

NOTES:  
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- LEGEND:**
- Existing walls: [Solid grey line]
  - New walls: [Dashed grey line]
  - Demolition: [Red hatched pattern]
  - Demolished walls: [Red dashed line]
  - 7N dense blockwork: [Cross-hatched pattern]
  - Studwork: [Vertical line pattern]
  - Lightweight blockwork: [Horizontal line pattern]
  - Facing brickwork: [Diagonal line pattern]
  - FD30 - Fire Door with intumescent strip: [Red door symbol]
  - MCE - Means of Escape: [Green arrow symbol]
  - 30-minute Fire Protection: [Yellow dashed line]
  - 60-minute Fire Protection: [Blue dashed line]

PLANNING

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CLIENT **Dror**

PROJECT **29 Conway St  
 Fitzrovia  
 London W1T 6BW**

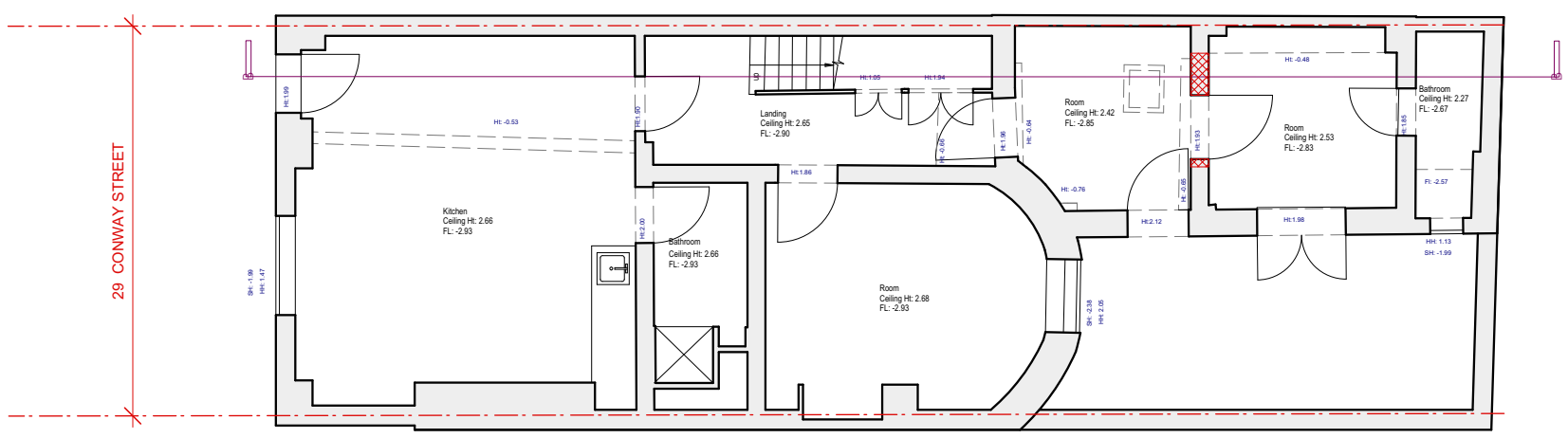
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SCALE **1:100@A3**

