

55a Broadhurst Gardens

Design & Access Statement



22 June 2020

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DOCUMENT CONTROL

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Project Team

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1. Introduction

1.1 Introduction

This design & access statement has been prepared on behalf of our client in support of a full planning application for works to number 55a Broadhurst Gardens, NW6 3QT.

Flat A is located at the lower ground floor of number 55, and is accessible down steps to the West side of the property. The building is semi-detached, with 4 floors from Lower Ground to Second floor.

Our client wishes to make some internal alterations and add a small extension to the rear of the property. This document describes the proposal, showing the materiality, volume and massing of the rear extension, internal layout changes, and environmental upgrade properties.

This document should be read in conjunction with all other supporting documents.■

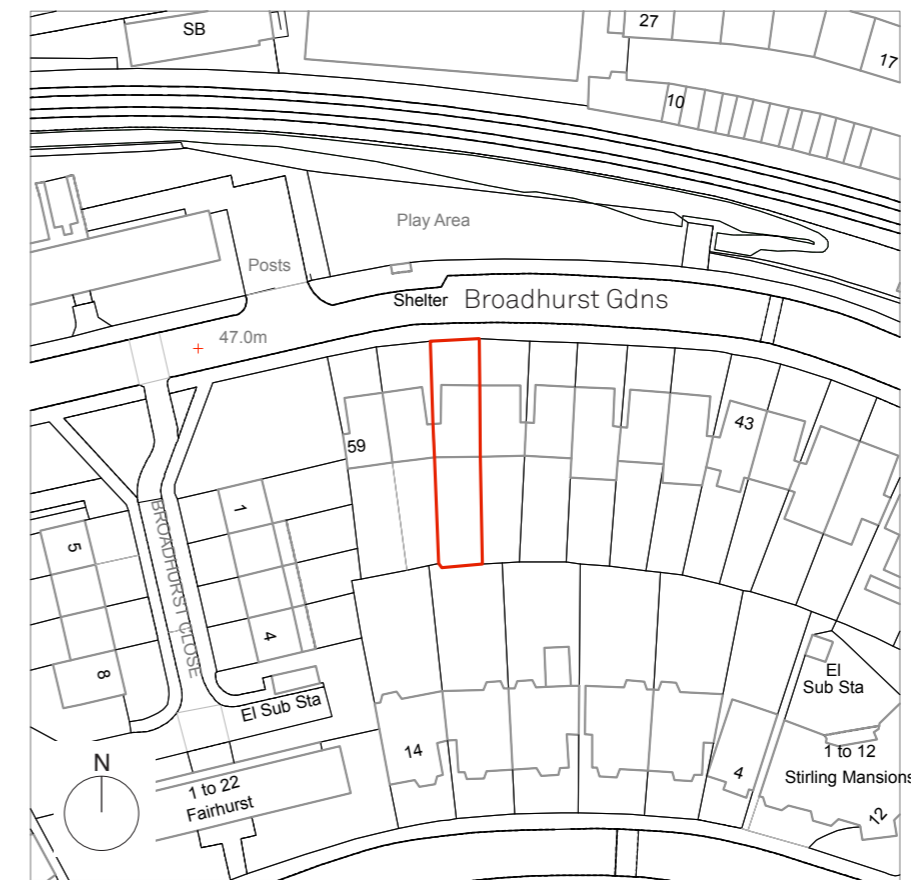
1.2 Outline description of proposed alterations

Discussed in detail later in this document, a brief outline of the proposal is as follows:

- 1.2.1 Internal layout changes
- 1.2.2 2.09m rear extension to the rear of the property
- 1.2.3 Upgrade of existing windows from single glazing to double glazing
- 1.2.4 Introduction of a new air conditioning condensing unit

