
Platform 5
architects

31 Estelle Road

Design & Access Statement
June 2020

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Platform 5 Architects - Mapledene Road | Best residential extension in London over the past 5 years, “Don’t Move, Improve! Awards” 2009



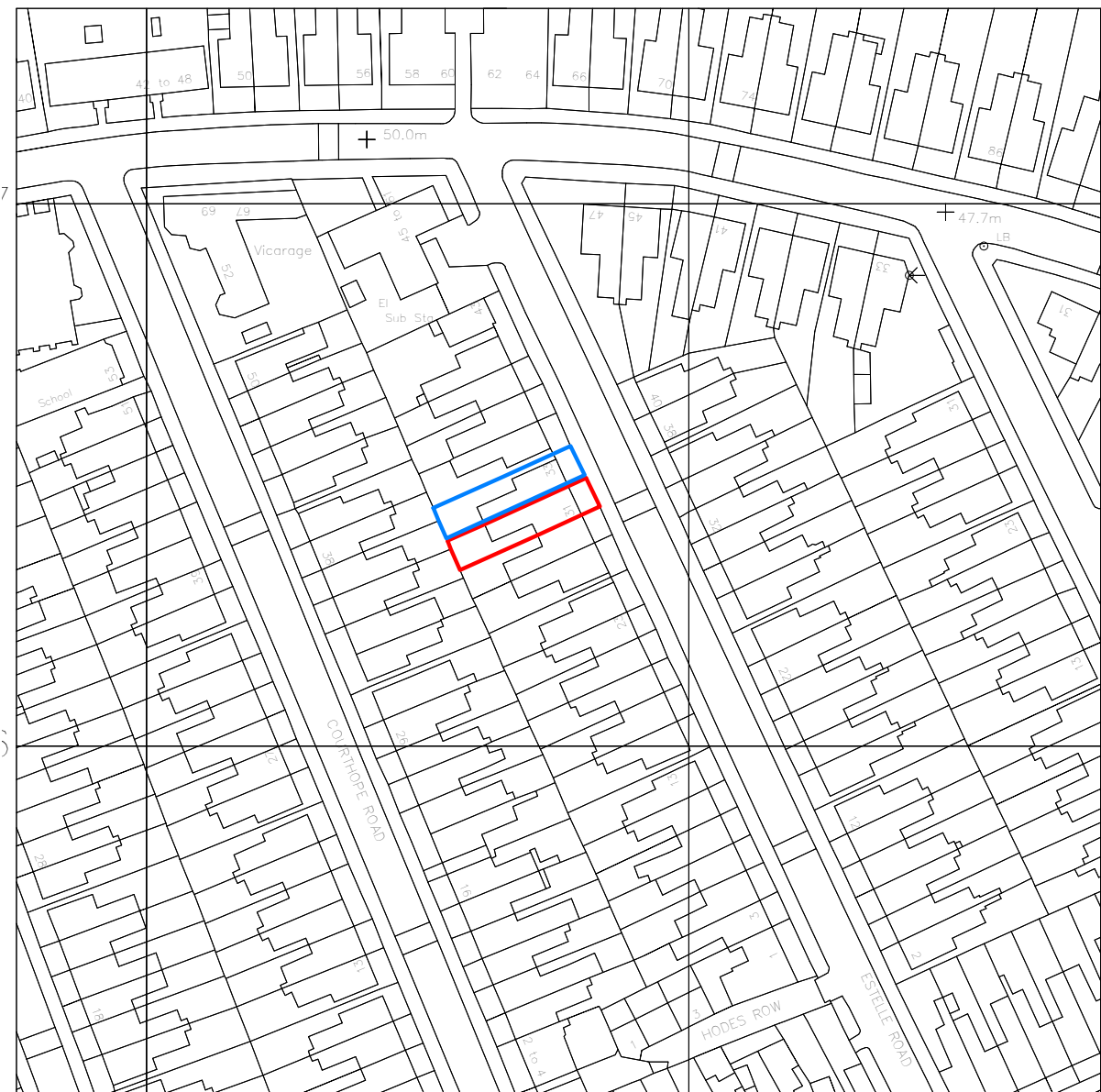
Platform 5 Architects - Booktower House | Commended - Home Extension, “Don’t Move, Improve! Awards” 2013

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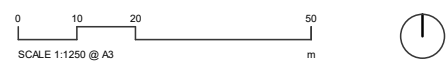
Platform 5 Architects is an award winning architectural practice led by Patrick Michell with a diverse portfolio of projects in the residential, commercial, education and cultural sectors.

Since our inception in 2006, we have built a reputation on the quality of our design and level of service to our clients. Wallpaper* magazine’s Architects Directory 2009 featured Platform 5 in their selection of 30 of the world’s most talented young architectural practices and we have also been shortlisted for Building Design’s Young Architect of the Year Award in 2018.