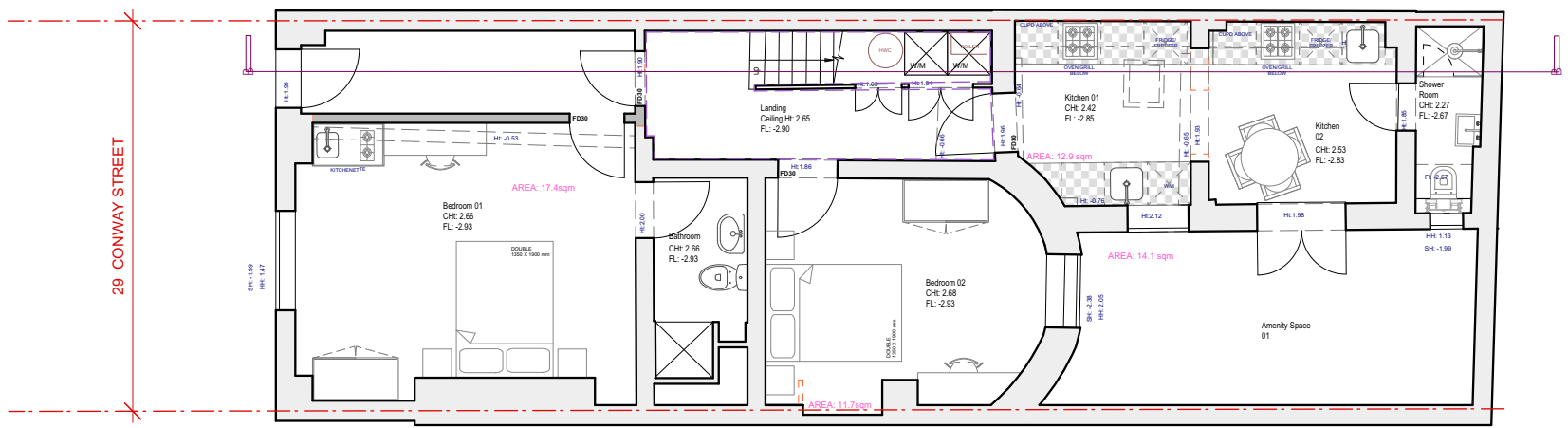
ISSUE **PLANNING**

TITLE **EXISTING AND PROPOSED  
 BASEMENT FLOOR**

JOB	DRAWING	REVISION
20321	PL-01	-

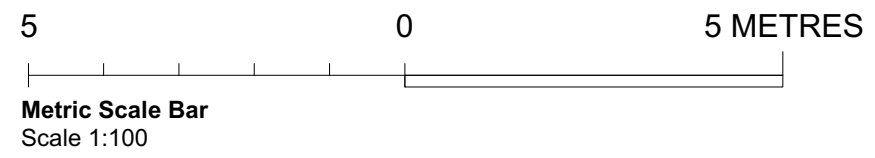


**Existing  
 Basement Floor**  
 Scale 1:100



**Proposed  
 Basement Floor**  
 Scale 1:100

TOTAL FLOOR GIA: 68 sqm



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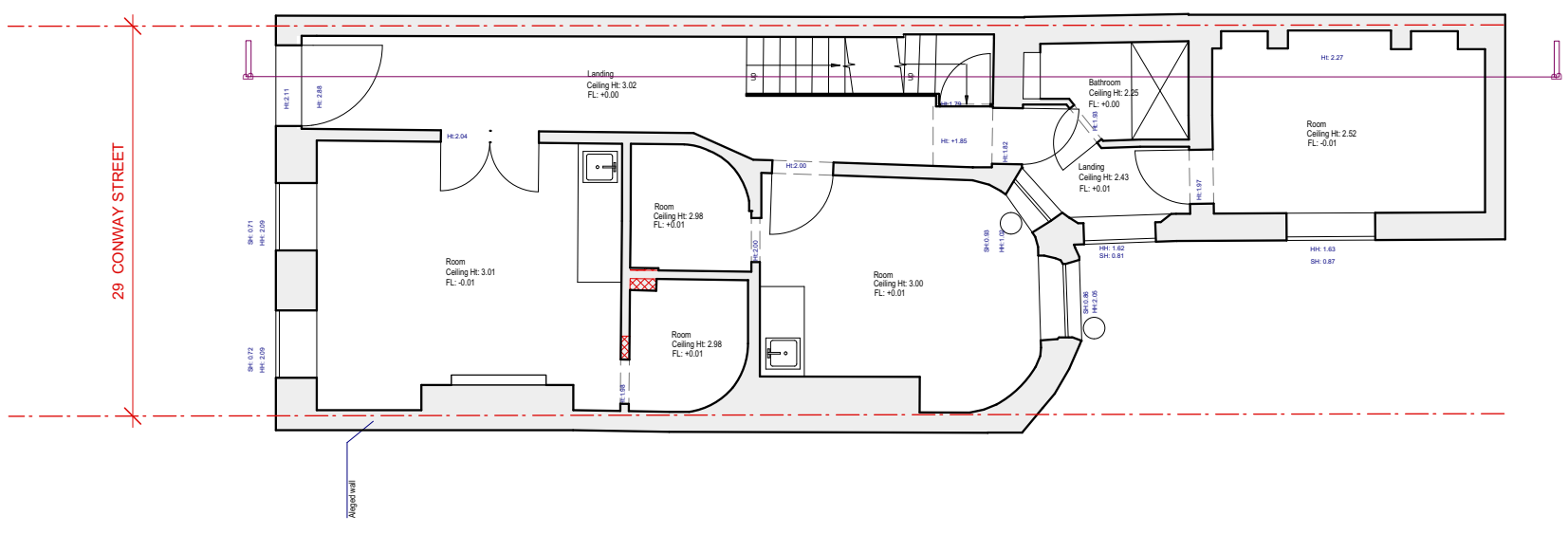
- LEGEND:**
- Existing walls: [Grey box]
  - New walls: [Light grey box]
  - Demolition: [Red hatched box]
  - Demolished walls: [Red dashed line]
  - 7N dense blockwork: [Cross-hatched box]
  - Studwork: [Vertical line hatched box]
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  - FD30 - Fire Door with intumescent strip: [Red door symbol]
  - MCE - Means of Escape: [Green arrow symbol]
  - 30-minute Fire Protection: [Yellow dashed line]
  - 60-minute Fire Protection: [Red dashed line]

PLANNING

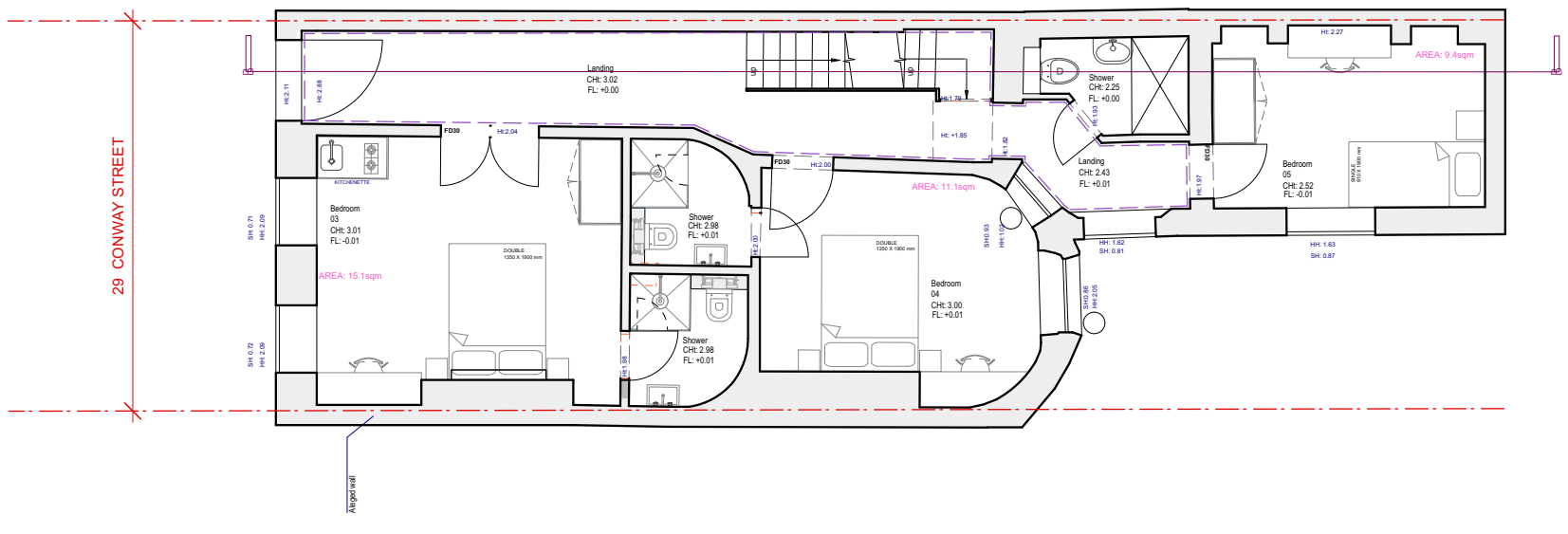
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CLIENT	Dror	
PROJECT	29 Conway St Fitzrovia London W1T 6BW	
DATE	09/07/20	
SCALE	1:100@A3	
ISSUE	PLANNING	
TITLE	EXISTING AND PROPOSED GROUND FLOOR	
JOB	DRAWING	REVISION
20321	PL-02	-