1.3 Drawing production

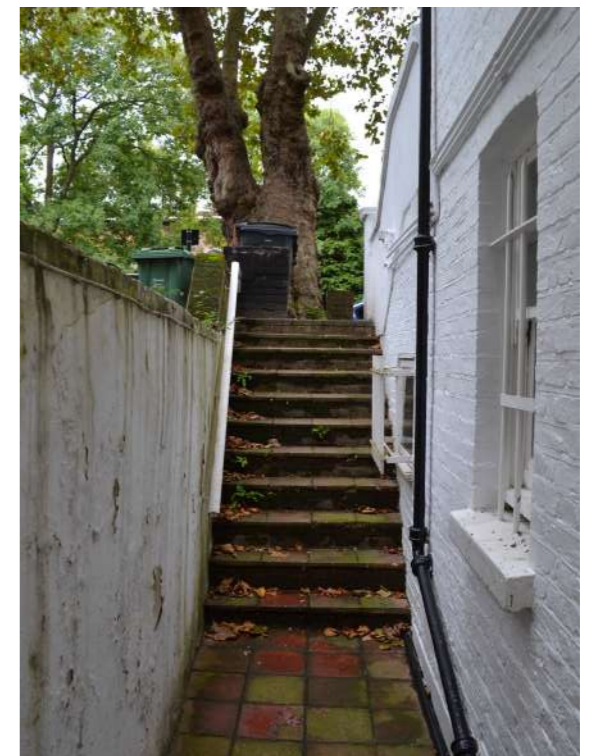
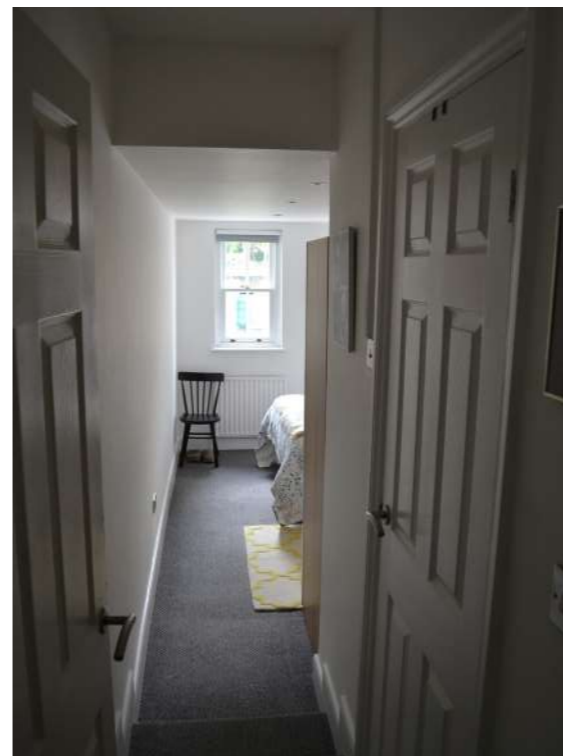
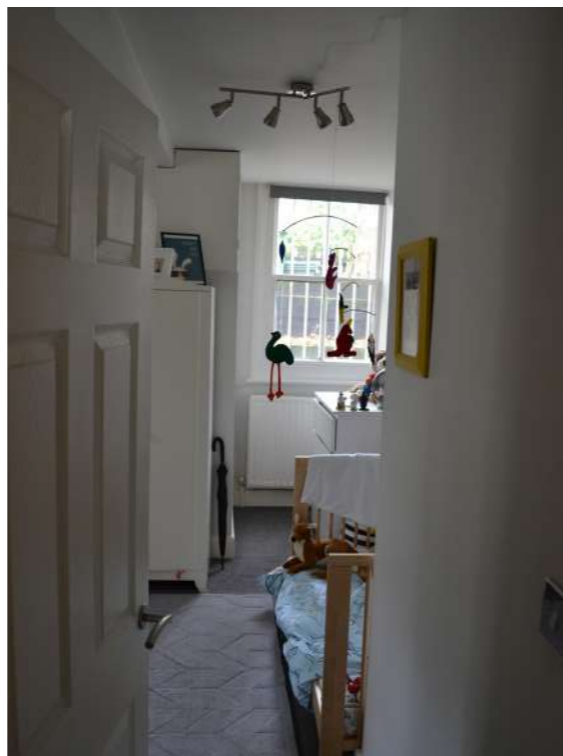
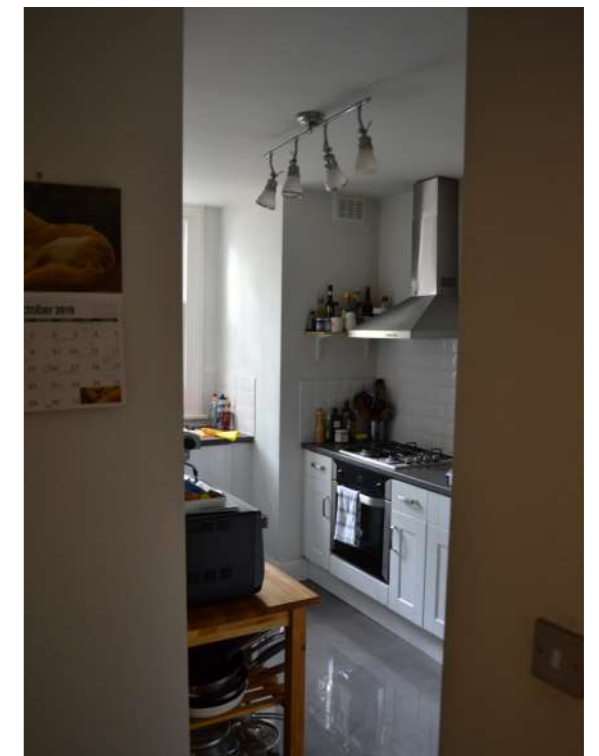
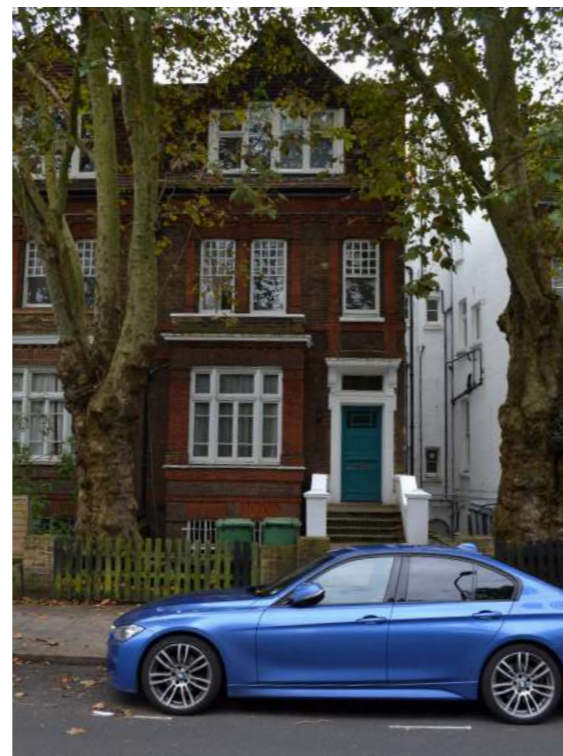
The drawings in this document have been based on survey drawings provided by Omega Surveys on 12.05.20, photographs, and brick dimensions.■



