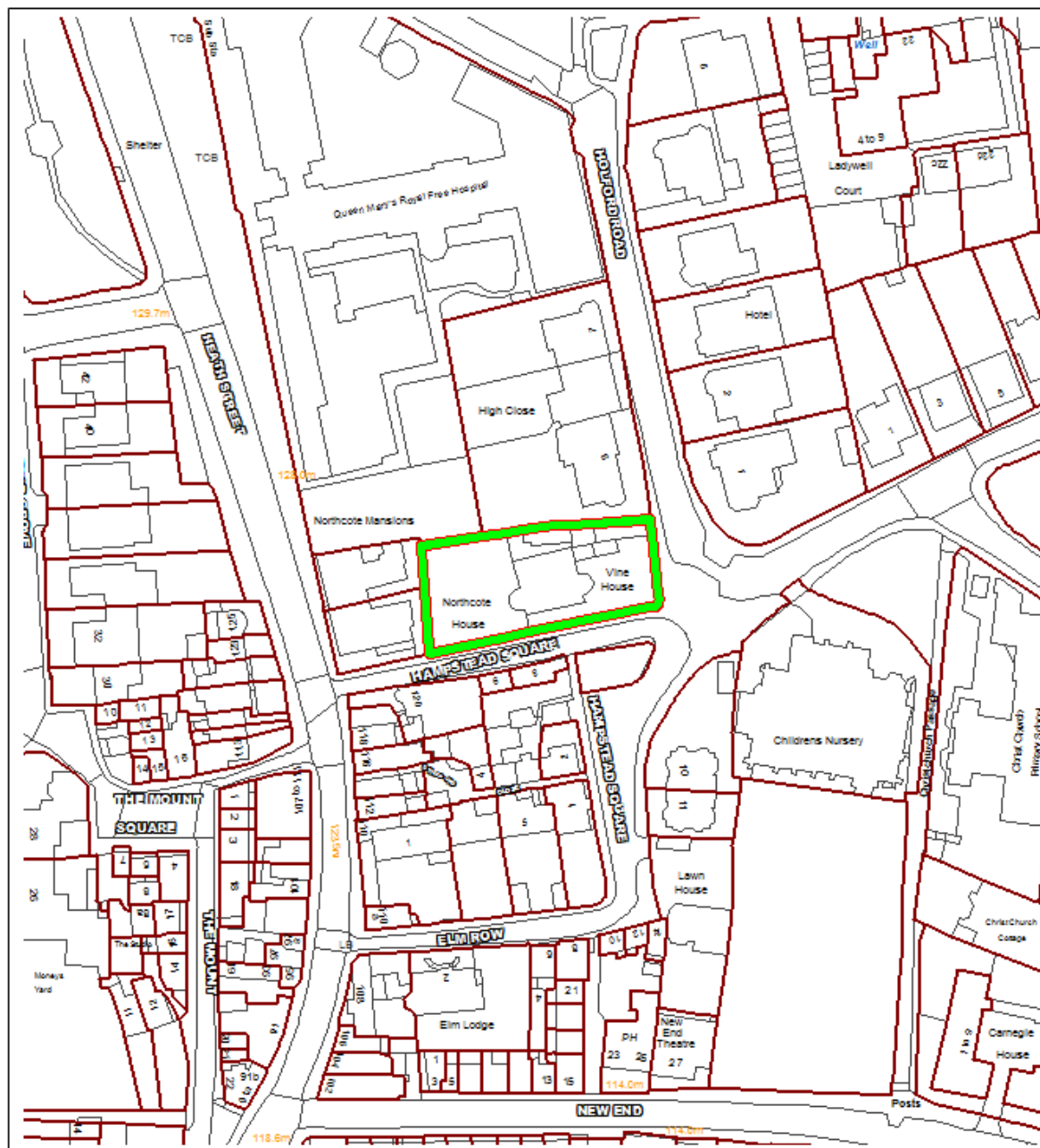


2020/0601/P and 2020/1005/L - Vine House, Hampstead Square



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Photograph 1 – birdseye view