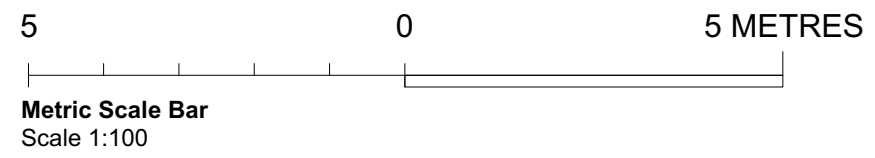


**Existing  
Ground Floor**  
Scale 1:100



**Proposed  
Ground Floor**  
Scale 1:100

TOTAL FLOOR GIA: 66 sqm



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  - 60-minute Fire Protection: [Red dashed line]

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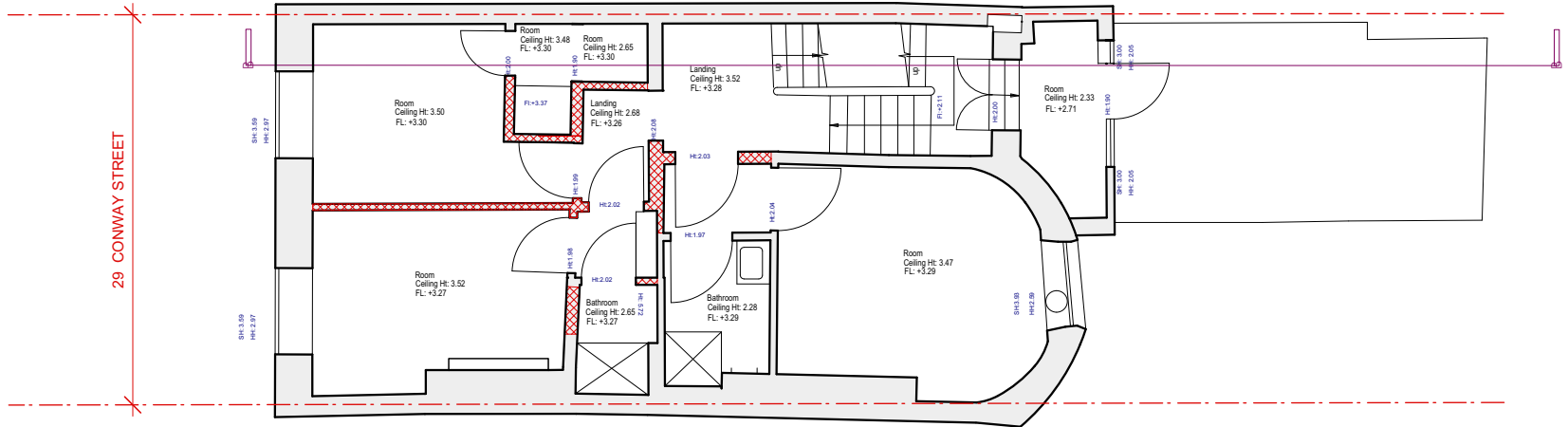
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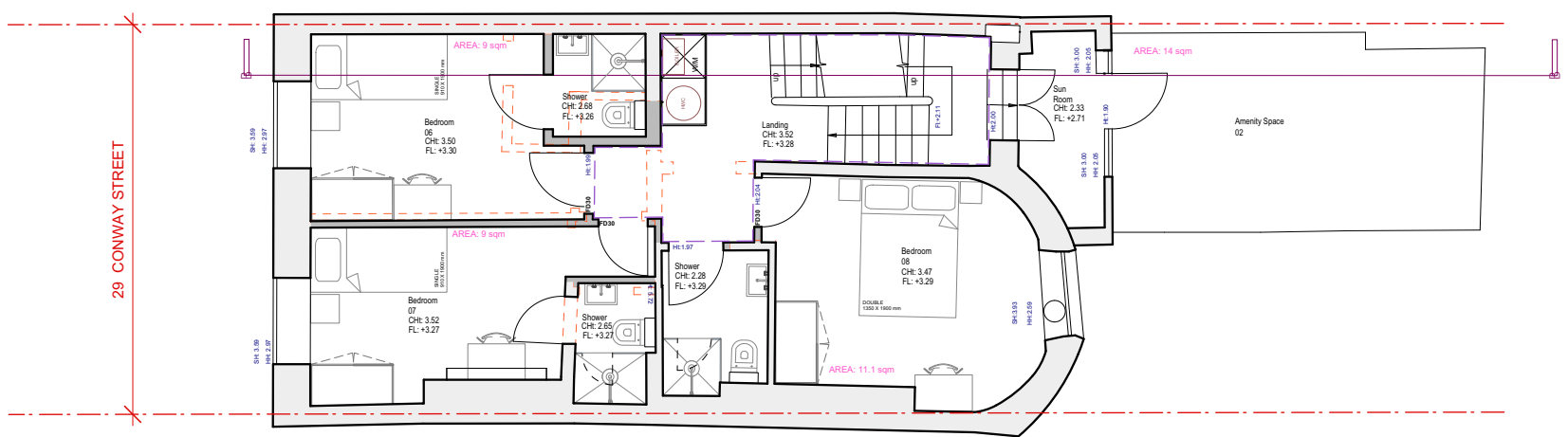
ISSUE **PLANNING**