▲ Fig 1. OS map showing site location in red

2. Existing Condition

2.1 Site photographs

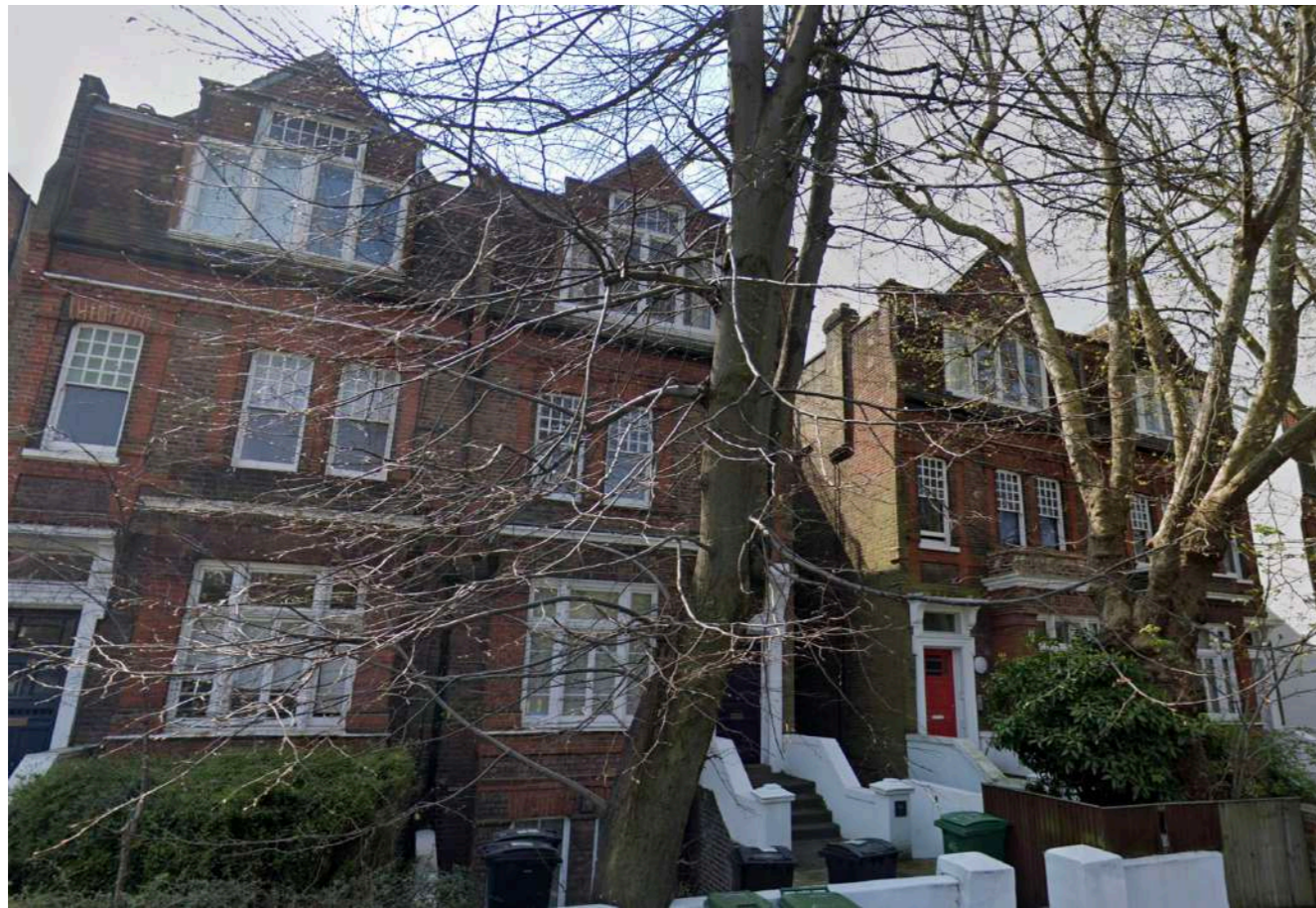


▲ Fig 2. External and internal photographs showing the existing condition of 55a

2.2 Local neighbourhood

55a Broadhurst Garden is located on the edge of the South Hampstead conservation area and is not listed. The neighbouring buildings are predominantly made of red brick with decorative brick bonds over windows and on projecting bays.

