

55a Broadhurst Gardens

Heritage Statement



22 June 2020

Document Control

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DOCUMENT CONTROL

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Project Team

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1. Introduction

1.1 Introduction

This heritage statement has been prepared on behalf of our client in support of a full planning application for works to number 55a Broadhurst Gardens, NW6 3QT.

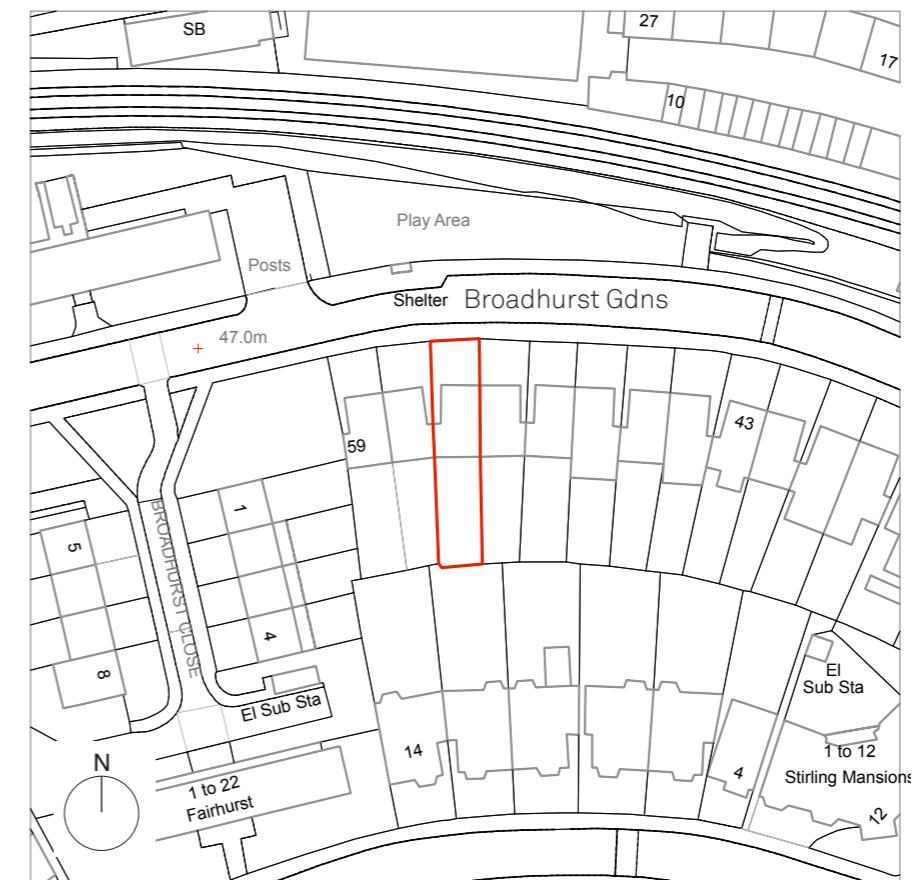
Flat A is located at the lower ground floor of number 55, and is accessible down steps to the West side of the property. The building is semi-detached, with 4 floors from Lower Ground to Second floor.

Our client wishes to make some internal alterations and add a small extension to the rear of the property. Additionally, all existing sash windows will be upgraded from single glazing to double glazing, and security bars will be removed, to re-instate the character and profile of the windows. One, subservient side window, will become a bespoke metal ventilation panel for an air conditioning system.

This document presents the proposal, showing the materiality of the rear extension and other alterations, and how they have been influenced by the context within which the property is located.

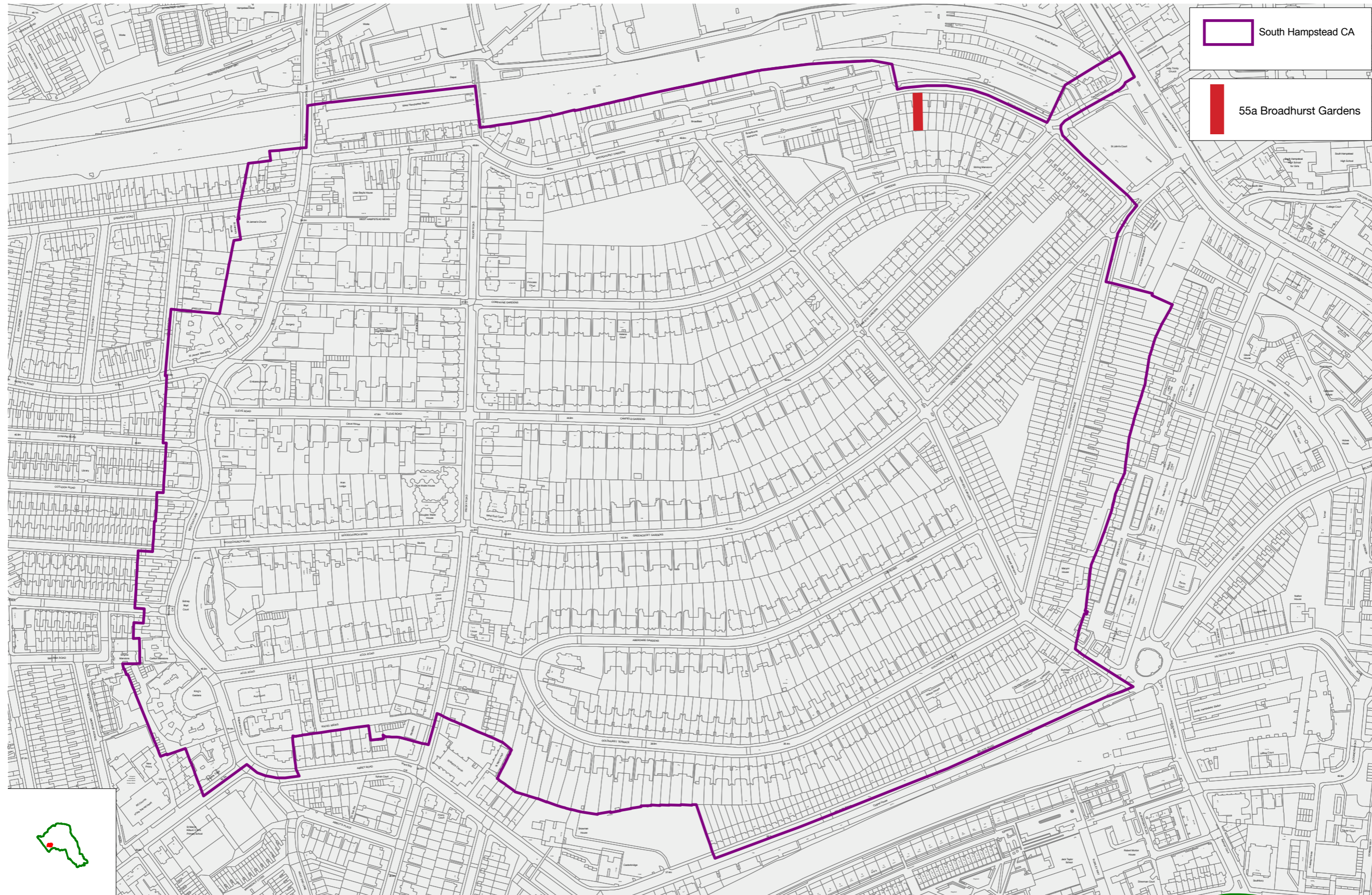
1.2 Drawing production

The drawings in this document have been based on survey drawings provided by Omega Surveys on 12.05.20, photographs, and brick dimensions.■