TITLE **EXISTING AND PROPOSED  
 FIRST FLOOR**

JOB	DRAWING	REVISION
20321	PL-03	-

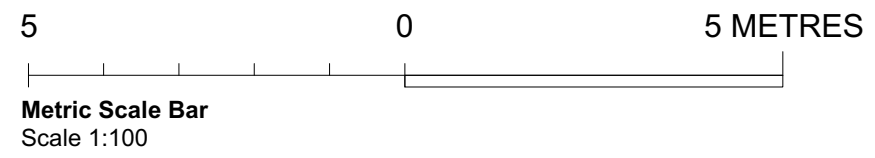


**Existing  
 First Floor  
 Scale 1:100**



**Proposed  
 First Floor  
 Scale 1:100**

TOTAL FLOOR GIA: 53 sqm



JOB 20321 DRAWING PL-03 REVISION -

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  - Studwork: [Vertical line pattern]
  - Lightweight blockwork: [Horizontal line pattern]
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  - FD30 - Fire Door with intumescent strip: [Red dashed line with 'FD30' label]
  - MCE - Means of Escape: [Green dashed line]
  - 30-minute Fire Protection: [Yellow dashed line]
  - 60-minute Fire Protection: [Blue dashed line]

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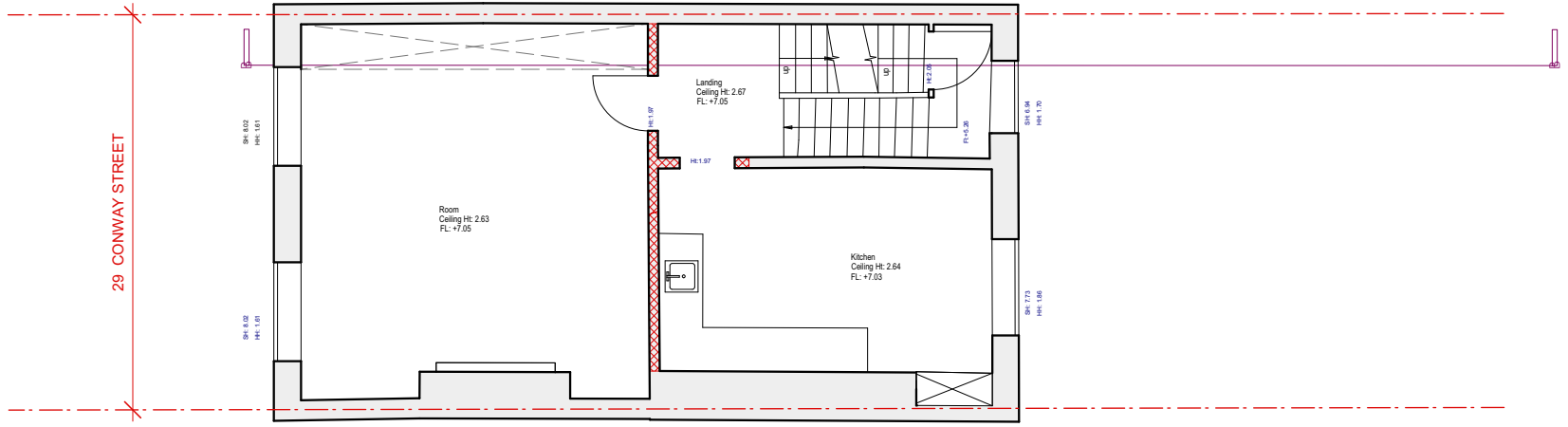
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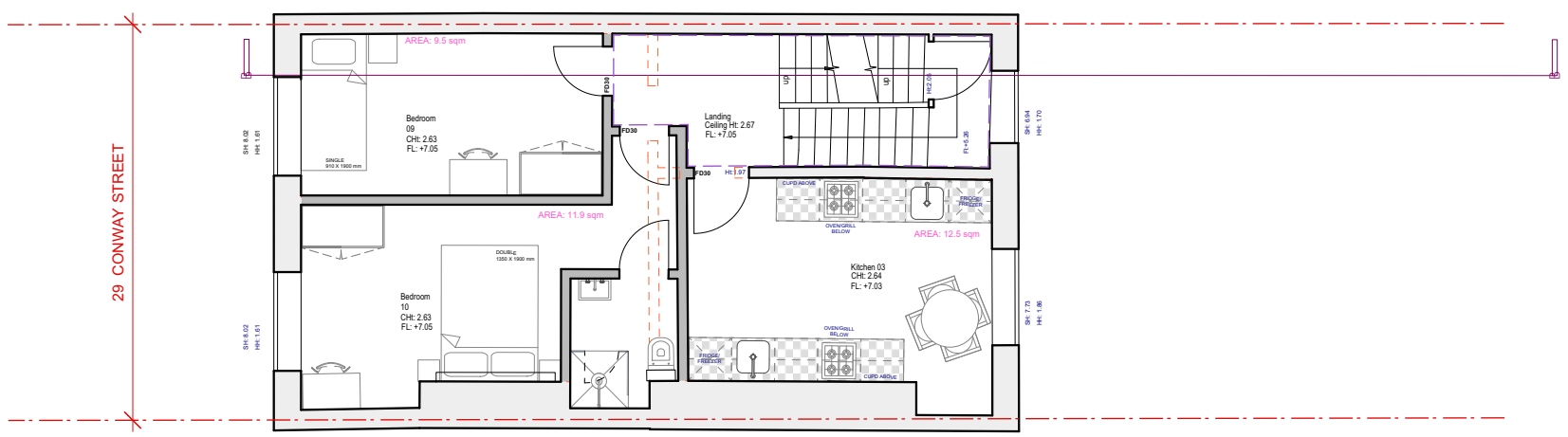
ISSUE **PLANNING**