Some of the side and rear elevations, including those on 55 Broadhurst Gardens, have been rendered or painted white.■



▲ Fig 3. Front elevations of neighbouring properties (numbers 49, 51, 32 & 55) with decorative gables facing the street



▲ Fig 4. Decorative brickwork above projecting bay window to the front of number 55



▲ Fig 5. Rear elevations of numbers 57-59 with out of character dormer windows at attic level



▲ Fig 6. Rear elevations of number 55 and 53. Number 53 shows original un-rendered brick elevation



▲ Fig 7. Neighbouring property (numbers 57-59) with unsightly and out of character attic conversions. Dwellings of a different typology in the background likely date to the late 20th Century.

3. Existing Layout Information

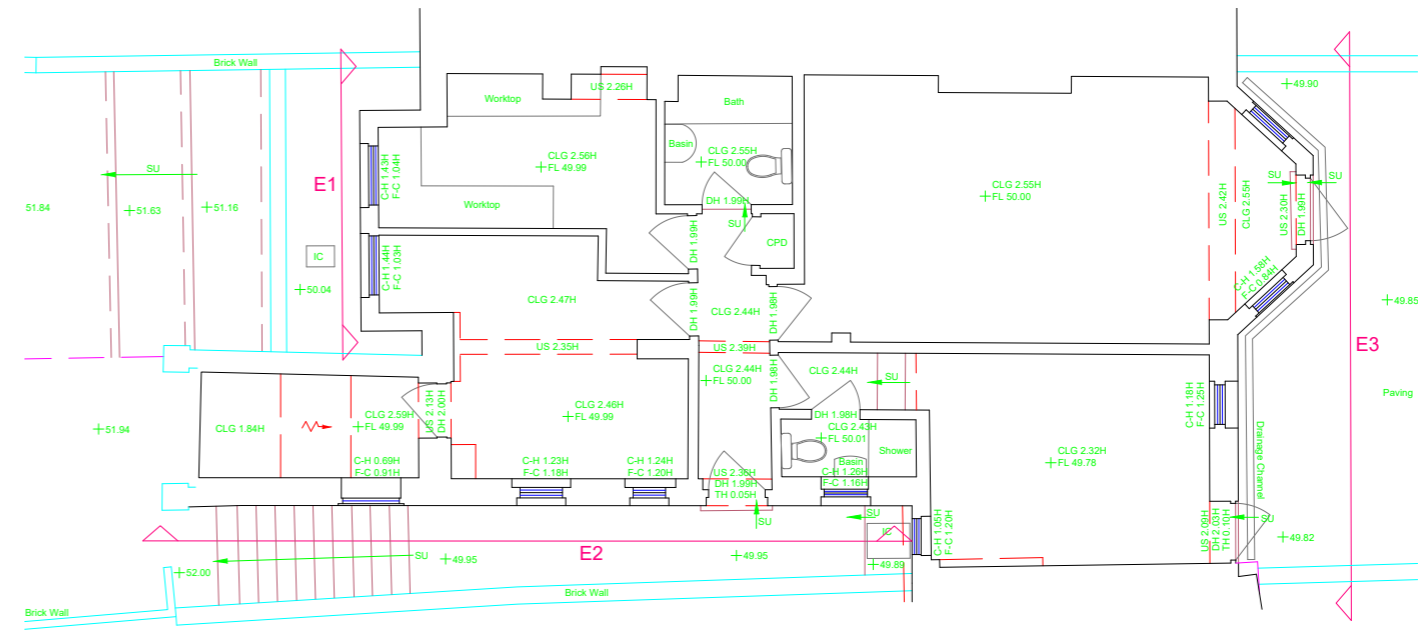
3.1 Lower Ground Floor Apartment

The apartment is currently divided into quadrants, with 2 quadrants forming bedrooms, and the other two the kitchen, and the living & dining space. The access corridor divides these and is terminated with the shared bathroom.