▲ Fig 1. OS map showing site location in red

2. South Hampstead conservation area

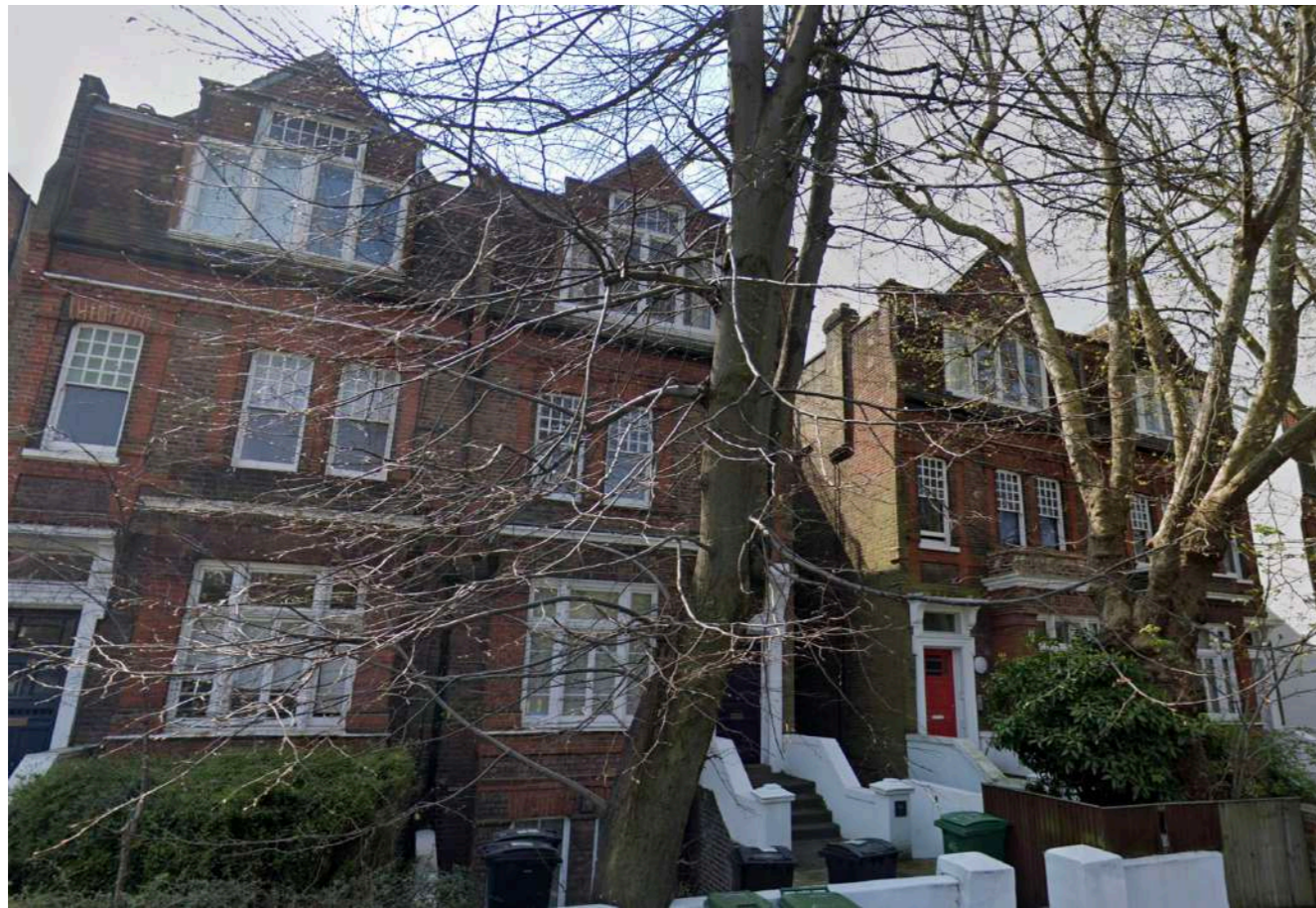


▲ Fig 2. Location within the South Hampstead conservation area

2.1 Local neighbourhood

55a Broadhurst Garden is located on the edge of the South Hampstead conservation area and is not listed. The neighbouring buildings are predominantly made of red brick with decorative brick bonds over windows and on projecting bays.

Some of the side and rear elevations, including those on 55 Broadhurst Gardens, have been rendered or painted white.■



▲ Fig 3. Front elevations of neighbouring properties (numbers 49, 51, 32 & 55) with decorative gables facing the street



▲ Fig 4. Decorative brickwork above projecting bay window to the front of number 55



▲ Fig 5. Rear elevations of numbers 57-59 with out of character dormer windows at attic level



▲ Fig 6. Rear elevations of number 55 and 53. Number 53 shows original un-rendered brick elevation



▲ Fig 7. Neighbouring property (numbers 57-59) with unsightly and out of character attic conversions. Dwellings of a different typology in the background likely date to the late 20th Century.

2.2 Conservation area character

The character of the area is outlined in the 'South Hampstead Conservation Area character appraisal and management strategy' from February 2011. The following paragraphs summarise a number of the key areas of special interest.

Number 55a Broadhurst Gardens has lost some of the character outlined below. In particular;

- Brickwork on the side and rear elevation has been rendered or painted white and is currently in a poor state of repair.
- Security bars have been installed externally to all windows, hiding the detail of the sash windows behind.
- The front garden has two large plane trees, however the boundary wall has been replaced with a timber fence and the area is only used for access to the flatted property and the storage of bins / gas meters.

ASSESSMENT OF SPECIAL INTEREST

Summary Definition of Special Interest

South Hampstead is a well preserved example of a leafy Victorian suburb, almost exclusively residential in nature, and largely homogenous in scale and character. The area is characterised by large, semi-detached and terraced late-Victorian properties, in red or gault (white / cream) brick, with a particularly distinctive and attractive roofscape including turrets, gables, and tall chimneys. Houses are made special by a variety of decorative treatments including terracotta panels and brickwork ornamentation, tiled and patterned footpaths, delicate ironwork, and elaborate timber doors and windows, including some original stained and leaded glass.

One of the most prominent features of the area is vegetation – both to the front and rear of properties. Green front gardens demarcated by low or ornate garden walls topped with hedges contribute strongly to the area's character. Building lines of the residential streets are generally set-back from the pavement which, with the boundary landscape treatment and many mature specimen trees, are essential in giving the streetscape its attractive and serene quality.

The open green spaces of the private rear gardens and the communal gardens between terraces of houses remain undeveloped and are a very important amenity for local residents – both for those who look onto the spaces and those who have access to them. In some cases they are managed as natural wildlife spaces, in others as more formal parkland. These copses and gardens are a haven for wildlife with areas set aside as natural habitats, as well as picturesque herbaceous borders, flowering shrubs, fruit trees, communal vegetable plots and a number of mature trees. These private spaces, along with the green front gardens, are vital in providing wildlife corridors, enhancing biodiversity and reducing flood risk as well as in preserving the attractive, tranquil character of the conservation area .

- The landscaping of the rear garden is made up of a long lawn with planted borders and a concrete tile terrace. Dense shrubs define the rear boarder. Access and views of the rear garden from the lower ground floor flat are through two narrow PVC doors from the bedroom / living room.

The proposed scheme aims to improve the buildings contribution to the conservation area by; removing security bars from all windows to reveal the original window style, restoring the side access tiled entrance, improving the quality of the existing painted brickwork, and by sourcing decorative brick detailing from the local area to use on the new extension. All trees will be retained and the new terrace will be smaller than the existing concrete tile terrace. ■



▲ Fig 8. View of rear garden from concrete tiled terrace



▲ Fig 9. Front entrance view from street 01



▲ Fig 10. Front entrance used predominately for access and bin storage



▲ Fig 11. Existing access down the side of the semi-detached property

3. Existing rear elevation

3.1 Existing rear elevation

The existing rear elevation has a white render finish with a two story projecting bay window. The garden belongs solely to no. 55a. ■



▲ Fig 12. Existing rear elevation. Modern PVC doors at lower ground level clash with a language of painted timber sash and casement windows.