TITLE **EXISTING AND PROPOSED  
 SECOND FLOOR**

JOB	DRAWING	REVISION
20321	PL-04	-

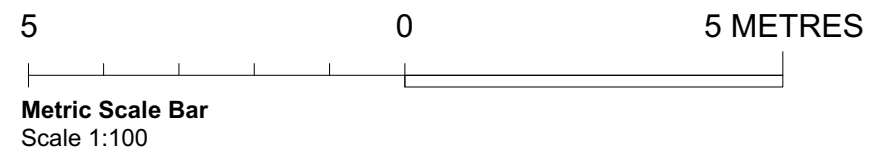


**Existing  
 Second Floor**  
 Scale 1:100



**Proposed  
 Second Floor**  
 Scale 1:100

TOTAL FLOOR GIA: 48 sqm



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  - New walls: [Dashed grey line]
  - Demolition: [Red hatched area]
  - Demolished walls: [Red dashed line]
  - 7N dense blockwork: [Cross-hatched area]
  - Studwork: [Vertical line hatched area]
  - Lightweight blockwork: [Horizontal line hatched area]
  - Facing brickwork: [Diagonal line hatched area]
  - FD30 - Fire Door with intumescent strip: [Red circle with 'FD30']
  - MCE - Means of Escape: [Green circle with 'MCE']
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  - 60-minute Fire Protection: [Red dashed line]

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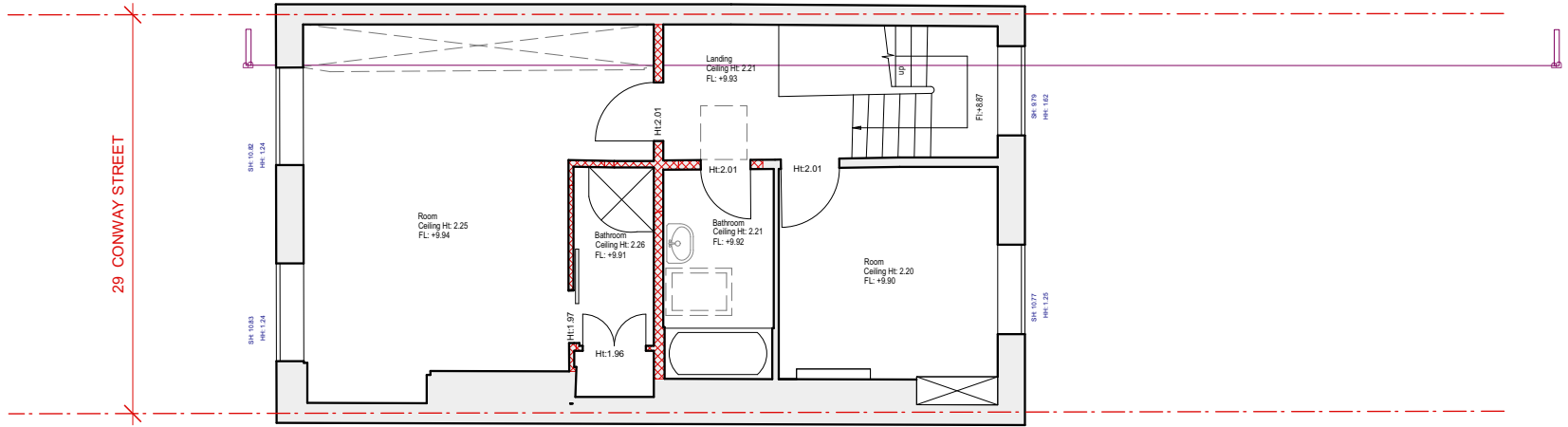
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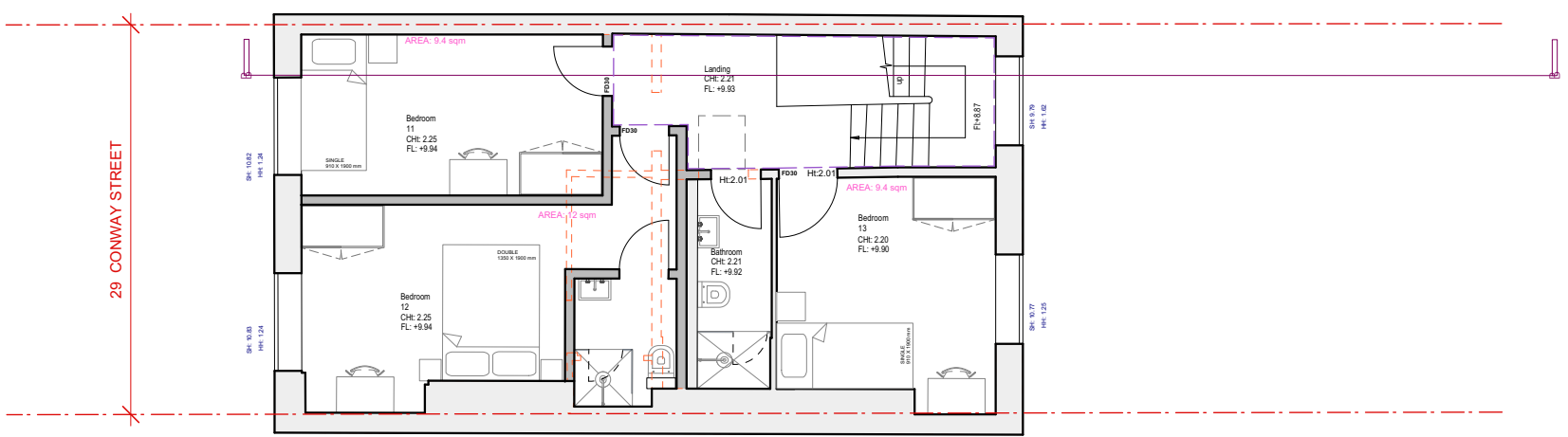
ISSUE **PLANNING**