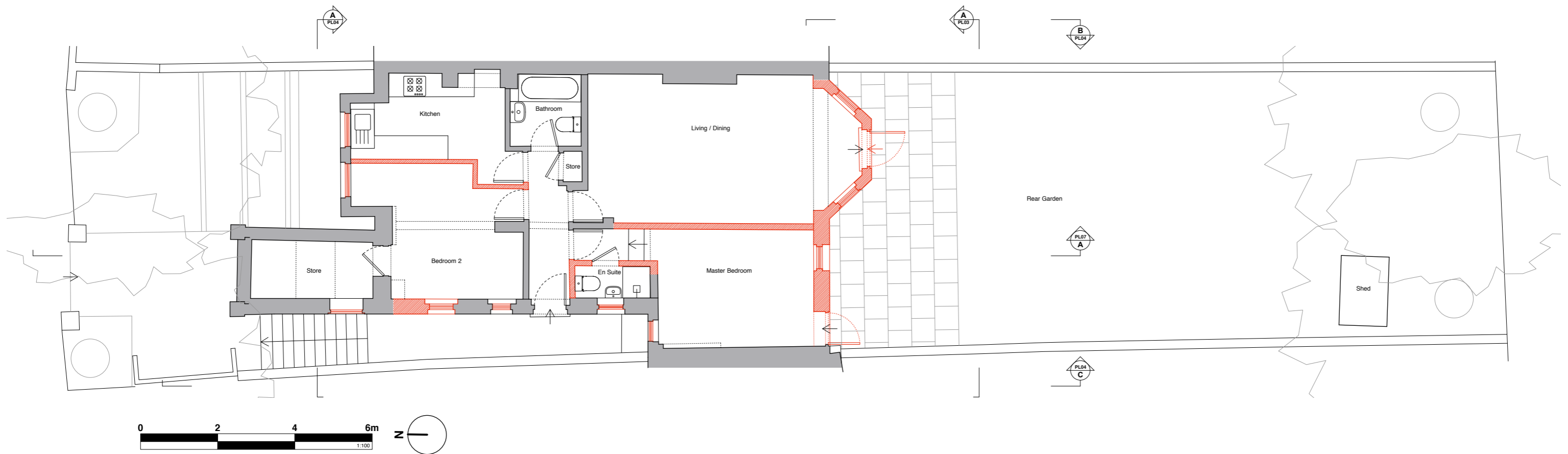
The boiler is located underneath the main house entrance stairs, accessed from one of the bedrooms. The water tank is located in a cupboard accessible from the entrance hallway.

The apartment suffers from a lack of light, with the winding kitchen and dark corridor contributing to a feeling of tightness.

A step down into the garden-facing bedroom accommodates the lower ceiling level in this area, likely due to the traditional half level arrangement of properties typical of this period. ■



▲ Fig 8. Information provided: Omega surveys - 12.05.2020



▲ Fig 9. Existing property layout based on provided information and OS mapping

3.2 Existing rear elevation

The existing rear elevation has a white render finish with a two story projecting bay window. The garden belongs solely to no. 55a. ■



▲ Fig 10. Existing rear elevation. Modern PVC doors at lower ground level clash with a language of painted timber sash and casement windows.



▲ Fig 12. Existing birds eye view



▲ Fig 11. Existing rear elevation perspective sketch

4. Planning History and Policy

4.1 Planning History

No planning history has been found for 55a Broadhurst Gardens

4.2 Relevant nearby planning permissions

- 4.2.1 43 Broadhurst Gardens (PW9902888/R1)
New single storey extension into garden at rear of property
Granted 2000
- 4.2.2 45 Broadhurst Gardens (2008/3766/P)
New lower ground and ground floor extension into garden at the rear of the property
Granted 2008
- 4.2.3 51a Broadhurst Gardens (2013/3363/P)
Changes included enlarged door and windows to rear elevation
Granted 2013