▲ Fig 13. Existing birds eye view



▲ Fig 14. Existing rear elevation perspective sketch



▲ Fig 15. Photograph of existing rear elevation

4. Proposed rear elevation

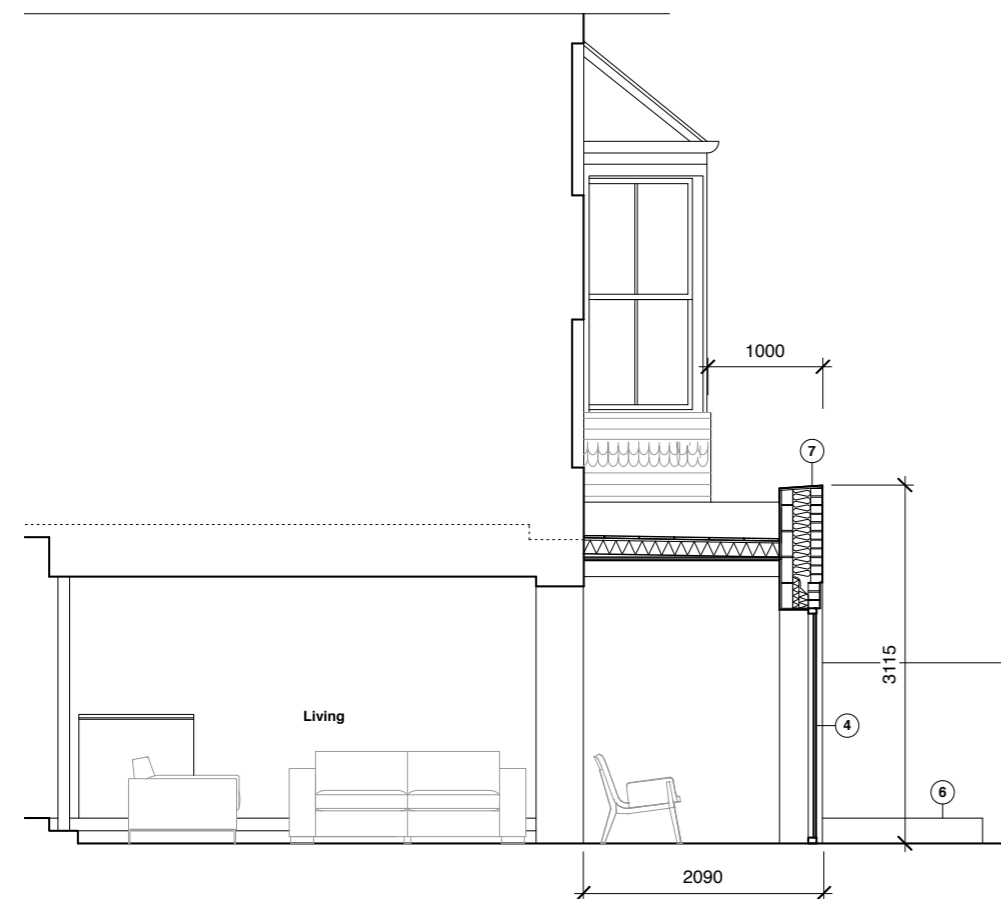
4.1 Volume and Massing

The proposed new extension will provide additional residential accommodation and tall / wide windows will offer improved access and views into the garden. The extension will be full width and the top of the parapet will be no taller than 3.12m tall. The extension will project into the garden by 2.09m from the rear elevation, and by 1m further than the existing bay window.

4.2 Materials

Following discussions with Camden council, it is proposed to construct the extension out of a red brick similar to that used on the front elevation and extensively throughout the conservation area. Decorative brick bonds - that reference the 19th century decorative brickwork on the front elevation - will be used to tie the elevation together, as illustrated in figs.20-22. The new windows will be aluminium / timber composite windows with black external frames.

The roof surface will a liquid applied waterproofing membrane in dark grey and the parapet will be flashed with lead. Rainwater goods will be made with aluminium.



▲ Fig 16. Section through rear extension



▲ Fig 17. Proposed rear elevation



▲ Fig 18. Proposed birds eye view option 01



▲ Fig 19. Proposed eye level view showing recessed panel of decorative brickwork



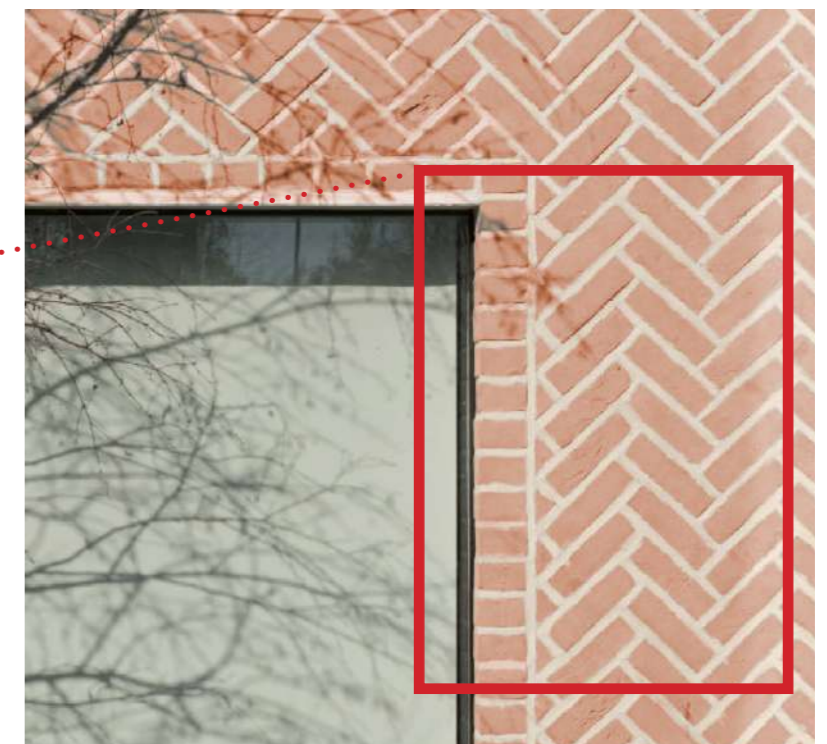
Materials Key

- | | | |
|--|--|---|
| ① Flemish brick bond | ④ New aluminium / timber composite windows with black frames | ⑦ Lead flashing to new parapet |
| ② Herringbone decorative brickwork | ⑤ Aluminium hopper and down pipe | ⑧ New slim line double glazed sash window to match existing |
| ③ Header / stretchers decorative lintel to match front elevation | ⑥ New landscaping | |
- Note: All bricks red brick similar to existing bricks on front elevation

▲ Fig 20. Proposed rear elevation - red brick to match front elevation brickwork



▲ Fig 21. Front elevation decorative brickwork - Broadhurst Gardens



▲ Fig 22. Decorative Herringbone brickwork - Herringbone House - Chan and Eayrs

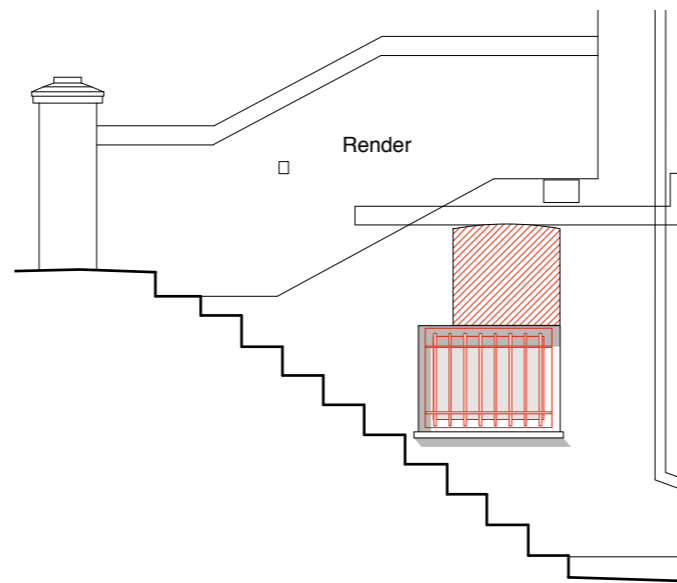
5. Replacement windows

5.1 Existing windows

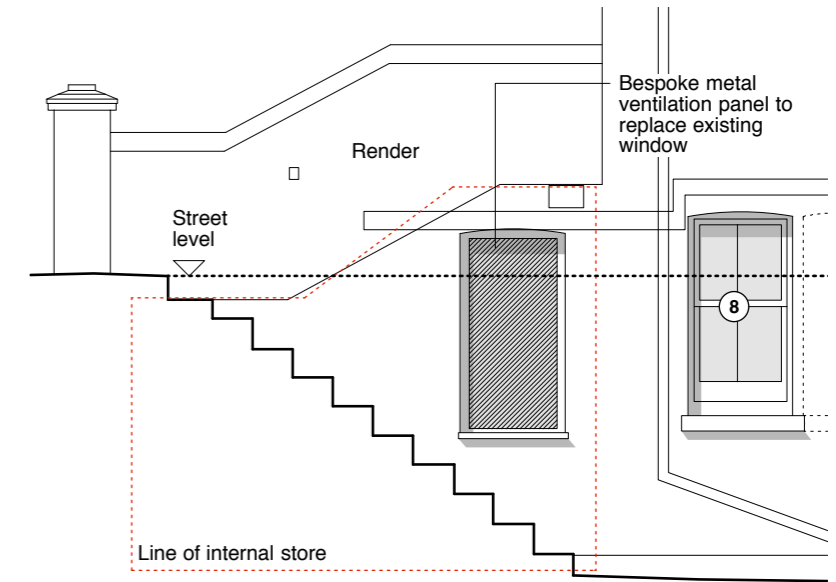
The existing windows are predominantly single glazed wooden sash windows in the original style. They are currently in-need of restoration. Due to the location of the dwelling, on the lower ground floor, all windows have had unsightly security bars fixed to the outside and these hide the detail of the of the sash windows behind. The two garden access doors have been replaced with glazed UPVC doors.