TITLE **EXISTING AND PROPOSED  
 THIRD FLOOR**

JOB	DRAWING	REVISION
20321	PL-05	-

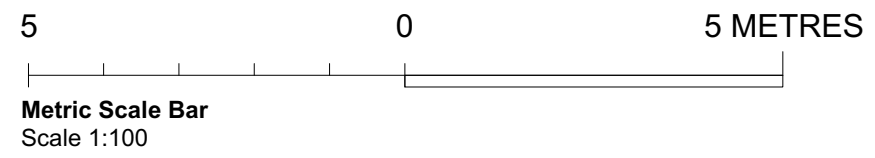


**Existing  
 Third Floor**  
 Scale 1:100



**Proposed  
 Third Floor**  
 Scale 1:100

TOTAL FLOOR GIA: 48.6 sqm

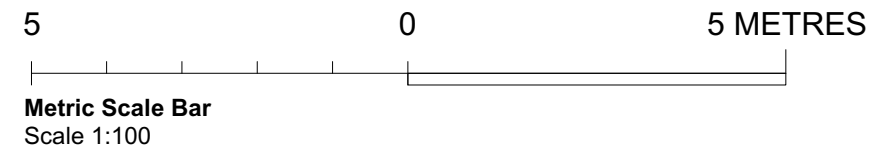




**Existing**  
**Front Elevation - NO PROPOSED AMENDMENTS**  
 Scale 1:100



**Proposed**  
**Front Elevation - NO PROPOSED AMENDMENTS**  
 Scale 1:100



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  - New walls: [White box]
  - Demolition: [Red cross-hatched box]
  - Demolished walls: [Red dashed line]
  - 7N dense blockwork: [Grey cross-hatched box]
  - Studwork: [White box with black border]
  - Lightweight blockwork: [Grey diagonal hatched box]
  - Facing brickwork: [Grey diagonal hatched box]
  - FD30 - Fire Door with intumescent strip: [Green box with black border]
  - MCE - Means of Escape: [Green box with black border]
  - 30-minute Fire Protection: [Yellow dashed line]
  - 60-minute Fire Protection: [Red dashed line]

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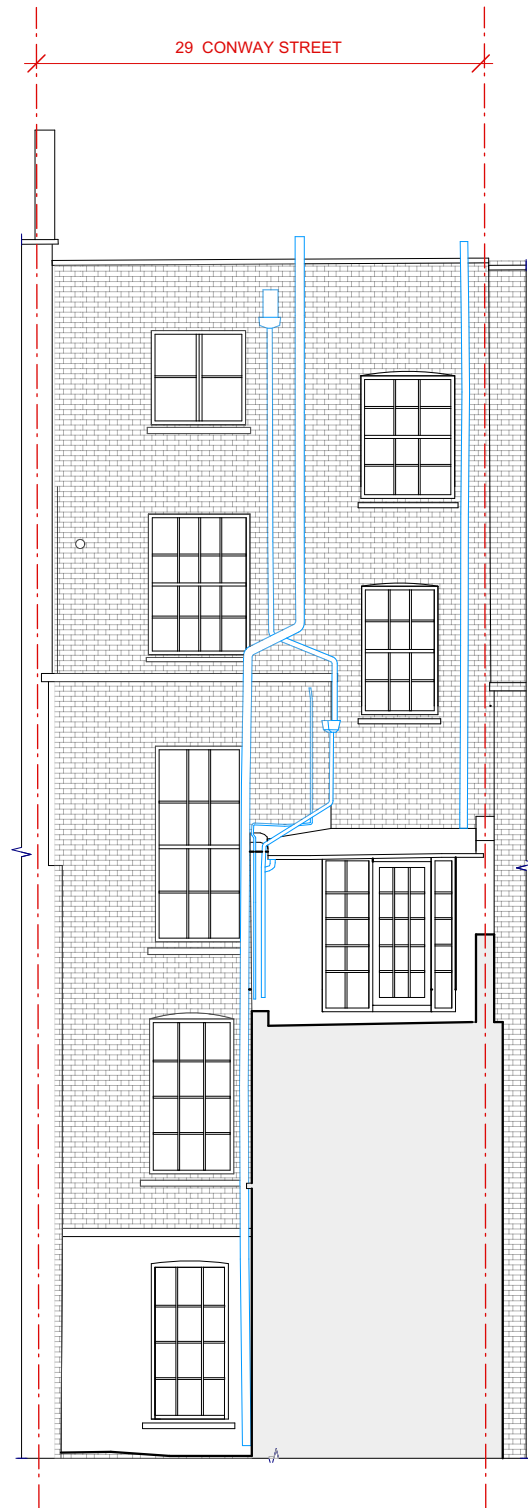
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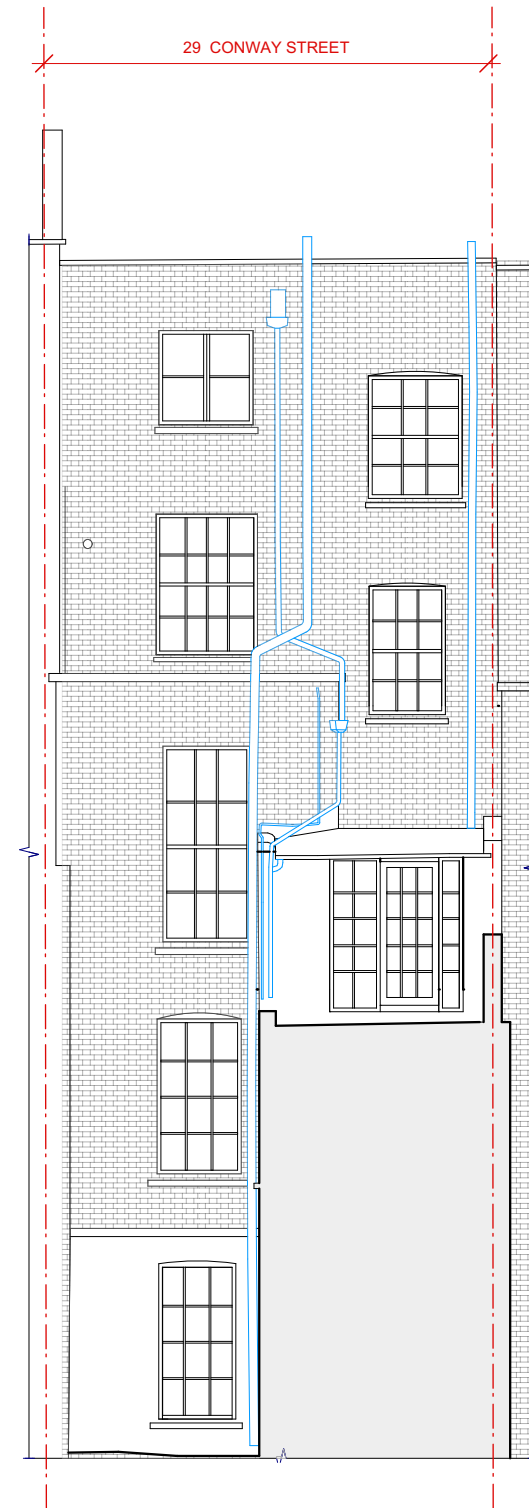
ISSUE PLANNING