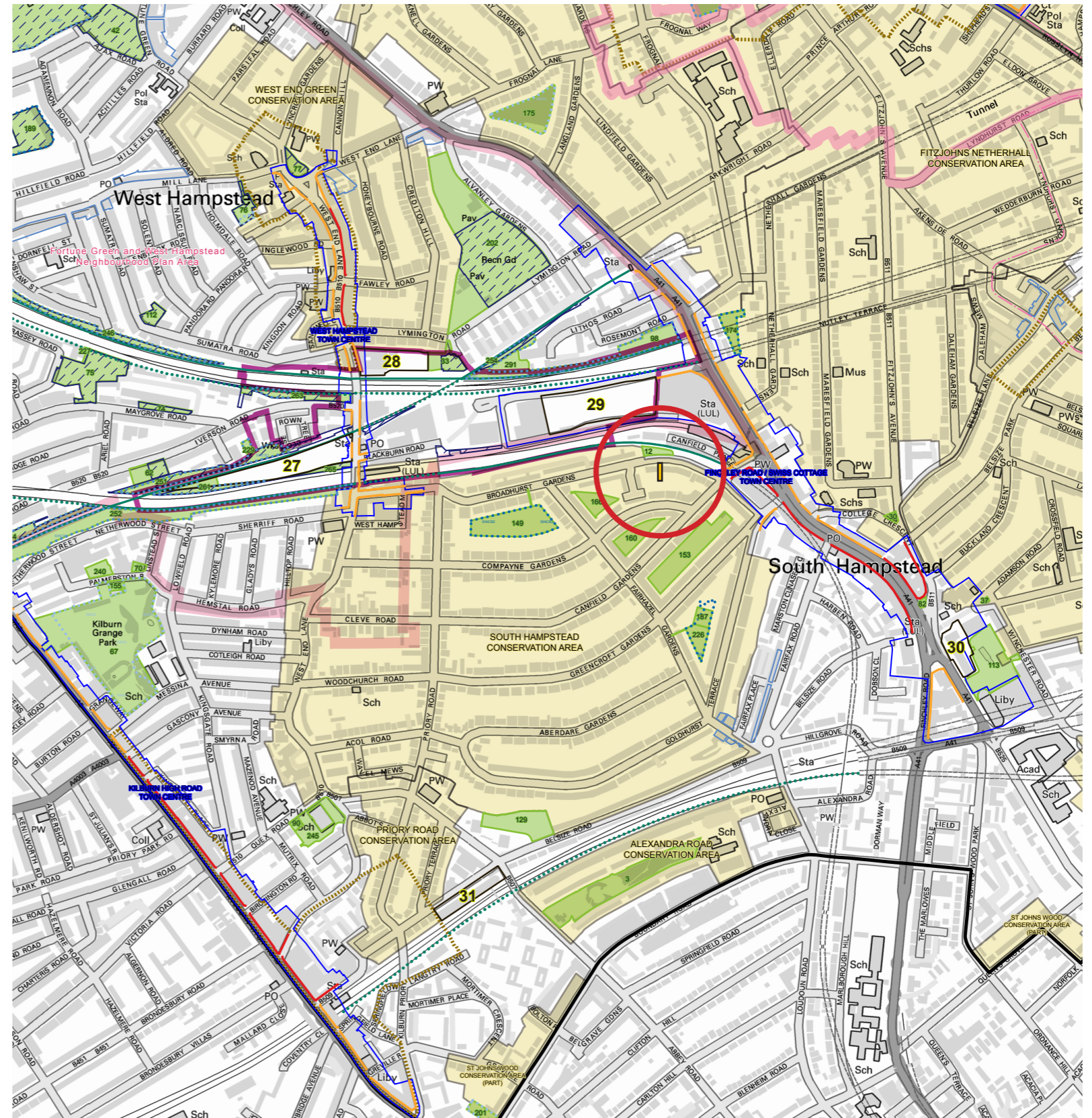
4.3 Relevant Planning Policy

The site sits within the South Hampstead Conservation Area, and within the 'Central Wedge' character area. The following extracts are from the Conservation Area Assessment, where number 55 is noted with the built heritage audit as a 'positive contributor' to the built heritage.

"However private rear open spaces and long, undeveloped rear gardens are overlooked by whole streets of residents and therefore form an important aspect of the area's significance."

"The majority of properties in the CA are faced in red brick – very fashionable in the late 19th century because of the revival in domestic vernacular architecture and the Arts & Crafts movement. Yellow stock brick – cheaper and readily available in London - is used for the backs and sides of these houses... Render is used occasionally – to pick out details; and terracotta panels – for example with the typically Arts & Crafts device of a sunflower on Broadhurst Gardens – is used extensively."

"These substantial residential properties could easily dominate views to either side, however their bulk is moderated both by their placement ... and because their elevations are carefully modelled, using recession and projection and decorative details to great effect." ■



▲ Fig 13. Extract from Camden Policies Map March 2019. Site in yellow with black border

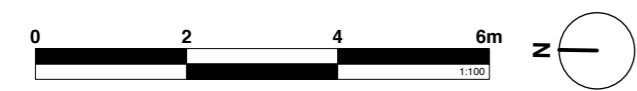
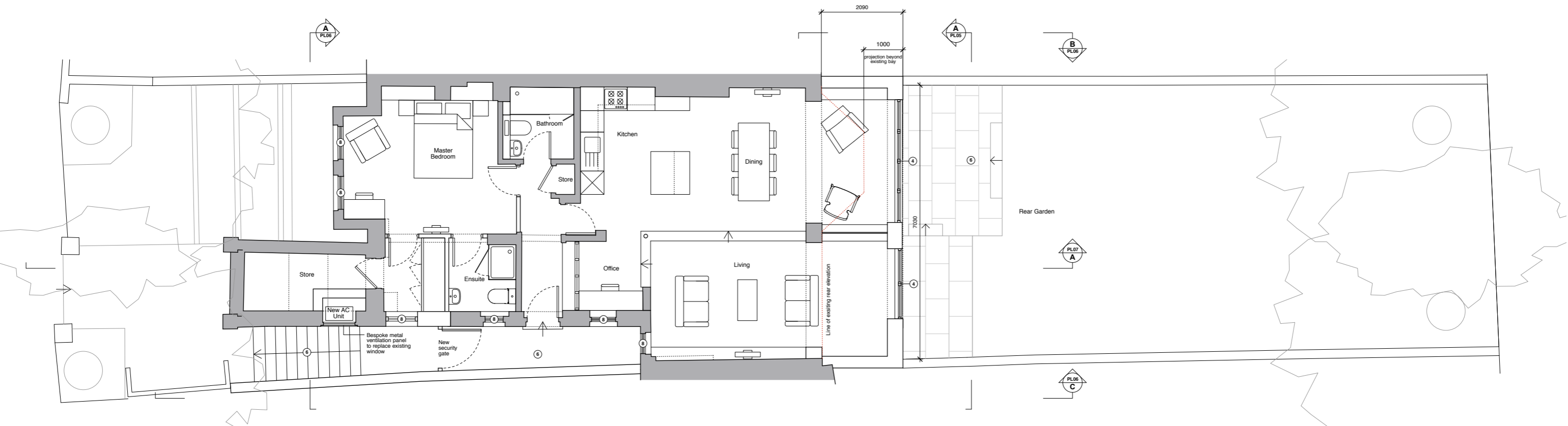
5. Proposed Drawings & Precedence

