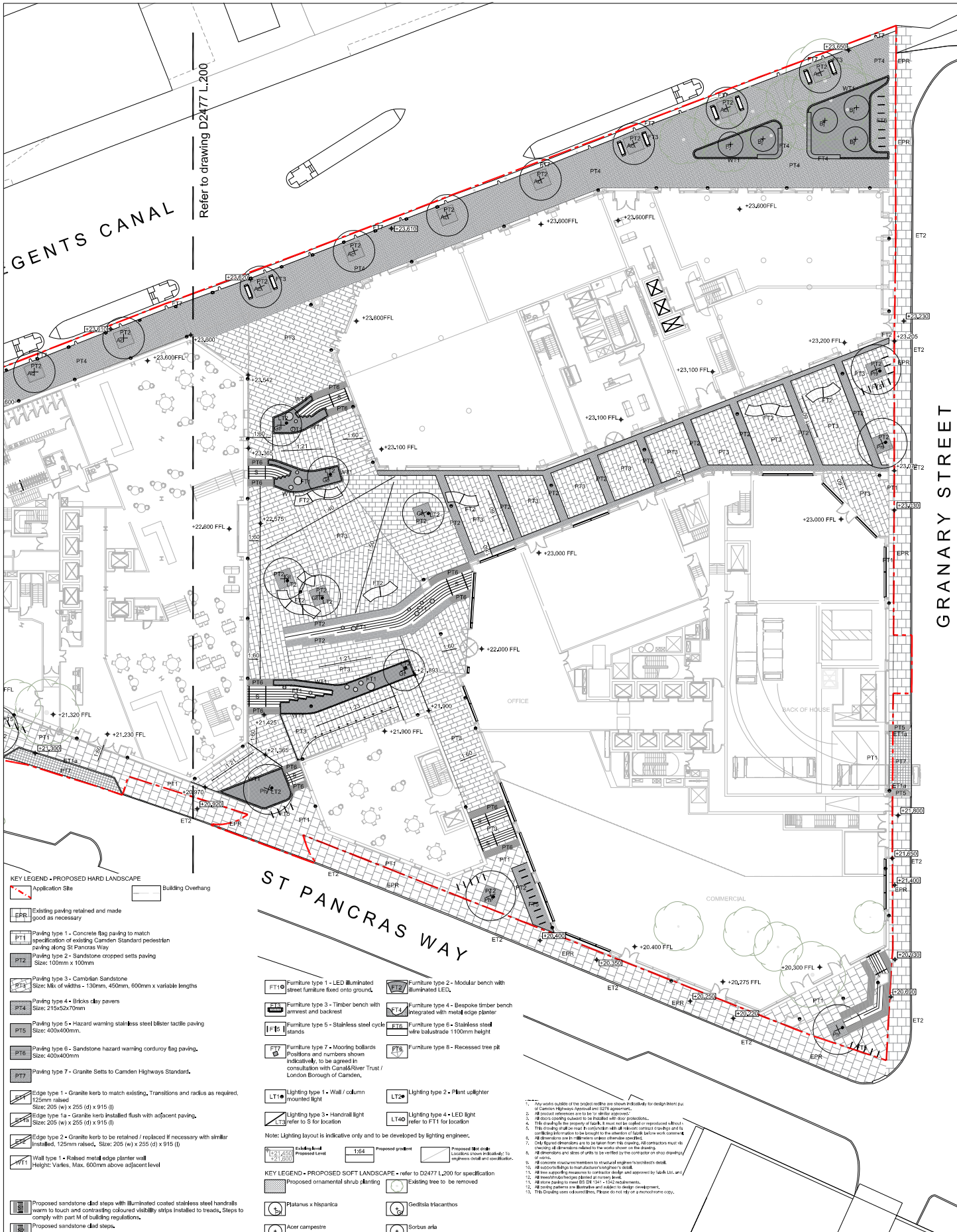
Job No: 16-017 Drawing No: SK(B) - 250 B