TITLE EXISTING AND PROPOSED  
 FRONT ELEVATION

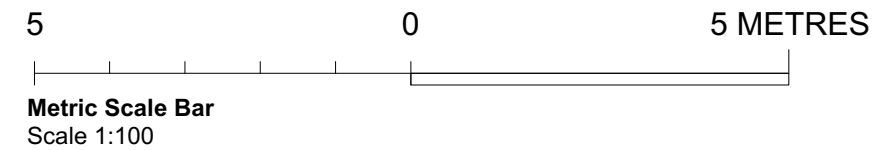
JOB	DRAWING	REVISION
20321	PL-06	-



**Existing**  
**Rear Elevation - NO PROPOSED AMENDMENTS**  
 Scale 1:100



**Proposed**  
**Rear Elevation - NO PROPOSED AMENDMENTS**  
 Scale 1:100



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PLANNING

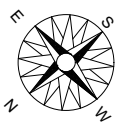
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DATE	09/07/20	
SCALE	1:100@A3	
ISSUE	PLANNING	
TITLE	EXISTING AND PROPOSED REAR ELEVATION	

JOB	DRAWING	REVISION
20321	PL-07	-

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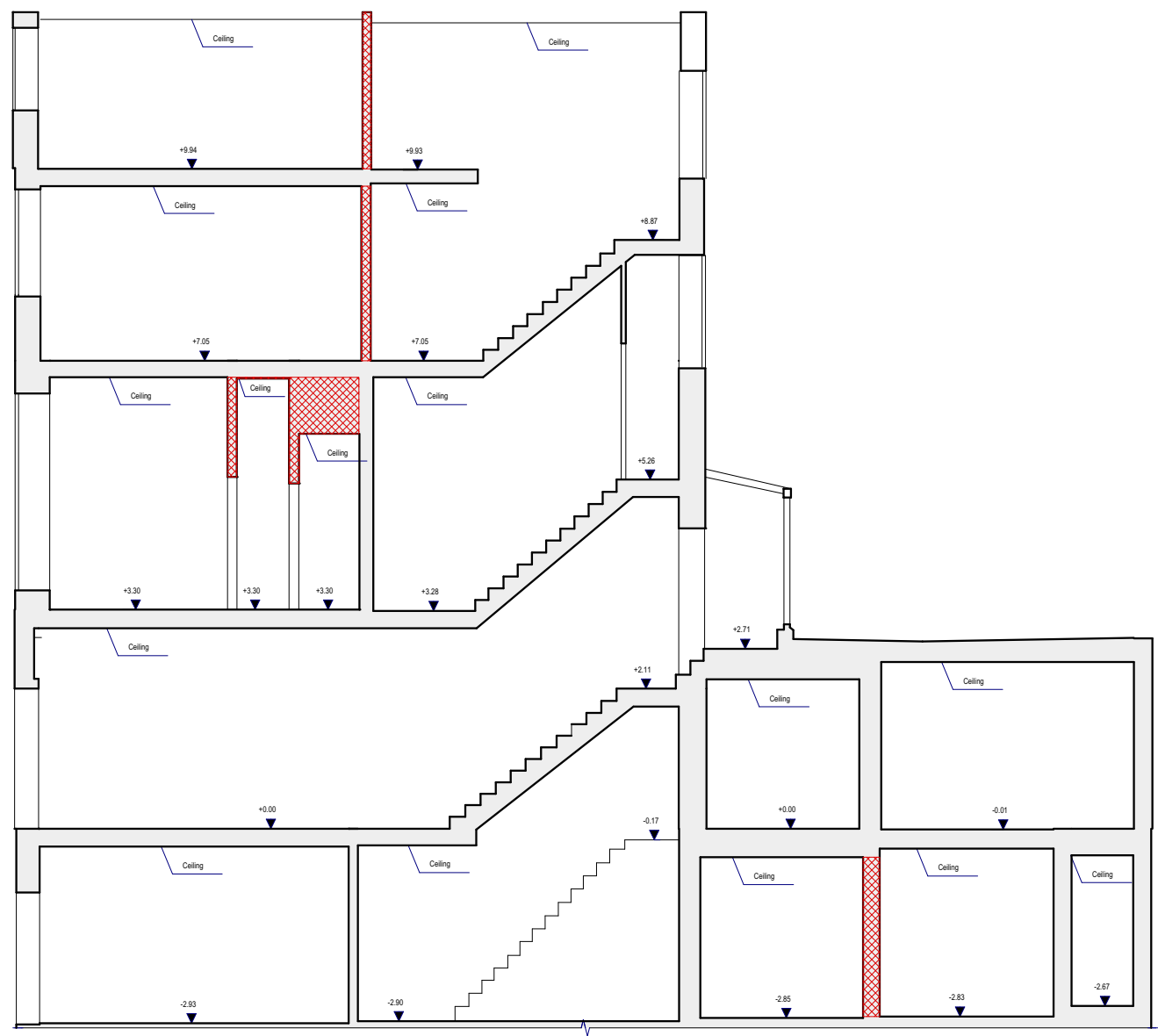
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  - Lightweight blockwork: [Horizontal line pattern]
  - Facing brickwork: [Brick pattern]
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PLANNING