5.1 Proposed plan

It is proposed to extend the lower ground floor into the garden 1m beyond the existing external wall of the projecting bay window, creating approximately 8.8sqm of additional living space.

All existing windows will be upgraded from single glazing to double glazing. Slim line double glazing will be used and the window profiles will match the existing in order to preserve the character of the conservation area.

Internal layout changes are proposed in order to rationalise the spaces and create an open plan living / kitchen / dining area that has direct access to the rear garden. A new external air conditioning unit is proposed to be located in the existing store, adjacent to the front entrance steps, replacing one existing window with a new bespoke metal ventilation panel.



▲ Fig 14. Proposed plan

5.2 Proposed rear elevation

It is proposed to use a red brick to match the brick type used on the front elevation and throughout the conservation area. Decorative brick bonds, sourced from the front elevation, such as herringbone and stack bonds will be used to create a unifying element between and above the windows.

A recessed brick unifying element simplifies the geometry of the elevation, while decorative brick detailing aims to enhance the rear elevation in line with the character of the conservation area. ■



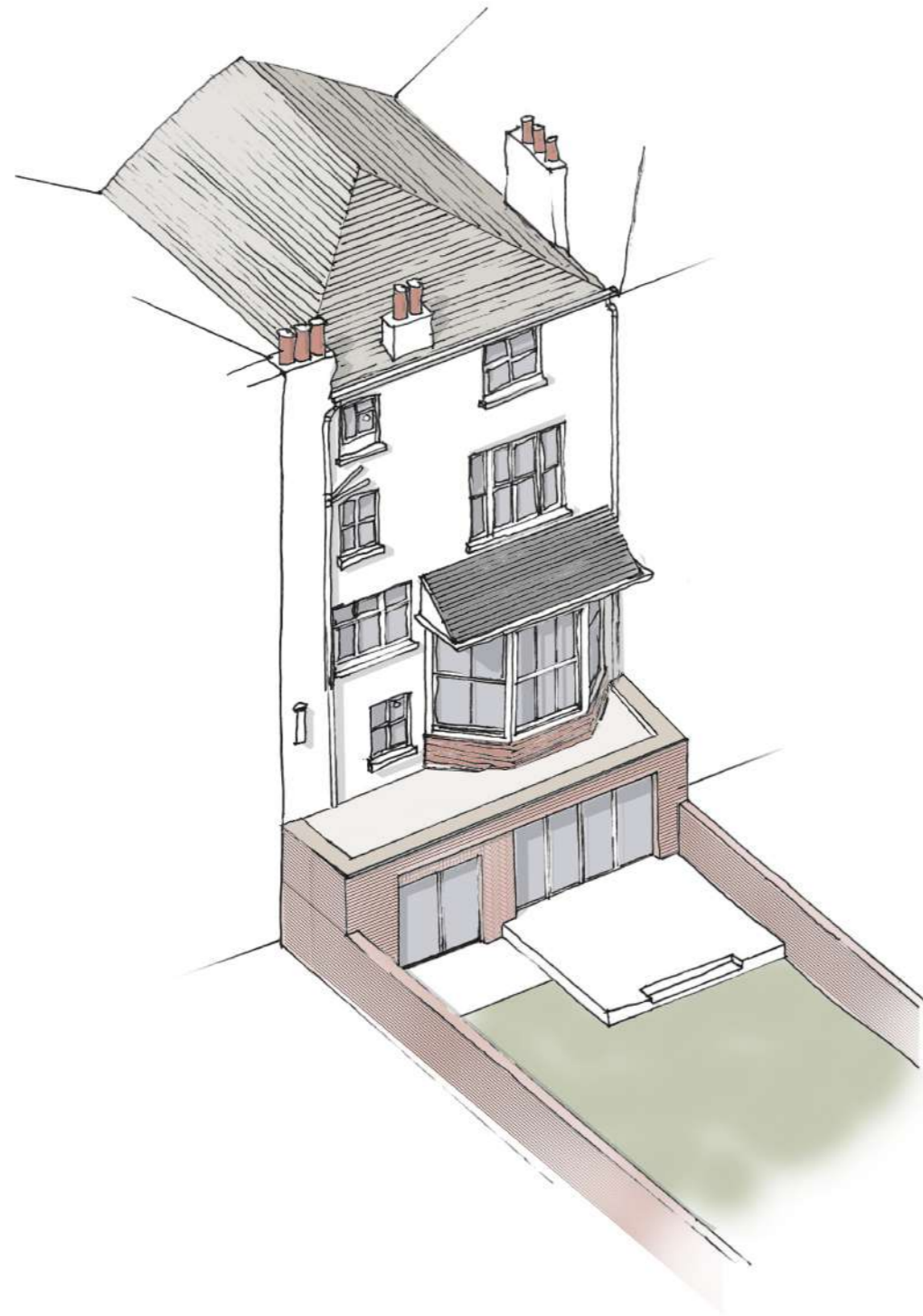
▲ Fig 15. Proposed rear elevation option 01 - red brick to match front elevation brickwork