Photograph 2 – front elevation

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	04/05/2020
		N/A		Consultation Expiry Date:	13/04/2020
Officer			Application Number(s)		
Rachel English			1. 2020/0601/P 2. 2020/1005/L		
Application Address			Drawing Numbers		
Vine House Hampstead Square London NW3 1AB			Please see decision notices		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
1. Excavation to extend the current basement to match footprint of ground floor. 2. Excavation to extend the current basement to match footprint of ground floor and associated internal alterations					
Recommendation(s) :		1. Grant conditional planning permission subject to a Section 106 Legal Agreement 2. Grant conditional listed building consent			
Application Type:		1. Householder Application 2. Listed Building Consent			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notices					
Informatives:						
Consultations						
Adjoining Occupiers:			No. of responses	00	No. of objections	00
			No. Electronic	00		
Summary of consultation responses:	Site notices displayed from 20/03/2020 until 13/04/2020 Press notice displayed from 19/03/2020 until 12/04/2020 No responses received					
CAAC/Local groups* comments: *Please Specify	<u>Hampstead Conservation Area Advisory Committee (HCAAC)</u> Object to the proposals on the following grounds:					
	1) The application description and drawings were misleading showing a new basement but in one case existing ground floor garden rooms which are to be demolished; no clear mention of the 2019 consent for the new extension.					
	<u>Officer response</u> <i>This is a standalone application for a new basement. The applicant got permission for a replacement garden house building adjoining the east of the house (ref 2019/3310/P) and can implement both permissions.</i>					
	2) The material drawings are actually those of the 2019 application showing a replacement garden room wider than the existing, with new envelope. Building on that consent awaits approval of the new basement in the 2020 scheme. Such approaches are becoming more common as residents seek to apply tactically for different parts of the same overall proposal. This to maximise permitted enlargement of property, perhaps being ‘careful’ about the intended implication of an innocent ground floor extension application.					
	<u>Officer response</u> <i>The approved garden room building adjoined to the east of the house (ref 2019/3310/P) is only marginally larger than the existing extension and is accessed through a reinstated doorway from the main house. Work has begun onsite to implement this permission.</i>					
	3) HCAAC is concerned that the proposed basement of length greatly in excess of the existing crosses the natural ground slope at an apparently critical point on one of Hampstead’s steepest slopes, threatening major diversion of groundwater. While the basement under the original house might be justifiable by policy albeit subject to fuller assessment, the added garden extension of same cannot be. There must be considerable ground water flow over this area, to be re-					

concentrated and diverted. AC wonders, as sometimes in such cases, whether the potential damage resulting from the basement extension is justified by the type of accommodation proposed. It seems the basement extension under the main house, if permitted, should cope with necessary accommodation.

Officer response

The proposed basement extension would be predominantly under the existing house footprint but extend to the east under the approved garden room building. This is not considered excessive or harmful to the setting or fabric of the Grade II listed building.

- 4) Campbell-Reith and Croft Engineers seem not to regard water damming as a risk, although Croft mentions this, merely accepting 'diversion' which we respectfully regard as stressful damming affecting the surrounding area. Note also the basement waterproofing and pumping concerns and arrangements. This aspect requires further and careful study. The ground slope seems to be regarded as 'gentle' and hardly impacting on the site area and surroundings. However, that slope, gentle or steep, has a long reach from the Whitestone Pond and increasing frequency of high rainfall regarded as inevitable must produce considerable stress downhill.

Officer response

A site investigation and two rounds of groundwater monitoring were carried out to inform the BIA. These identified no groundwater during drilling to a depth of 8m, with subsequent monitoring to 4.95m depth returning 'dry' conditions. Based on the maximum excavation depth of 3.5m for the basement development it is accepted that groundwater level and flow will not be impacted by the development.

- 5) Campbell-Reith say "It is accepted that the proposed basement will have no adverse impact on the wider hydrology or hydrogeology of the area. We believe this may be difficult to justify given the stated risk to stability of the Bagshot layer during any excavation for a basement as well as the location and basement orientation across what must be water-bearing ground."

Officer response

A revised BIA has been received which show temporary propping for the basement construction.

- 6) Crucially also, existing trees must be protected. We note the RPA proposals which must be carefully monitored and governed in construction of either proposal. We note proposed felling of the magnolia. If this cannot be avoided, please have the applicant plant a substantial replacement as suggested by the engineer in the 2019 application, possibly one with more water uptake than the existing magnolia.