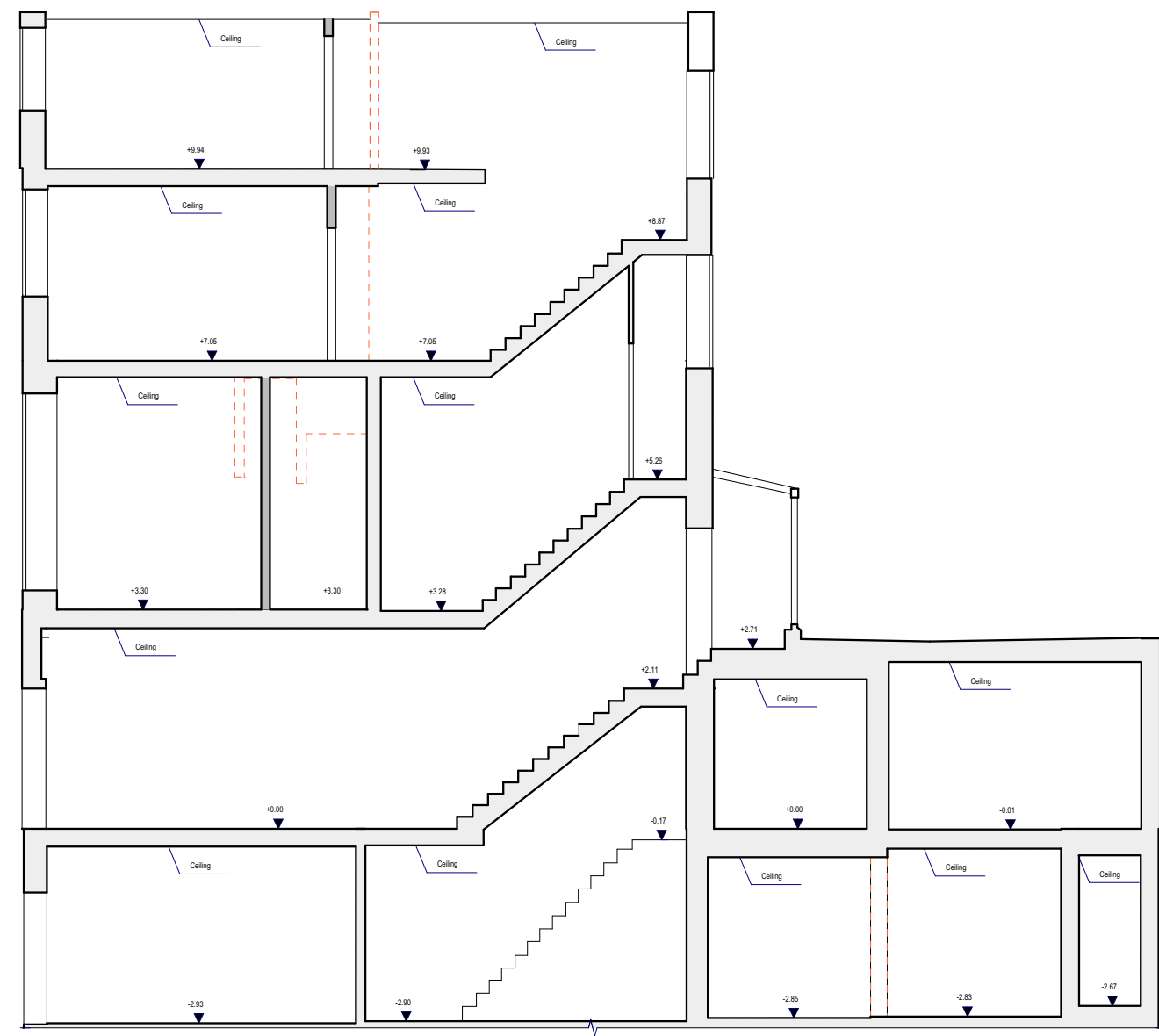
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PROJECT	29 Conway St Fitzrovia London W1T 6BW	
DATE	09/07/20	
SCALE	1:100@A3	
ISSUE	PLANNING	
TITLE	EXISTING AND PROPOSED SECTION A-A	
JOB	DRAWING	REVISION
20321	PL-08	-



**Existing Section A-A**  
 Scale 1:100



**Proposed Section A-A**  
 Scale 1:100

