

Project		4 John Street			
Title		Proposed temporary works to front elevation			
Project No	Sketch No	Prep. By	Date	Checked By	Date
11720	SK01	JWS	Feb 2020	DCA	

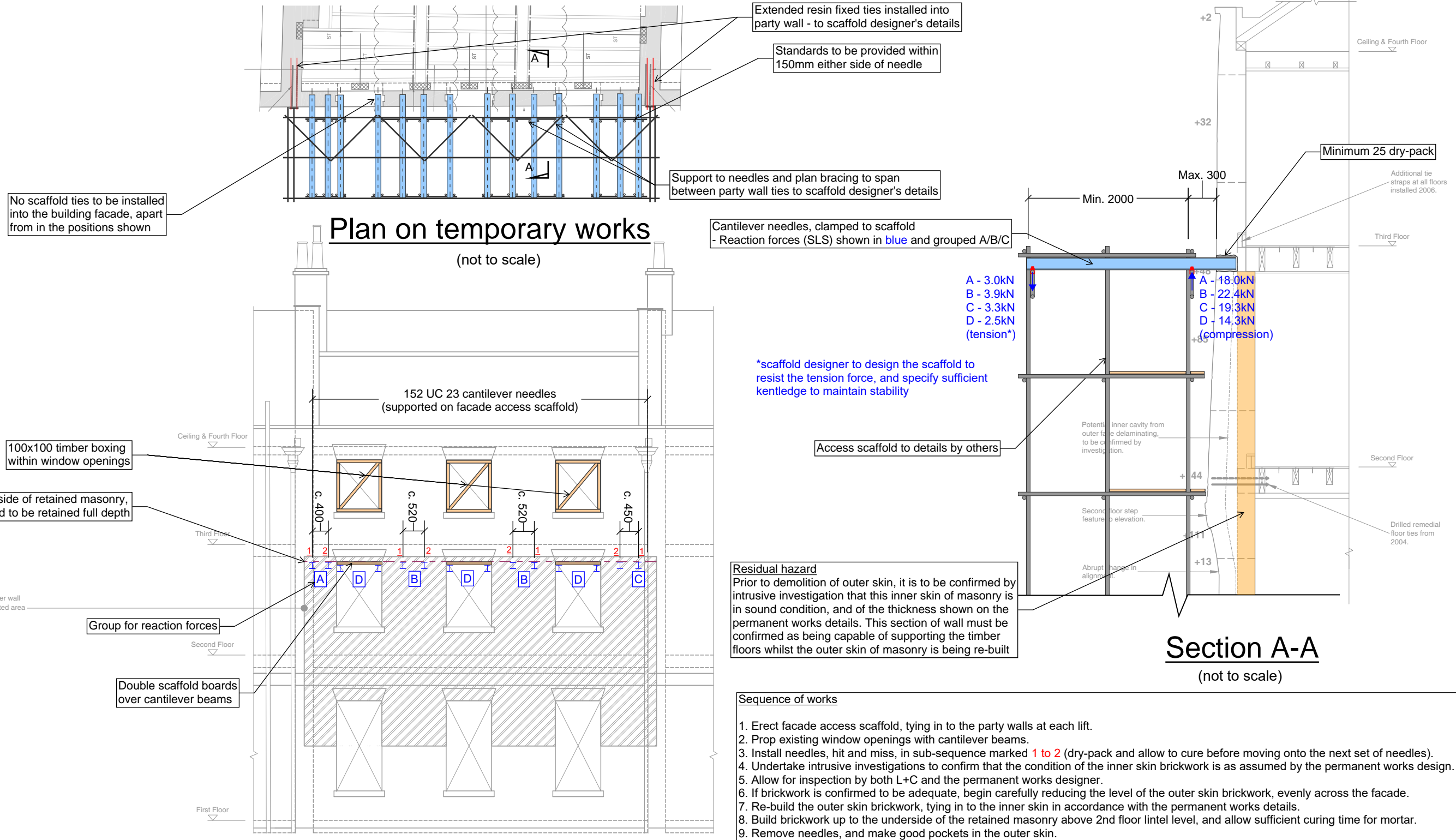
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Notes:

1. This drawing is not to scale. Do not scale from this drawing.
2. All temporary works are to be connected to each other and to the existing structure to prevent dislocation.
3. All proprietary temporary works are to be installed in accordance with the manufacturer's details.
4. All steelwork shall be min. grade S275
5. All bolts shall be min. grade 8.8
6. The contractor shall be responsible for ensuring that operations do not in any way impair the safety or condition of the existing structure. He shall provide any additional temporary supports required for this purpose and shall carefully inspect the condition of the structure both before and during the execution of the works.

Rev. A - Cantilever beam dimensions and resulting loads amended - 26/03/2020



Plan on temporary works
(not to scale)

Section A-A
(not to scale)

Front Elevation
(not to scale)

Residual hazard
Prior to demolition of outer skin, it is to be confirmed by intrusive investigation that this inner skin of masonry is in sound condition, and of the thickness shown on the permanent works details. This section of wall must be confirmed as being capable of supporting the timber floors whilst the outer skin of masonry is being re-built

- Sequence of works**
1. Erect facade access scaffold, tying in to the party walls at each lift.
 2. Prop existing window openings with cantilever beams.
 3. Install needles, hit and miss, in sub-sequence marked 1 to 2 (dry-pack and allow to cure before moving onto the next set of needles).
 4. Undertake intrusive investigations to confirm that the condition of the inner skin brickwork is as assumed by the permanent works design.
 5. Allow for inspection by both L+C and the permanent works designer.
 6. If brickwork is confirmed to be adequate, begin carefully reducing the level of the outer skin brickwork, evenly across the facade.
 7. Re-build the outer skin brickwork, tying in to the inner skin in accordance with the permanent works details.
 8. Build brickwork up to the underside of the retained masonry above 2nd floor lintel level, and allow sufficient curing time for mortar.
 9. Remove needles, and make good pockets in the outer skin.
 10. Remove propping within window openings.

Note: this design does not provide temporary support to the inner skin masonry, therefore any structural alterations to the inner skin, such as replacement of timber lintels, will require a separate temporary works scheme.