Officer response – *The applicant intends to replace the magnolia in a location further from the house and a condition will be added to the decision requiring further details of the replacement trees to be submitted for approval.*

- 7) The application description – Excavation of a basement – under the footprint of the existing boiler house and conservatory; The application description doesn't say – a wider ground floor extension already consented in anticipation and apparent justification of a near-future basement application. The new basement slightly wider than the existing boiler house etc - with new envelope at the existing ground floor to cover, different from and slightly wider than existing.

Officer response

The approved garden room on the east side of the dwellinghouse was only a metre wider than the existing boot room and greenhouse and was fully assessed under planning application 2019/3109/P.

- 8) It cannot currently be confirmed that the proposal adheres to the requirements of the CPG Basements. The temporary works and construction sequence for underpinning in the boot room/greenhouse area requires clarification. Unless this refers to surrounding ground and boundary wall, this seems to be a misunderstanding, caused by the apparently calculated sequencing of the applications. Clearly the basement will be built first.

Officer response

Construction work has started on the garden room on the east side of the dwellinghouse.

- 9) It seems right for HCAAC to Object to the full basement proposed on the very steep slope. Were it to be consented, we would ask for considerable compensating measures for ground water management, such as secure culverting or similar.

Officer response:

A full site investigation and two rounds of groundwater monitoring were carried out to inform the BIA. These identified no groundwater during drilling to a depth of 8m, with subsequent monitoring to 4.95m depth returning 'dry' conditions. Based on the maximum excavation depth of 3.5m for the basement development it is accepted that groundwater level and flow will not be impacted by the development. This has been suitably addressed in the revised BIA submission and drawings, which show temporary propping arrangements for the basement construction. Further discussion can be found in section 3 below.

Hampstead Neighbourhood Forum
No response received

Historic England – GLAAS

No objection and make the following comments:

“Having considered the proposals with reference to information held in the Greater London Historic Environment Record and/or made available in connection with this application, I conclude that the proposal is unlikely to have a significant effect on heritage assets of archaeological interest.

The site lies within a tier 2 archaeological priority area, and the proposed works include excavation to increase the existing basement so that it covers the footprint of the existing ground floor. It is unlikely however that the proposed works would have a significant archaeological impact at this location. This is because the existing building will have already impacted the survival of any archaeological remains.

No further assessment or conditions are therefore necessary.”

Site Description

The application site contains a grade II listed dwellinghouse that was built in the early part of the 18th century and refaced in the late 19th century. It is a detached three storey house with five bays, constructed from yellow London stock bricks with red brick dressings and has a hipped slate roof. The site is located within the Hampstead Conservation Area.

The site is located within a CMP priority Area and the Hampstead Neighbourhood Plan Area. The site is located in an article 4 direction area for basement developments.

The site has underground development constraints of subterranean (groundwater) flow, surface water flow and flooding and slope stability and the site is located on Bagshot Beds.

Relevant History

2019/3310/P and 2019/3278/L - Removal of existing plant room and greenhouse and erection of replacement single storey garden house building. Replacement of existing window on west elevation with doors. Construction of bin store. Granted on 17/10/2019

2018/3506/P and 2018/4256/L- Erection of a two storey outbuilding to provide a garage and ancillary living accommodation, with a car port at the front, following the demolition of the existing outbuilding; and associated works. Granted on 27/09/2018

2015/4748/P and 2015/5275/L - Erection of a two storey outbuilding to provide a garage and office at ground level and living accommodation at first floor level, with a car port at the front, following the demolition of the existing outbuilding; and associated works. Granted on 21/12/2015

Relevant policies

National Planning Policy Framework 2019

London Plan 2016

Intend to Publish London Plan 2019

Camden Local Plan 2017

Policies:

G1 Delivery and location of growth

A1 Managing the impact of development

A2 Open space

A3 Biodiversity

A4 Noise and vibration

A5 Basements and Lightwells

D1 Design

D2 Heritage

CC1 Climate change mitigation

CC2 Adapting to climate change

CC3 Water and flooding

T1 Prioritising walking, cycling and public transport

T2 Parking and car-free development

T3 Transport Infrastructure

T4 Sustainable movement of goods and materials

DM1 Delivery and Monitoring

Camden Planning Guidance
CPG Design (2019)
CPG Altering and extending your home (2019)
CPG Energy efficiency and adaptation (2019)
CPG Basements (2018)
CPG Amenity (2018)
CPG Transport 2019
CPG Water and flooding (2019)
CPG Developer Contributions (2019)
CPG Biodiversity (2018)