5.2 Proposed windows

It is proposed to upgrade the windows to double glazed sash windows and remove the security bars. The double glazed sash windows will have slim line double glazing and the profiles of the windows will be retained, including all transoms and mullions. One subservient window to the existing under-stairs store on the side elevation will be replaced with a bespoke perforated metal ventilation panel for a new air conditioning condensing unit.



▲ Fig 23. Existing under-stairs store window



▲ Fig 24. Proposed bespoke perforated metal ventilation panel



▲ Fig 25. Example of existing sash windows on front elevation with security bars



▲ Fig 26. Example of proposed sash windows from elsewhere in the South Hampstead conservation area

6. Landscape works

6.1 Existing landscape

The existing rear garden is 17.2m long and 6.9m wide, with mature trees and shrubbery towards the end of the garden. There is a 23m² terrace made from concrete paving slabs outside the rear doors. Access to the terrace is through PVC doors from either the bedroom, or the living room. The side access to the front door has a terracotta tile finish and painted white walls that are currently in a state of disrepair.

6.2 Proposed landscape

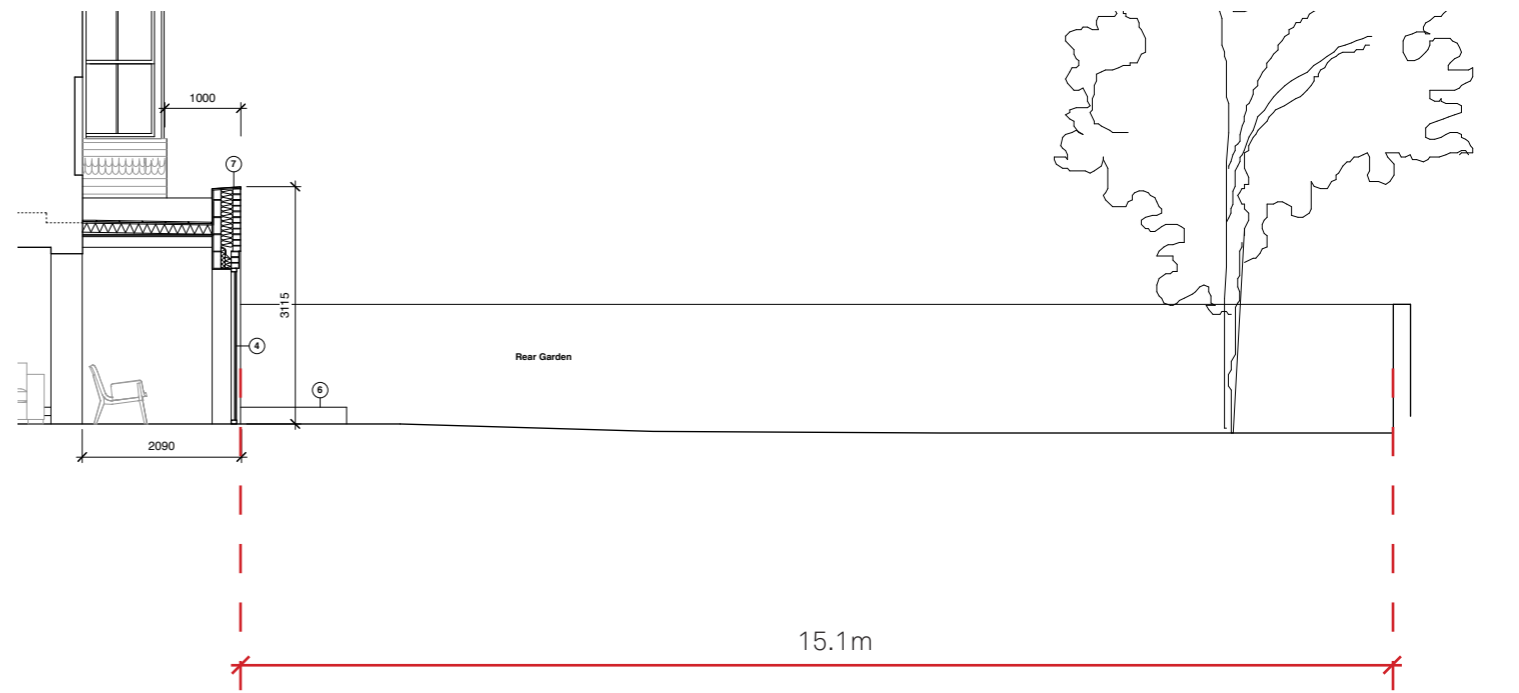
The proposed scheme would retain a 15.1m long and 6.9 wide garden. A new, smaller, 16m² porcelain tile terrace will enable level access to the terrace from the living / kitchen / dining space. All trees will be retained. The terracotta floor tiles at the front will be replaced with similar tiles to match and the external entrance walls will be repainted in white to match the existing.