Award-winning and commended projects in Hackney borough such as Mapledene Road and Booktower House in Camden borough demonstrate our ability to deliver crafted, bespoke designs that respond to their context.



Location plan



Site background

The site is located on Estelle Road, a residential street in Gospel Oak, north west London in close proximity to Gospel Oak overground station. The site is located within the Mansfield Conservation Area, however the existing house is neither listed nor locally listed. 31 Estelle Road was split into flats following a successful planning application in 1986 (reference: 8600220). A further successful planning application was made in 2011 for a side extension to the ground floor flat (reference 2011/4737/P).

The design proposes the demolition of an existing rear side extension, and construction of a new rear side extension to the ground floor flat (Flat A), and the construction of a garden room to the rear. The design proposal has been developed alongside the Camden Planning Guidance (Altering and extending your home) 2019.



Existing street view of properties on Estelle Road

Use

The existing and proposed use of Flat A, 31 Estelle Road is a residential single dwelling (Use Class C3).

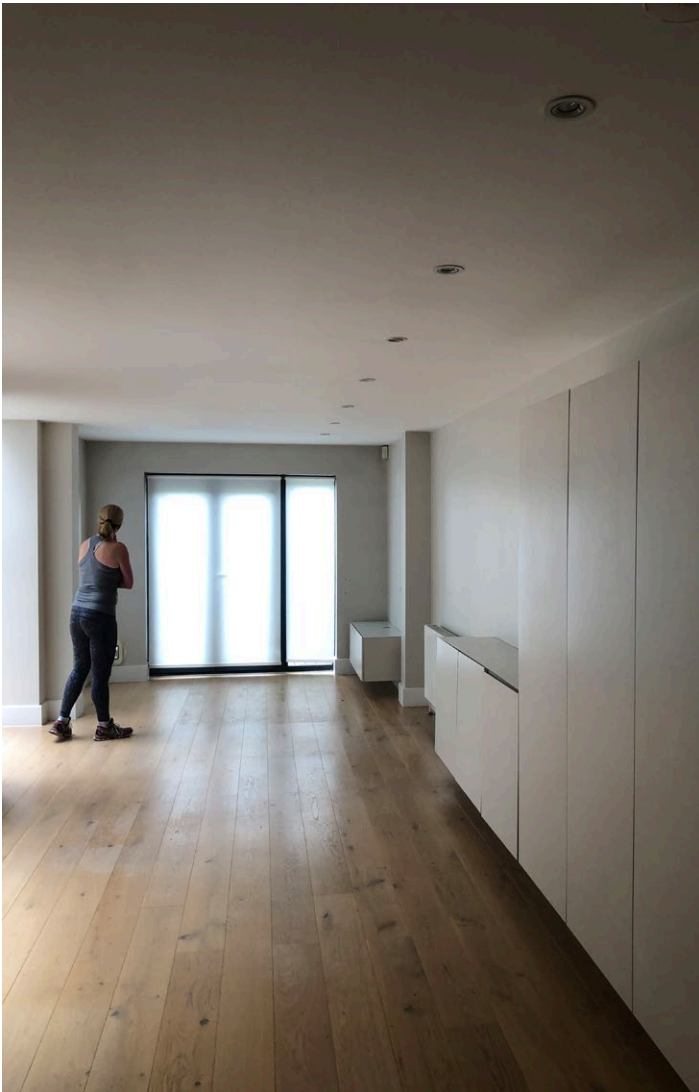


Rear view of the house from garden



Existing garden condition





View of existing living/dining area - looking towards the garden



View of existing kitchen - looking towards the garden

Existing Layout

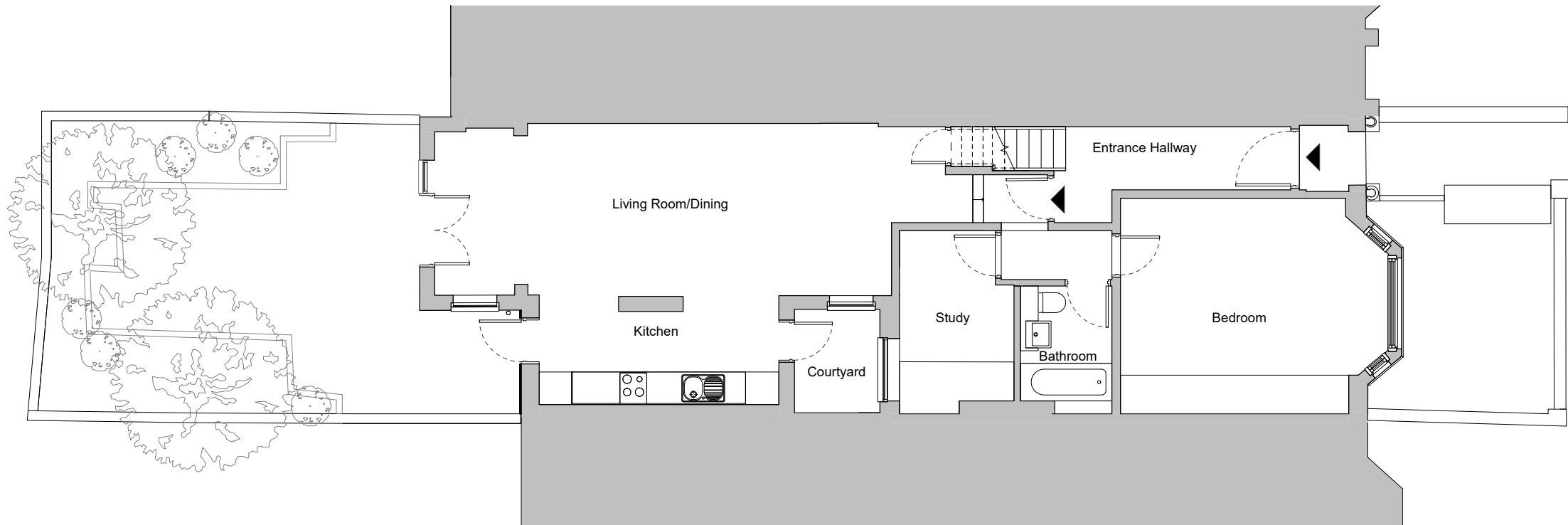
The existing side extension has a glazed sloping roof that brings light in from above, and currently houses a small kitchen.

Proposed Layout

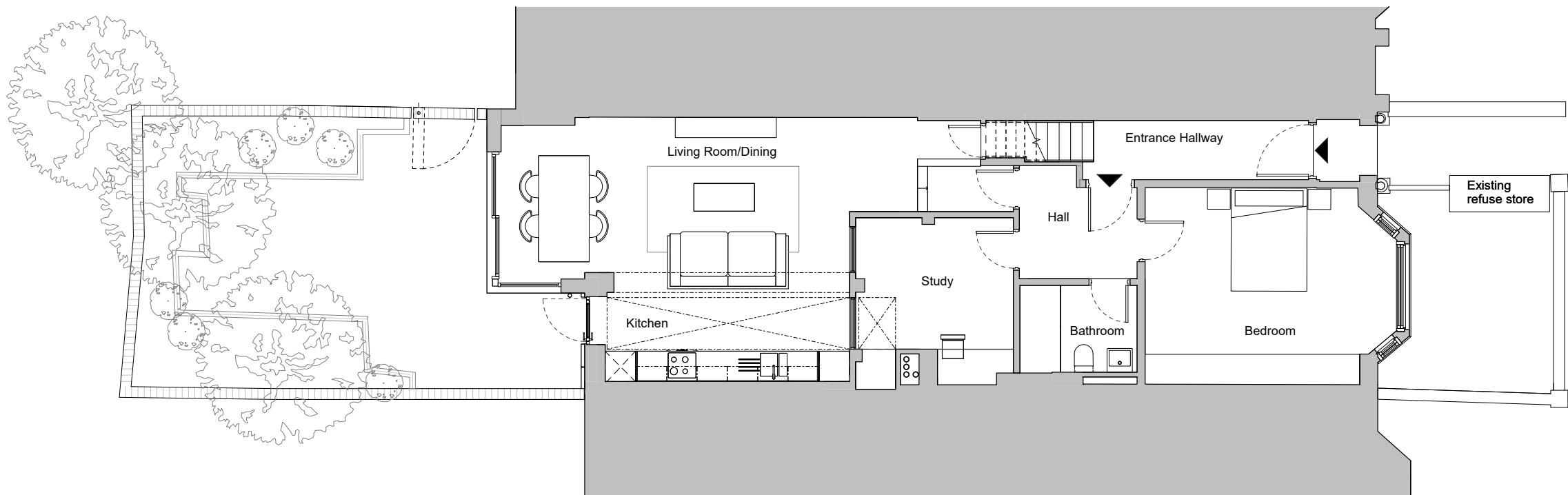
The proposal looks to reconstruct the existing single storey side extension at ground floor level. The side extension houses an enlarged kitchen, whilst internal modifications to some existing walls creates a more open plan and connected dining room/ living room and kitchen towards the rear of the flat. At the front of the dwelling, a bedroom, study and bathroom are accessed from the hallway.

The massing of the side extension ensures that the proposal remains subordinate to the host building in both height and scale, and is set back from the building, in accordance with the Camden Planning Guidance.