Hampstead Conservation Area Statement 2001

Hampstead Neighbourhood Plan 2018

Policies:

DH1 Design

DH2 Conservation areas and listed buildings

NE2 Trees

BA1 Basement Impact Assessments

BA2 Basement Construction Plan

BA3 Construction Management Plan

TT1 Traffic volumes and vehicle size

TT2 Pedestrian environments

TT3 Public transport

TT4 Cycle and car ownership

Assessment

1.0 Proposal

1.1 Planning permission is sought for the excavation of a basement extension which would be to a maximum depth of 3.5m. The dwellinghouse has an existing basement used for storage which covers 28sqm. The extended basement would have a footprint of 155sqm. The existing staircase would be used for access and the basement would extend the existing cellar across the footprint of the house plus the small section, adjoined at the east of the house, which widens the garden room approved in 2019 (refs 2019/3310/P and 2019/3278/L). The garden room replaced a boot room and greenhouse which had an existing semi-basement to house the boiler for the main house. Works have started to implement this permission. There would be no external manifestations such as lightwells, as a result of the proposals. During the course of the application, the plans have been revised to clarify the ceiling height of the new basement extension and detailing how the chimney stack above the playroom will be supported.

1.2 This application is assessed in terms of the impact of the basement excavation on:

- the listed building and surrounding Conservation Area;
- the structural, ground and water conditions of the area and impact on neighbouring properties
- the amenity of surrounding residential occupiers;
- construction management
- existing trees

2.0 Design and impact on host listed building and surrounding Hampstead Conservation Area.

2.1 Policy D2 (Heritage) states that the Council will preserve, and where appropriate, enhance Camden's rich and diverse heritage assets and their setting, including listed buildings. The same policy states the Council will resist proposals for alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building. Policy D2 Heritage also states the Council will require the development within conservation areas preserves, or where possible, enhances the character or appearance of the area. The Council's design policies are aimed at achieving the highest standard of design in all developments, including where alterations and extensions are proposed. Policy D1 requires extensions to consider the character, setting, context and the form and scale of neighbouring buildings; and the character and proportions of the existing building.

2.2 Section 16, and 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 ("the Listed Buildings Act") are also relevant. These sections impose a statutory duty on the planning authority to consider the impact of proposals upon listed buildings and their setting. In considering whether to grant listed building consent for any works the local planning authority must have special regard to the desirability of preserving the building, its setting or any features of special architectural or historic interest which it possess.

2.3 Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 is also relevant. This section places a general duty on the planning authority that special attention shall be paid to the desirability of preserving or enhancing the character and appearance of that area.

2.4 The effect of these sections of the Act is that there is a statutory presumption in favour of the preservation of listed buildings, their setting and conservation areas. Considerable importance and weight should be attached to their preservation.

2.5 There are no objections to the excavation of a basement extension in principal. The current basement is accessed via a small staircase that leads from the rear of the ground floor. The basement has a very small footprint containing just one small room towards the front of the house. The proposals retain the existing staircase and the size of the basement is increased to occupy the entire footprint of the building. The existing small room is retained and a small door is inserted leading to a play room and glazed doors inserted to provide access to a gym and a wine room.

2.6 As the plan form of the existing basement is retained and the basement does not exceed the footprint of the building, save for a very small increase to the east where the garden room above will be located, the proposed basement would not harm the special interest of the building. The proposed floor to ceiling height does not disrupt the hierarchy of the building whereby the basement level is traditionally of a subordinate height to the upper floors. Further details of how the chimney stack above the playroom will be supported have been submitted showing steel works to support the chimney.

2.7 The proposals would not be manifested externally therefore would have no impact on the character and appearance of the Conservation Area. The proposed works would not harm the fabric or setting of the Grade II listed building. As such the proposals are considered to comply with the aims of policies D1 and D2 of the Camden Local Plan, along with policies DH1 and DH2 of the Hampstead Neighbourhood Plan.