▲ Fig 27. Existing rear garden



▲ Fig 28. Existing Section



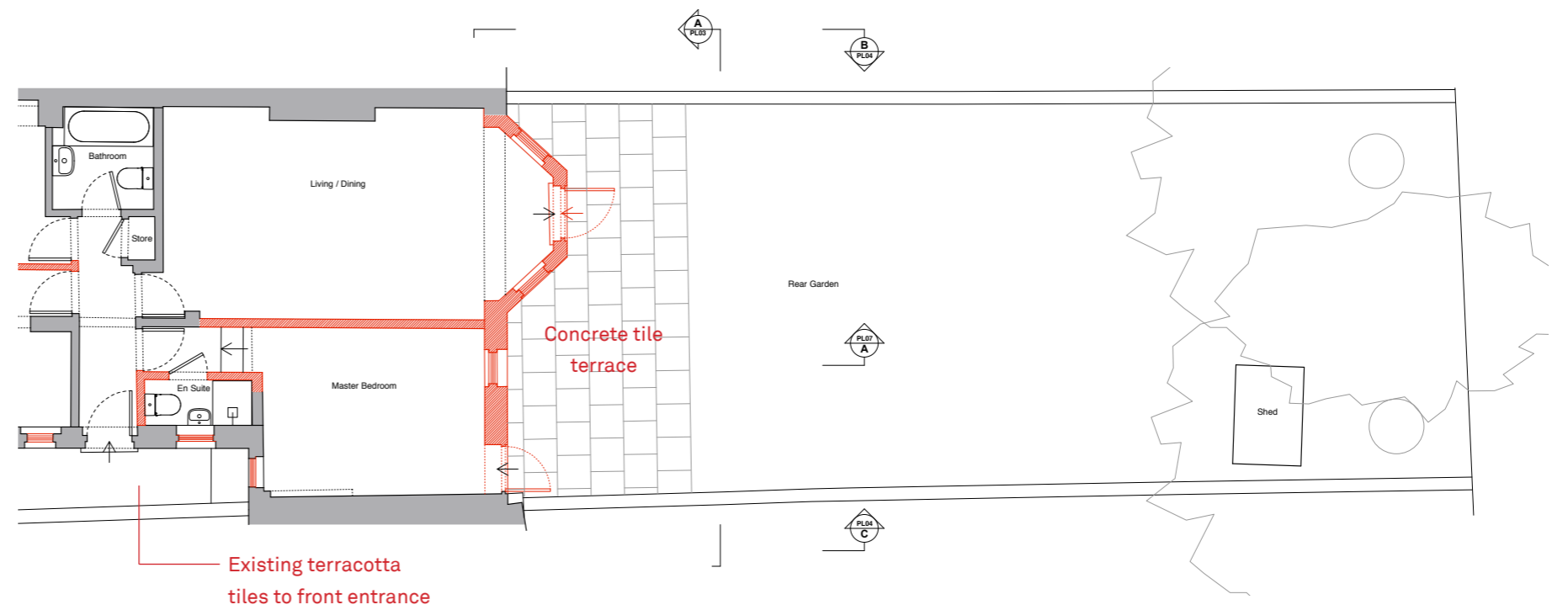
▲ Fig 29. Proposed Section



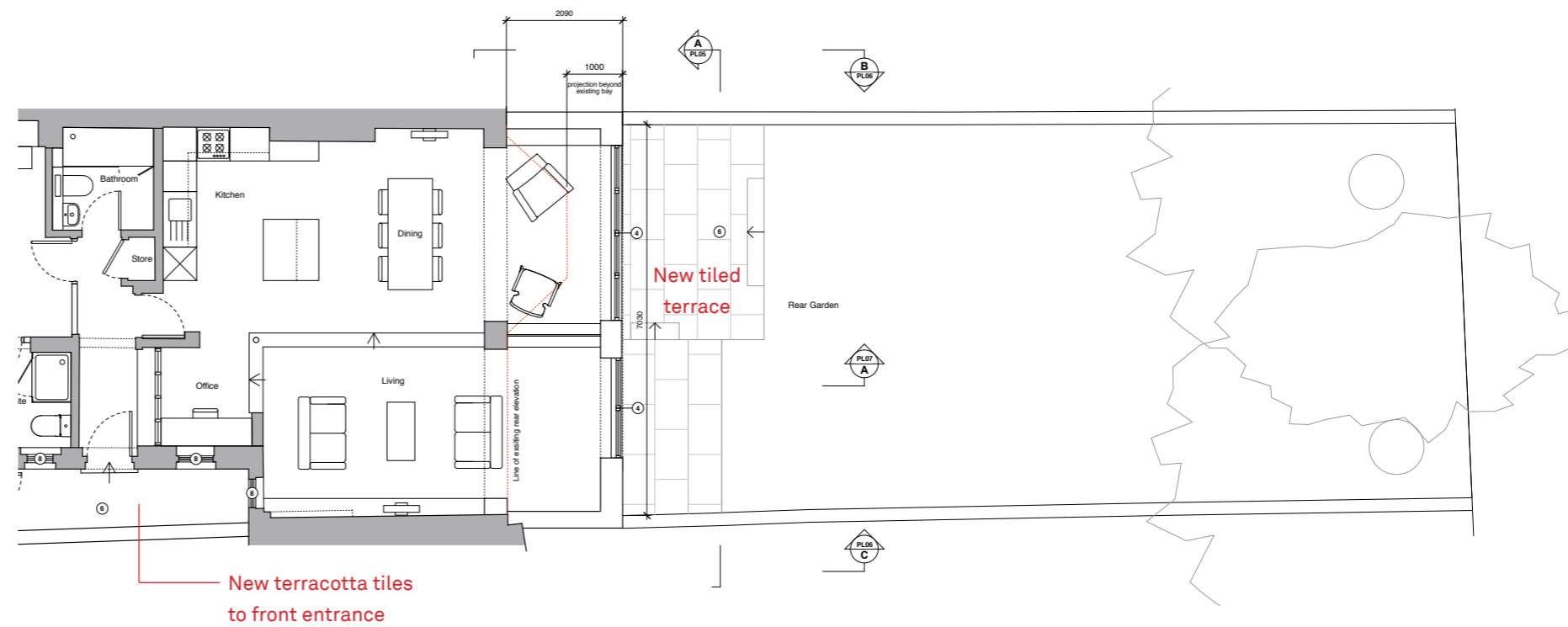
▲ Fig 30. Existing front entrance



▲ Fig 31. Existing rear terrace



▲ Fig 32. Existing rear garden plan



▲ Fig 33. Proposed rear garden plan

7. Summary

7.1 Existing condition

- 7.1.1 55a Broadhurst Gardens is located on the North-East perimeter of the South Hampstead Conservation area.
- 7.1.2 The lower ground floor flat does not offer any significant contribution to the conservation area except for a small area of decorative brickwork details on the front elevation.
- 7.1.3 The existing rear elevation has been rendered and painted white. Garden access doors have been replaced with PVC glazed doors that are incongruous with the typical doors and windows of the conservation area.
- 7.1.4 The existing windows have all had unsightly security bars installed externally and these hide the detail of the original sash windows.
- 7.1.5 The existing rear terrace is approximately 23m² and is made of concrete paving slabs. Access to the front entrance is down a flight of steps and these have a terracotta tile finish.