**PLOT B - PROPOSED BASEMENT PLAN**  
 1:125

**SKETCH**







**KEY LEGEND - PROPOSED HARD LANDSCAPE**

- Application Site
- Building Overhang
- Existing paving retained and made good as necessary
- Paving type 1 - Concrete flag paving to match specification of existing Camden Standard pedestrian paving along St Pancras Way
- Paving type 2 - Sandstone cropped setts paving Size: 100mm x 100mm
- Paving type 3 - Cambrian Sandstone Size: Mix of widths - 130mm, 450mm, 600mm x variable lengths
- Paving type 4 - Bricks clay pavers Size: 215x52x70mm
- Paving type 5 - Hazard warning stainless steel blister tactile paving Size: 400x400mm
- Paving type 6 - Sandstone hazard warning corduroy flag paving, Size: 400x400mm
- Paving type 7 - Granite Setts to Camden Highways Standard.
- Edge type 1 - Granite kerb to match existing, Transitions and radius as required, 125mm raised, Size: 205 (w) x 255 (d) x 915 (l)
- Edge type 1a - Granite kerb installed flush with adjacent paving, Size: 205 (w) x 255 (d) x 915 (l)
- Edge type 2 - Granite kerb to be retained / replaced if necessary with similar installed, 125mm raised, Size: 205 (w) x 255 (d) x 915 (l)
- Wall type 1 - Raised metal edge planter wall Height: Varies, Max. 600mm above adjacent level

- Furniture type 1 - LED illuminated street furniture fixed onto ground.
- Furniture type 2 - Modular bench with illuminated LED.
- Furniture type 3 - Timber bench with armrest and backrest
- Furniture type 4 - Bespoke timber bench integrated with metal edge planter
- Furniture type 5 - Stainless steel cycle stands
- Furniture type 6 - Stainless steel wire bollards 1100mm height
- Furniture type 7 - Mooring bollards Positions and numbers shown indicatively, to be agreed in consultation with Canal/River Trust / London Borough of Camden.
- Furniture type 8 - Recessed tree pit

- Lighting type 1 - Wall / column mounted light
  - Lighting type 2 - Plant uplighter
  - Lighting type 3 - Handrail light refer to S for location
  - Lighting type 4 - LED light refer to FT1 for location
- Note: Lighting layout is indicative only and to be developed by lighting engineer.

- KEY LEGEND - PROPOSED SOFT LANDSCAPE** - refer to D2477 L200 for specification
- Proposed ornamental shrub planting
  - Existing tree to be removed
  - Platanus x hispanica
  - Acer campestre
  - Gleditsia tricanathos
  - Sorbus aria

1. Any works outside of the project outline are shown indicatively for design intent only.
2. All Camden Highways Approval and S274 agreement.
3. All ground reference are to be to the adjacent pavement.
4. All ground reference are to be to the adjacent pavement.
5. All ground reference are to be to the adjacent pavement.
6. This drawing is for information only and is not to be used for construction without the written consent of the design team.
7. All dimensions are to be taken from the drawing. All contractors must refer to the drawings for all dimensions and details.
8. All dimensions and sizes of units to be verified by the contractor on shop drawings of units.
9. All concrete structures must be detailed in accordance with the design team's detail.
10. All structures must be detailed in accordance with the design team's detail.
11. All structures must be detailed in accordance with the design team's detail.
12. All structures must be detailed in accordance with the design team's detail.
13. All structures must be detailed in accordance with the design team's detail.
14. All structures must be detailed in accordance with the design team's detail.
15. All structures must be detailed in accordance with the design team's detail.
16. All structures must be detailed in accordance with the design team's detail.

**fabrik**

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C. 2016.03.02 Issued for planning approval  
R. 2017.08.22 Issued for planning approval  
A. 2017.05.31 Issued for planning approval  
No. Date Reason  
Revisions

External References:  
• 1603\_P100.dwg

Project  
Transformation of the Ugly Brown Building, St Pancras Way for Reef Estates Limited

Drawing  
Typical Hard and Soft Landscape General Arrangement Plan - Sheet 2 of 2

Scale  
1:200 @ A1

Date  
May '17

Checked  
JR

Drawn  
CG

Drawing No.  
D2477 L.201

Revision  
C

- Preliminary
- Issued for Planning Approval
- Issued for Construction
- Issued for Design/Information
- Issued for Tender
- As Built

Drawing sheet size - A1  
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