3.0 Basements

3.1 Policy A5 of the Camden Local Plan requires applicants to consider the impact of the proposals on local drainage and flooding and the potential effects on neighbouring properties including on groundwater conditions and ground movement. Camden Planning Guidance (Basements) is a material consideration in planning decisions. The Council seeks to ensure that basement developments do not cause harm to: - neighbouring properties; - the structural, ground, or water conditions of the area; - the character and amenity of the area; and - the architectural character and heritage significance of the building and area. Applicants are required to demonstrate with methodologies appropriate to the site that schemes maintain the structural stability of the building and neighbouring properties; avoid adversely affecting drainage and runoff or causing other damage to the water environment; and avoid cumulative impact upon structural stability or water environment in the local area.

3.2 The Hampstead Neighbourhood Plan seeks to ensure that basements in Hampstead fully identify the risks and the damage is fully mitigated. Policy BA1 seeks to ensure that for developments that go beyond the screening stage, attentions should be given to additional steps (a-i) such as an assessment that demonstrates the predicted Burland Scale at the time of construction phase is no more than Burland Scale 1. It also specifies that boreholes measurements may need to be conducted in periods of contrasting rainfall and over a period of several months covering wet and dry seasons.

3.3 The basement involves the excavation of no more than 4metres in height. Paragraph 6.117 of the Camden Local Plan states that “In order to provide the Council with greater certainty over the potential impacts of proposed basement development, we will generally expect an independent verification of Basement Impact Assessments funded by the applicant”. This application requires independent verification as the scheme proceeds beyond the screening stage of Basement Impact Assessment and the proposed basement development is located within an area of concern regarding slope stability, surface water or groundwater flow. The BIA has been independently audited by Campbell Reith. Further information was requested by Campbell Reith as to the impact of removing trees, the supporting data for the ground movement assessment, temporary works and construction sequence and damage assessment for the Grade II listed building.

3.4 The applicant then duly submitted this additional information. The Audit Report dated 05/06/2020, issued by Campbell Reith, confirms that based on the revised submission, the proposal adheres to the requirements of the CPG (Basements). The Basement Impact Assessment (BIA) has been carried out in two parts; the hydrogeology, land stability and ground movement assessments were undertaken by Maund Geo-Consulting and the hydrology assessment and structural appraisal were undertaken by Croft Structural Engineers. The individuals who completed each part of the BIA are considered to hold suitable qualifications as required by CPG.

3.5 A site investigation was carried out at the site and is presented in the Maund BIA. It found that ground conditions comprise Made Ground to a maximum depth of 2.10m, below which lies Bagshot Formation to at least 8m depth. The site is underlain by a Secondary A Aquifer within the Bagshot Formation soils. Groundwater was not encountered during the site investigation, or either of the two monitoring visits in a standpipe installed to 5m below ground level. As such Campbell Reith accept that the proposed basement will not adversely impact the hydrogeology of the area.

3.6 The site is identified as being in a critical drainage area and a Flood Risk Assessment (FRA) has been undertaken. The FRA identifies a low to negligible risk of flooding at the property from rivers and seas, or from surface water. The building will be formed within the footprint of the existing and consented building, therefore Campbell Reith have concluded that the development would not have any impact on the existing drainage network consequently will have no adverse impact on the hydrology of the area.

3.7 The revised BIA submission assesses ground movement impacting the nearest neighbouring property as well as the host property itself, due to the Grade II listed status of the building. The damage category assessment presented in Section 11 confirms damage no greater than Category 1 (Very Slight). Revised drawings have been submitted which demonstrate a temporary works sequence for the basement under the main house which involves the use of trench sheeting to support excavation sides and propping the underpins against a central mound of soil as they are excavated. The garden room on the east side of the property is too narrow for a sufficient soil mound to be retained to prop against, therefore the excavation of the basement in this area will be undertaken in full width bays with sacrificial trench sheeting and propping used to ensure stability.

3.8 Campbell Reith have concluded that the surrounding slopes to the development site are stable and that the proposed basement will have no adverse impact on the wider hydrology or hydrogeology of the area nor the structural stability of the host or neighbouring buildings.

3.9 The proposed basement would comply with the criteria f-m of policy A5 in terms of not comprising more than one storey and not being built beneath an existing basement and not extending into the garden as well as being located away from neighbouring property boundaries.

3.10 The proposals are considered to comply with the aims of policy A5 of the Local Plan as well as policy BA1 of the Hampstead Neighbourhood Plan.