▲ Fig 34. Existing



▲ Fig 35. Study 1 - Eye level proposal

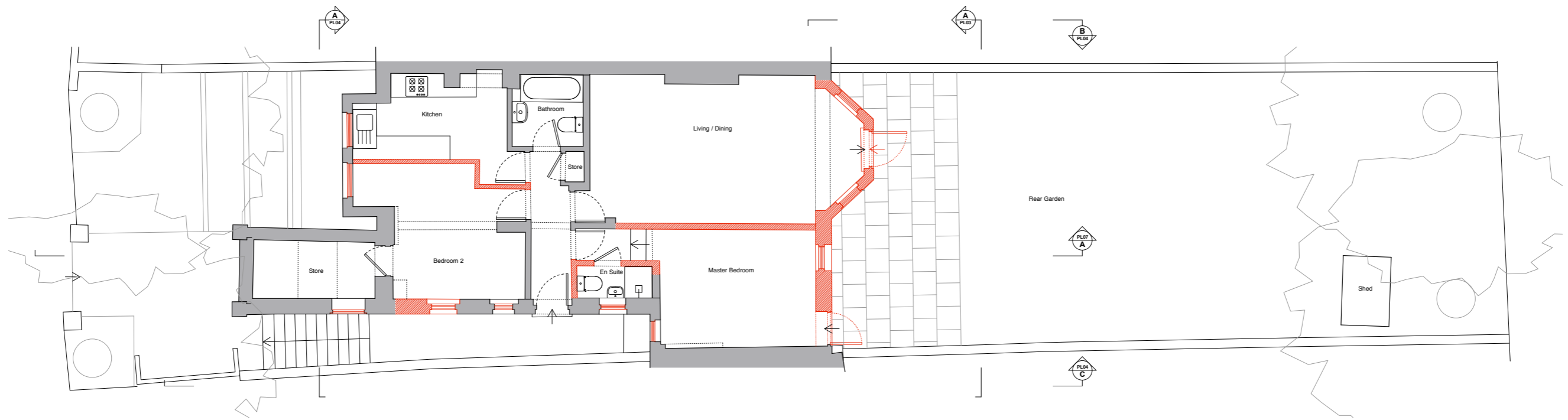


▲ Fig 36. Birds eye proposal

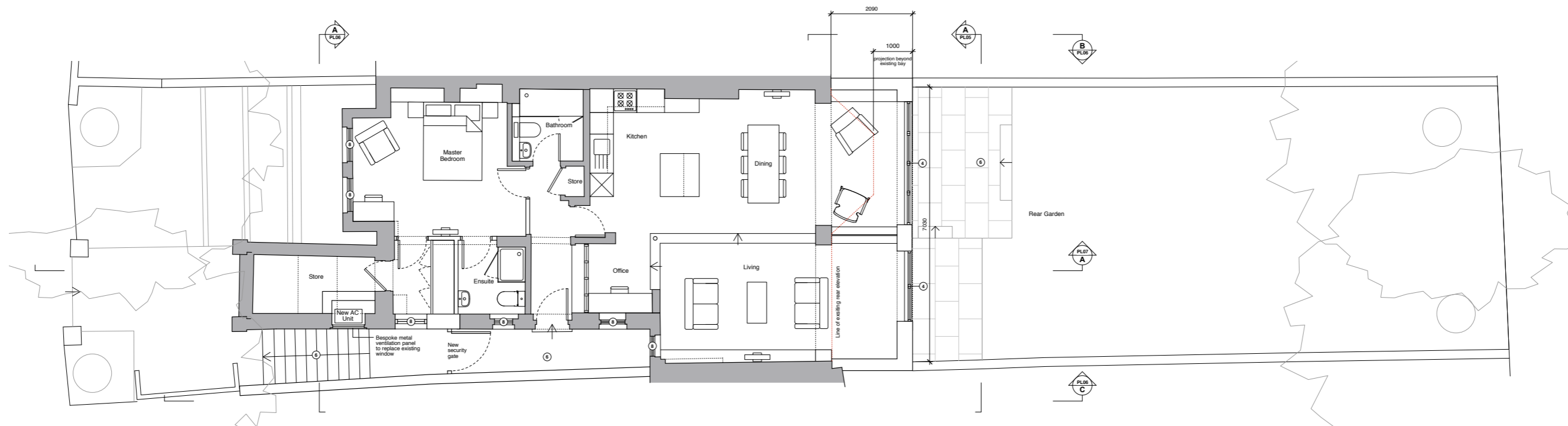
7.2 Proposed scheme

- 7.2.1 It is proposed to extend the rear elevation, offering additional living space and improved access / views to the garden. The extension will be constructed using red bricks similar to those used on the front elevation and widely around the conservation area. Decorative brick patterns, similar to those used on the front elevation will be used to unify the elevation of the extension.
- 7.2.2 Existing windows will be replaced with conservation style slim line double glazed sash windows. The security bars will be removed to re-instate the original aesthetic.
- 7.2.3 One, subservient window to the existing store on the side elevation will be replaced with a bespoke perforated metal ventilation grille for an air conditioning system.
- 7.2.4 The proposed extension, replacement windows, removal of security bars, and landscaping works will source details and materiality from the local area and enhance the buildings contribution to the conservation area.■

8. Appendix A - Drawings



(A) Existing lower ground floor



(B) Proposed lower ground floor

Materials Key		Key	
① Flemish brick bond	④ New aluminium / timber composite windows with black frames	⑦ Lead flashing to new parapet window to match existing	■ Existing
② Herringbone decorative brickwork	⑤ Aluminium hopper and down pipe	⑧ New slim line double glazed sash window to match existing	■ New Build
③ Header / stretchers decorative lintel to match front elevation	⑥ New landscaping	⑨ Note: All bricks red brick similar to existing bricks on front elevation	■ Structure to be demolished
			--- Line of existing building

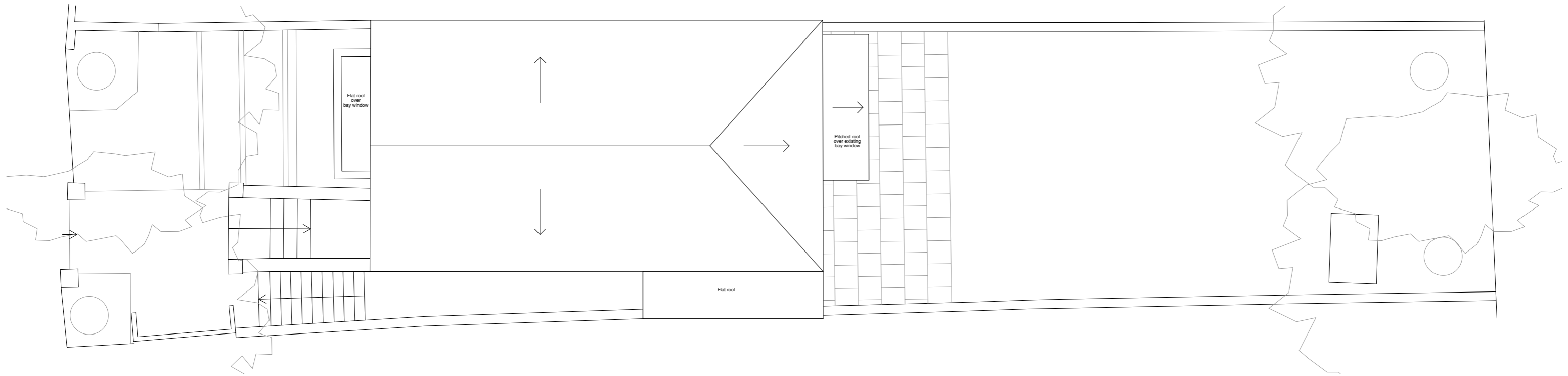
0 1 2 3m
 Drawings based on measured survey carried out by Omega Geo on 12.05.20

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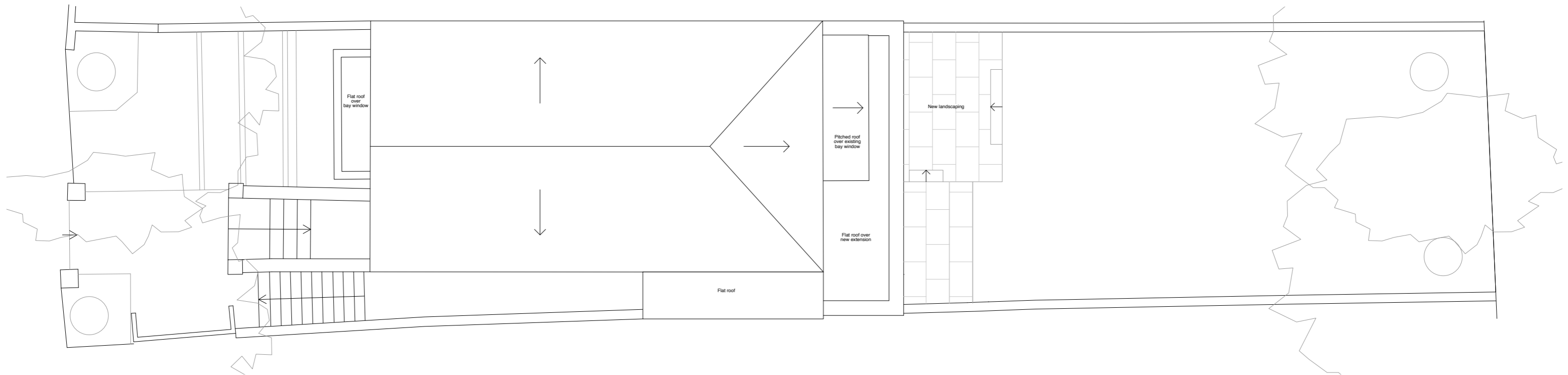
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 4. Read in conjunction with all relevant structural and mechanical & electrical engineers drawings.
 5. Dimensions critical to proposed building works must be checked on site before building works commence, as certain assumptions have been made due to lack of accessibility and anomalies in the existing building.

Other Notes

Revision Date By Ck Note
 Project Address: 55a Broadhurst Gardens
 Drawing: Existing & proposed LG floor plans
 Drawing number: 1923 PL01
 Drawing status: Planning
 Date: 22.06.2020
 Scale: 1:50 @ A1, 1:100 @ A3
 Drawn: OJ
 Checked: MB
 Revision: -



(A) Existing roof plan



(B) Proposed roof plan



Drawings based on measured survey carried out by Omega Geo on 12.05.20 and photographs / aerial images for roof layout

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Other Notes

Revision Date By Ck Note



A Existing Rear Elevation



B Existing Rear Elevation Photograph



Key

— Existing structure to be demolished

Drawings based on measured survey carried out by Omega Geo on 12.05.20
Elevation above lower ground floor based on brick dims / site photographs