The proposed side extension sits in line with the adjacent side extension at 29 Estelle Road in order to minimise its impact on amenity space and overshadowing to the neighbouring property.



Existing Ground Floor



Proposed Ground Floor





Proposed view from the garden



Proposed view from kitchen

Appearance

The proposal seeks to open up the ground floor flat, creating a stronger visual and physical link with the garden. This is achieved through introducing sliding glass doors abutting a fixed corner window, which are intended to bring a large amount of natural light into the space. At present, the space is relatively dark, and the increase in natural light into the space will enable the inhabitants to enjoy full use of their living space, whilst enjoying better views to the garden. A fixed rooflight over the kitchen within the proposed side extension allows further light to enter deep into the plan.

A contemporary material palette and elegant detailing is intended to complement the original building, with dark grey metal standing seam cladding to the side extension and PPC aluminium frames to the proposed sliding and single doors, with a colour finish to match the metal cladding.

Scale

A precedent for side extensions has been set along Estelle Road.

The proposal is a single storey extension with a lean to fixed rooflight at the same height and angle as the existing, therefore having minimal impact on the amenity of the neighbouring property. Behind the metal cladding, the roof slopes from the original building towards the party wall, with a fall similar to fall of the extension roof at no.29. The proposal has been designed in order to reduce the impact of the proposed works on the neighbouring property, with a total height along the party wall of >2.7m from ground level.

Landscaping

The proposal seeks to improve the visual and spatial link between the internal and external spaces of the ground floor flat - heightened through the use of glazing. The proposal includes a pivot brick slips gate between the gardens of no.31-33 Estelle Road, which has been designed with regard to the existing garden walls and neighbouring houses. This will allow easy access between the gardens for the occupants, as both properties will be occupied by the applicant.

Vehicular and transport links

The proposal does not seek to alter existing transport arrangements.

Inclusive access

Access arrangements to the dwelling remain unchanged.

Waste Storage

There is an existing bin store that serves the flats of 31 Estelle Road. The necessary provision for waste storage remains unchanged as Flat A will remain a one bedroom flat.



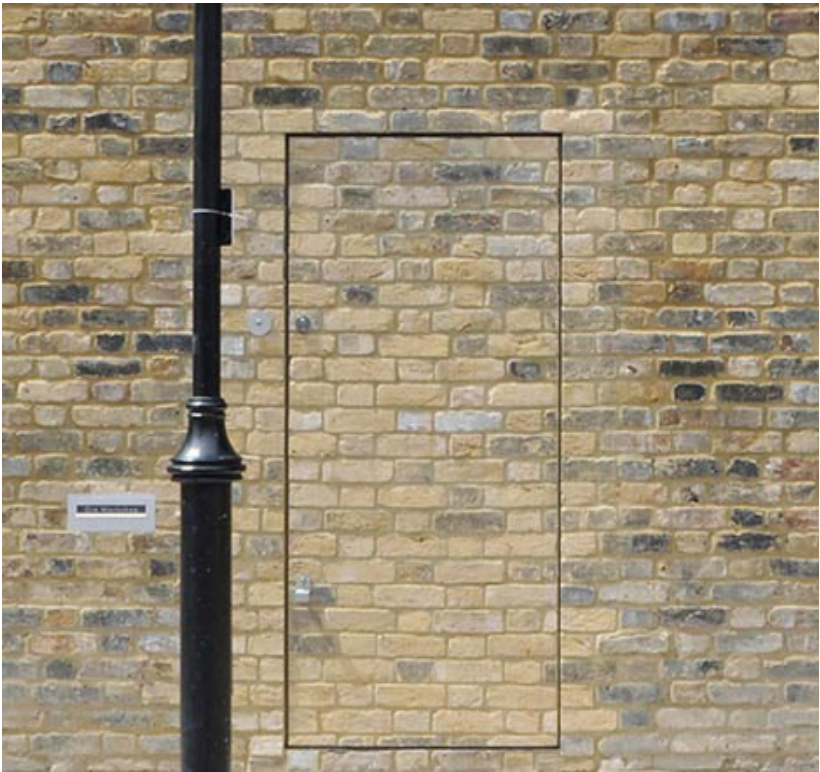
Proposed view of garden gate at 31 Estelle Road

Garden Wall Precedent

The garden gate is a key part of the proposal, as it allows to connect the two ground floor properties at no.31 and 33, both owned by the same person.

To minimize the impact of the new gate on the garden wall, we propose a single swing, brick slip clad gate with London stock brick similar to the existing. This will mean the gate remains largely concealed due to its proposed materiality.

An existing precedent of a similar approach (two images shown bottom left) is the street-facing garden wall gate at the Old Workshop, in north London by the Architect Jack Woolley.



Garden wall and gate at the Old Workshop, Jack Woolley

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