4.0 Construction Management

4.1 Policy A1 of the Camden Local Plan resists developments that fail to adequately assess and address the transport impacts affecting neighbours and the existing transport network. Policy BA3 of the Hampstead Neighbourhood Plan says that due to the dense residential streets of Hampstead, the construction of basements has a considerable impact on local residents. The policy says that "Proposals for basement development should be accompanied by a Construction Management Plan which includes adequate information to assess the impact of the construction phase, should the proposal be approved."

4.2 Paragraph 6.13 of the Camden Local Plan highlights when a Construction Management Plan (CMP) would be sought. As the dwellinghouse is listed, together with the proposed excavation of a basement and narrow surrounding streets and the proximity to schools, would make construction of the proposals complex. As a result a Construction Management Plan is submitted. A draft CMP has been submitted which is in accordance with the Council's standard proforma and indicates the likely delivery routes for construction vehicles. This would need to be secured via S106 legal agreement in order to minimize the impact on the highway infrastructure and neighbouring community. We would seek to secure a CMP implementation support contribution of £3,136 and a Construction Impact Bond of £7,500 as section 106 planning obligations in accordance with Policy A1. As per the requirements of policy BA3 of the Hampstead Neighbourhood Plan, the CMP should include information on how the disturbance arising from construction and demolition such as noise, vibration and dust will be kept to acceptable levels and how traffic and construction activity will be managed to protect the amenity of local residents and safety of pedestrians, cyclists and other road users. Within the BIA audit, Campbell Reith do not consider that a Basement Construction Plan is required for this scheme.

4.2 The footway directly adjacent to the site on Holford Road is likely to sustain damage because of the proposed basement excavation. The Council would need to undertake remedial works to repair any such damage following completion of the proposed development. A highways contribution would need to be secured as a section 106 planning obligation. This would allow the Council to repave the footway and repair any other damage to the public highway in the general vicinity of the site. The highway works

would be implemented by the Council's highways contractor on completion of the development. A cost estimate for the highway works has been requested from Council's Transport Design Team.

4.3 An Approval in Principle (AIP) is not considered necessary for this development as the basement excavation would not be close to the public highway.

5.0 Existing trees

5.1 The previously approved scheme for the garden room on the eastern side of the house involved the removal of T1 (a category C tree) which is an evergreen Magnolia tree that is causing structural damage and T10 and T11 (two category U cherry trees). All three trees were not considered to significantly contribute to the character of the conservation area and are proposed for removal irrespective of development. The loss of amenity and canopy cover they provided were mitigated against through replacement planting and a condition was added to the decision notice for three replacement trees.

5.2 For this application, an addendum Tree report has been submitted. Development is not proposed within the root protection areas of trees that are proposed to be retained. The tree protection plan and arboricultural method statement are considered sufficient to demonstrate that the trees to be retained will be adequately protected throughout development aside from the conveyor belt proposals. The tree protection plan states that the belt can be moved south away from nearby trees but also refers to pruning that may be required if it conflicts with the crowns T4 and T6 but it is not specific and therefore unenforceable. The trees in this location are highly visible from the public realm and contribute to the character and appearance of this part of the conservation area. As such a more detailed pruning specification is required to ensure the trees are not adversely affected. A condition would be required for submission of details of the pruning requirements to be submitted and approved.

6.0 Conclusion and recommendations

6.1 The following section 106 planning obligations would be required.

- Construction Management Plan and associated Implementation Support Contribution of £3,136
- Construction Impact Bond of £7,500
- Highways contribution – to be determined

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 6th July 2020, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2020/0601/P
Contact:
Tel: 020 7974
Date: 30 June 2020

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk/planning

Mrs Julia Gosman
38 Well Walk
Hampstead
London
NW3 1BX

Dear Sir/Madam

DRAFT
FOR INFORMATION ONLY - THIS IS NOT A FORMAL DECISION
Town and Country Planning Act 1990 (as amended)

DECISION SUBJECT TO A SECTION 106 LEGAL AGREEMENT

Address:
Vine House
Hampstead Square
London
NW3 1AB

Proposal:

Excavation to extend the current basement to match footprint of ground floor.