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Revision Date By Ck Note

Project Address
55a Broadhurst Gardens

Drawing
Existing Rear Elevation

Drawing number
1923 PL03

Drawing status
Planning

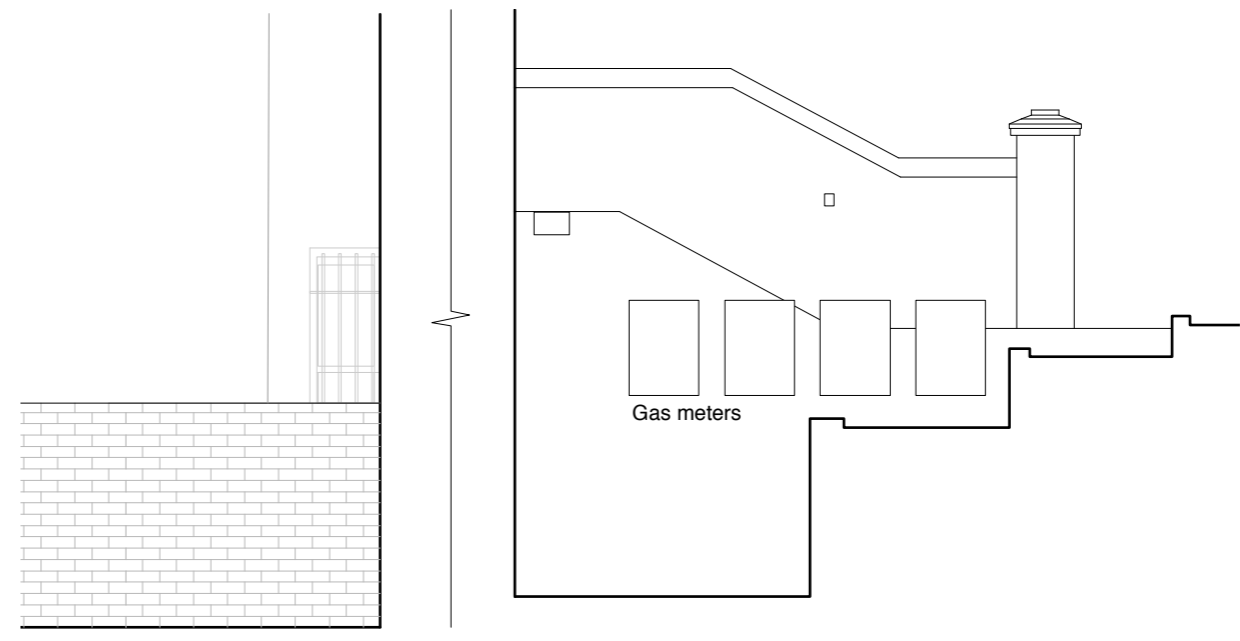
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Drawn
OJ

Checked
MB

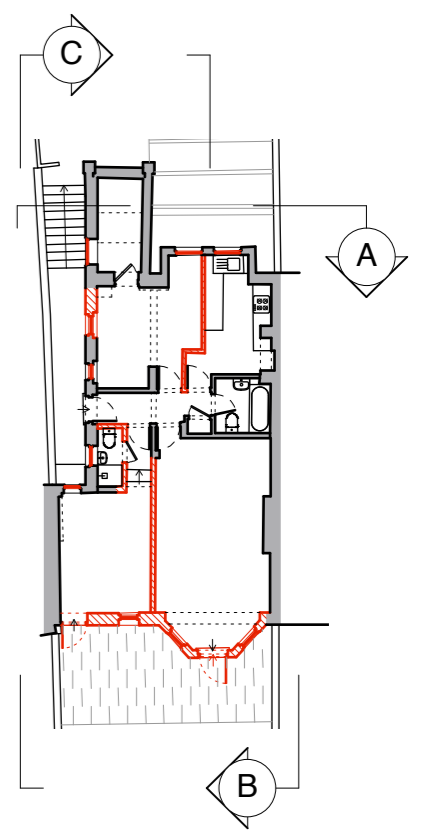
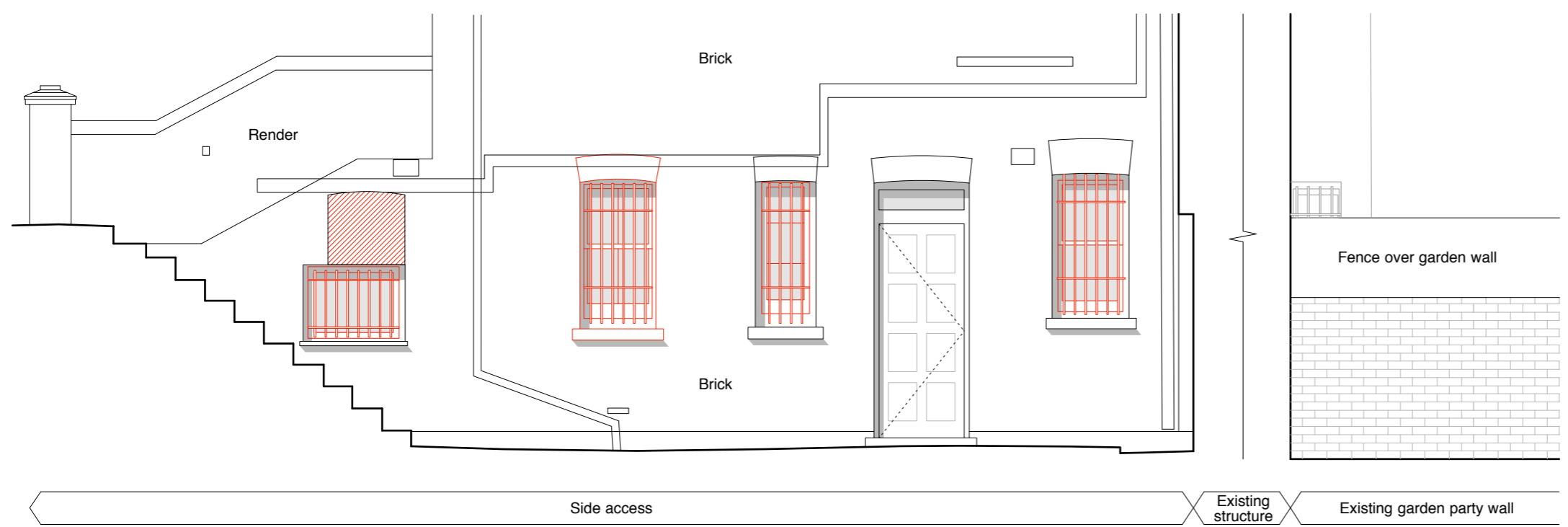
Revision
-



Existing garden party wall Existing structure Front elevation

A Existing Front Elevation

B Existing Side Elevation 01



C Existing Side Elevation 02

D Key plan



Key
 — Existing structure to be demolished

Drawings based on measured survey carried out by Omega Geo on 12.05.20

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Revision Date By Ck Note

Project Address
 55a Broadhurst Gardens
 Drawing
 Other Existing Elevations
 Drawing number
 1923 PL04

Drawing status
 Planning
 Date
 22.06.2020
 Scale
 1:50 @ A3
 Drawn
 OJ
 Checked
 MB
 Revision
 -



A Proposed Rear Elevation



B Proposed Rear Elevation Sketch

Materials Key

- ① Flemish brick bond
 - ② Herringbone decorative brickwork
 - ③ Header / stretchers decorative lintel to match front elevation
 - ④ New aluminium / timber composite windows with black frames
 - ⑤ Aluminium hopper and down pipe
 - ⑥ New landscaping
 - ⑦ Lead flashing to new parapet
 - ⑧ New slim line double glazed sash window to match existing
- Note: All bricks red brick similar to existing bricks on front elevation



Drawings based on measured survey carried out by Omega Geo on 12.05.20
Elevation above lower ground floor based on brick dims / site photographs

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Revision Date By Ck Note

Project Address
55a Broadhurst Gardens

Drawing
Proposed Rear Elevation

Drawing number
1923 PL05

Drawing status
Planning

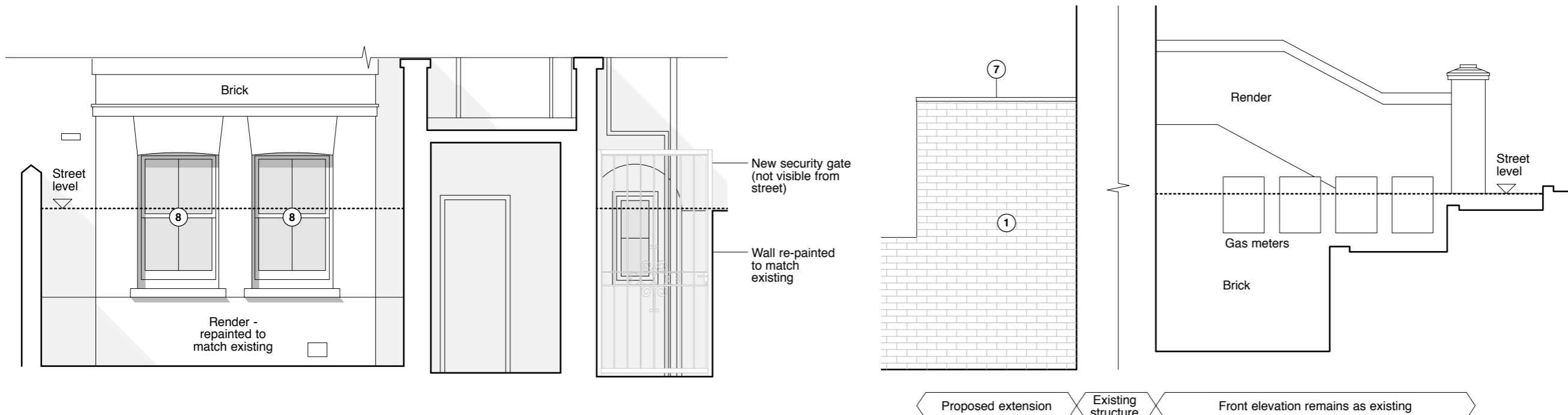
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OJ