Drawing Nos: Site location plan, 13441-S001, 13441-S002, 13441-P009-E

Heritage Statement (DOCUMENT REF:0347) dated January 2020, Design and Access Statement, Arboricultural Report dated 18th December 2019, Flood Risk Assessment Job Number: 191025 dated 12.12.2019, Maund Geo-Consulting Hydrogeology, Land Stability and Ground Movement Assessment 27th May 2020, Risk Assessment – Dust & Emissions, Outline Construction Programme, Archaeological Desk-based Assessment (GLHER Ref. 15477), draft Construction Management Plan, Croft Engineers Surface Water BIA & Engineering Design and Construction Proposals dated 11.12.2019

The Council has considered your application and decided to grant permission subject to the conditions and informatives (if applicable) listed below **AND** subject to the successful conclusion of a Section 106 Legal Agreement.

The matter has been referred to the Council's Legal Department and you will be contacted shortly. If you wish to discuss the matter please contact **Aidan Brookes** in the Legal Department on **020 7 974 1947**.

Once the Legal Agreement has been concluded, the formal decision letter will be sent to you.

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: Site location plan, 13441-S001, 13441-S002, 13441-P009-E, Heritage Statement (DOCUMENT REF:0347) dated January 2020, Design and Access Statement, Arboricultural Report dated 18th December 2019, Flood Risk Assessment Job Number: 191025 dated 12.12.2019, Maund Geo-Consulting Hydrogeology, Land Stability and Ground Movement Assessment 27th May 2020, Risk Assessment – Dust & Emissions, Outline Construction Programme, Archaeological Desk-based Assessment (GLHER Ref. 15477), draft Construction Management Plan, Croft Engineers Surface Water BIA & Engineering Design and Construction Proposals dated 11.12.2019

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 The development hereby approved shall not commence until such time as a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works throughout their duration to ensure compliance with the design which has been checked and approved by a building control body. Details of the appointment and the appointee's responsibilities shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Any subsequent change or reappointment shall be confirmed forthwith for the duration of the construction works.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of policies D1, D2 and A5 of the London Borough of Camden Local Plan 2017.

- 4 Prior to the commencement of any works on site, full details and annotated photos of pruning requirements in line with BS3998:2010 in so far as the conveyor belt and associated structure will impact upon trees shall be submitted to and approved in writing by the local planning authority. All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

- 6 The development shall not be carried out other than in strict accordance with the methodologies, recommendations and requirements of the Basement Impact Assessment (Maund Geo-Consulting Hydrogeology, Land Stability and Ground Movement Assessment 27th May 2020 and Croft Engineers Surface Water BIA & Engineering Design and Construction Proposals dated 11.12.2019) hereby approved, and the confirmation at the detailed design stage that the damage impact assessment would be limited to Burland Category 1.

Reason: In order to safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area, and prevent irrevocable damage, in accordance with the requirements of policies D1, D2 and A5 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.
- 2 You are advised the developer and appointed / potential contractors should take the Council's guidance on Construction Management Plans (CMP) into consideration prior to finalising work programmes and must submit the plan using the Council's CMP pro-forma; this is available on the Council's website at <https://beta.camden.gov.uk/web/guest/construction-management-plans> or contact the Council's Planning Obligations Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444). No development works can start on site until the CMP obligation has been discharged by the Council and failure to supply the relevant information may mean the council cannot accept the submission as valid, causing delays to scheme implementation. Sufficient time should be afforded in work plans to allow for public liaison, revisions of CMPs and approval by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the

Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

Yours faithfully

Supporting Communities Directorate

Application ref: 2020/1005/L
Contact: Rachel English
Tel: 020 7974 2726
Email: Rachel.English@camden.gov.uk
Date: 25 June 2020

Development Management
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Mrs Julia Gosman
38 Well Walk
Hampstead
London
NW3 1BX

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
Vine House
Hampstead Square
London
NW3 1AB

DECISION

Proposal:

Excavation to extend the current basement to match footprint of ground floor and associated internal alterations

Drawing Nos: Site location plan, 13441-S001, 13441-S002, 13441-P009-E

Heritage Statement (DOCUMENT REF:0347) dated January 2020, Design and Access Statement, Archaeological Desk-based Assessment (GLHER Ref. 15477),

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: Site location plan, 13441-S001, 13441-S002, 13441-P009-E, Heritage Statement (DOCUMENT REF:0347) dated January 2020, Design and Access Statement, Archaeological Desk-based Assessment (GLHER Ref. 15477).

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

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In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Economy, Regeneration and Investment