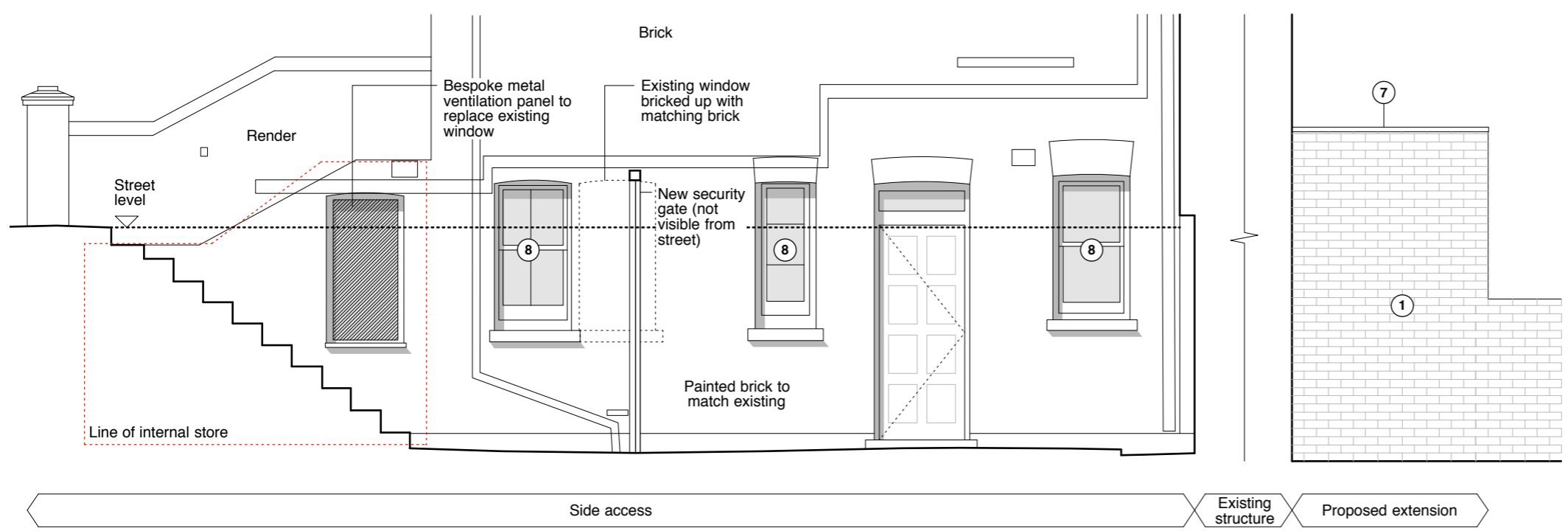
Checked
MB

Revision
-



A Proposed Lower Ground Front Elevation

B Proposed Side Elevation 01



C Proposed Side Elevation 02

D Key plan



Drawings based on measured survey carried out by Omega Geo on 12.05.20

Materials Key

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 - ② Herringbone decorative brickwork
 - ③ Header / stretchers decorative lintel to match front elevation
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Revision Date By Ck Note

Project Address
55a Broadhurst Gardens

Drawing
Other Proposed Elevations

Drawing number
1923 PL06

Drawing status
Planning

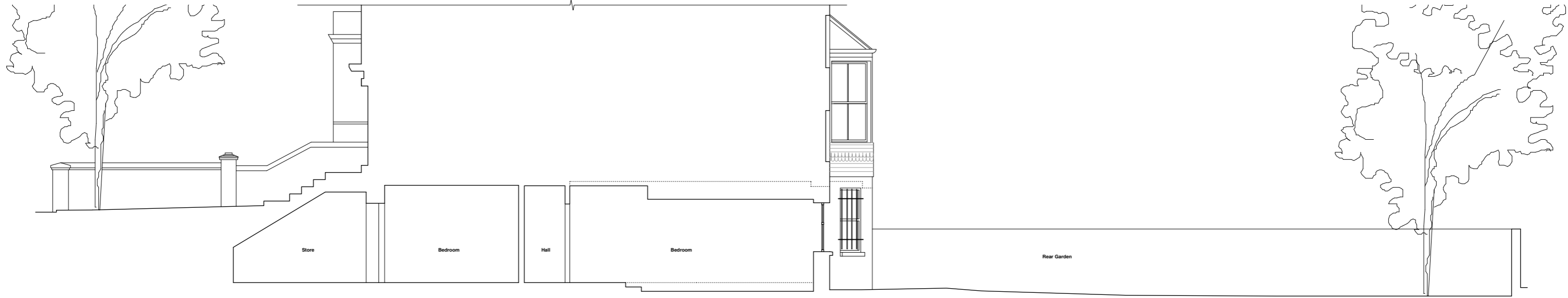
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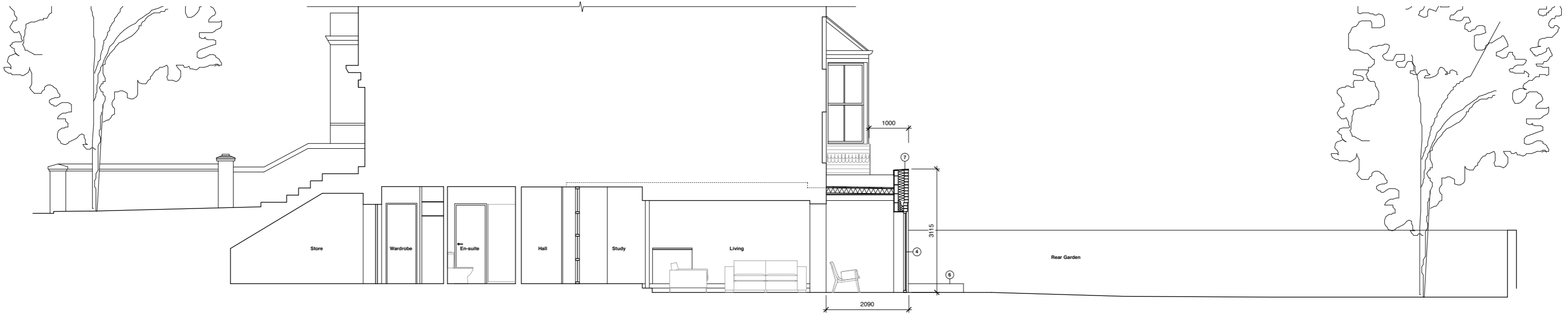
Drawn
OJ

Checked
MB

Revision
-



A Existing section AA

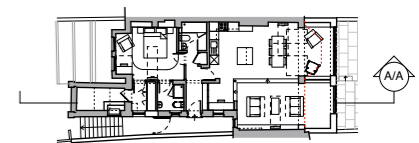


B Proposed section AA

Materials Key

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- ② Herringbone decorative brickwork
- ③ Header / stretchers decorative lintel to match front elevation
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- ⑥ New landscaping
- ⑦ Lead flashing to new parapet
- ⑧ New slim line double glazed sash window to match existing

Note: All bricks red brick similar to existing bricks on front elevation



C Key plan

0 1 2 3m
 Drawings based on measured survey carried out by Omega Geo on 12.05.20
 Elevation above lower ground floor based on brick dims / site photographs

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Other Notes

Revision Date By Ck Note

Project Address
 55a Broadhurst Gardens
 Drawing
 Existing & proposed sections
 Drawing number
 1923 PL07

Drawing status
 Planning
 Date
 22.06.2020
 Scale
 1:50 @ A1
 1:100 @ A3
 Drawn
 OJ
 Checked
 MB
 Revision
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