▲ Fig 16. Front elevation decorative brickwork - Broadhurst Gardens



▲ Fig 17. Decorative Herringbone brickwork - Herringbone House - Chan and Eayrs

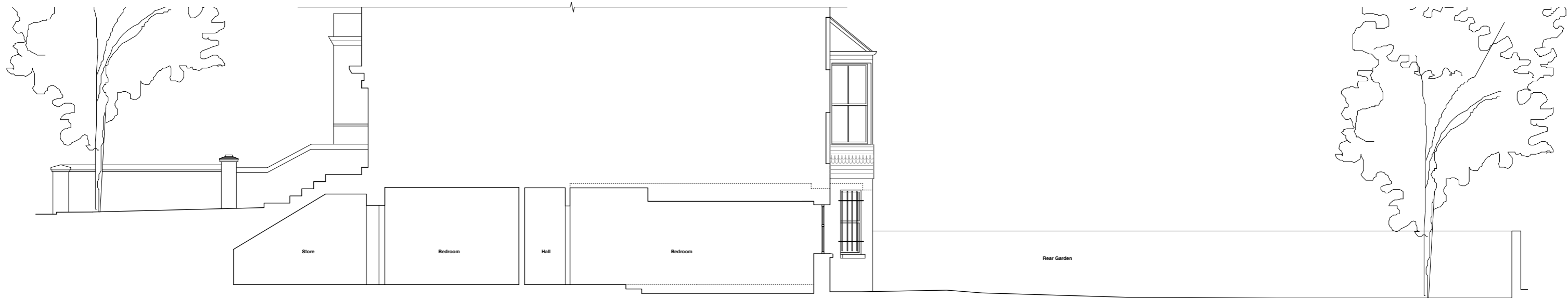


▲ Fig 18. Proposed birds eye view

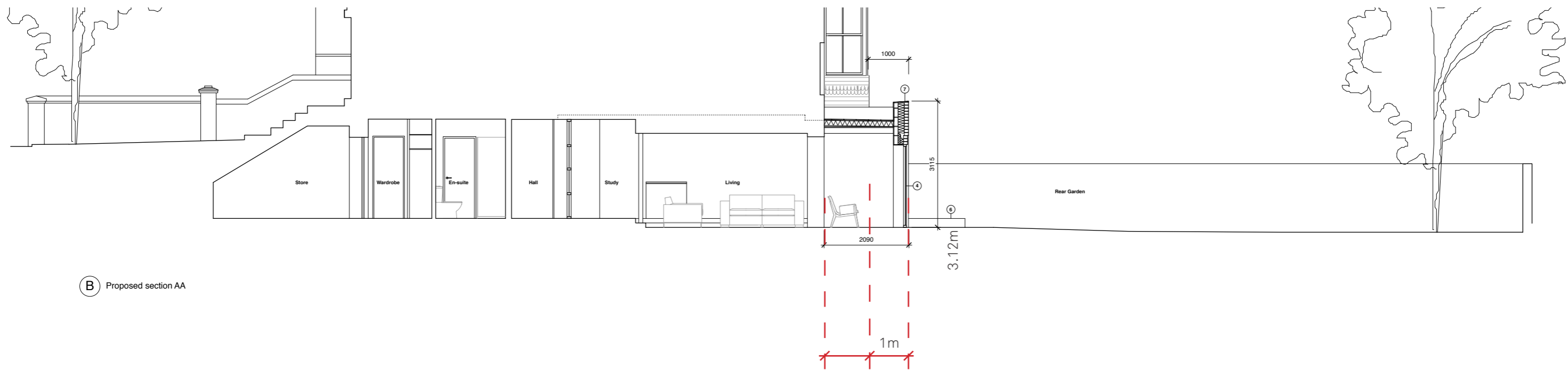


▲ Fig 19. Proposed eye level view showing recessed panel of decorative brickwork

5.3 Section drawings



▲ Fig 20. Existing Section



ⓑ Proposed section AA

▲ Fig 21. Proposed Section

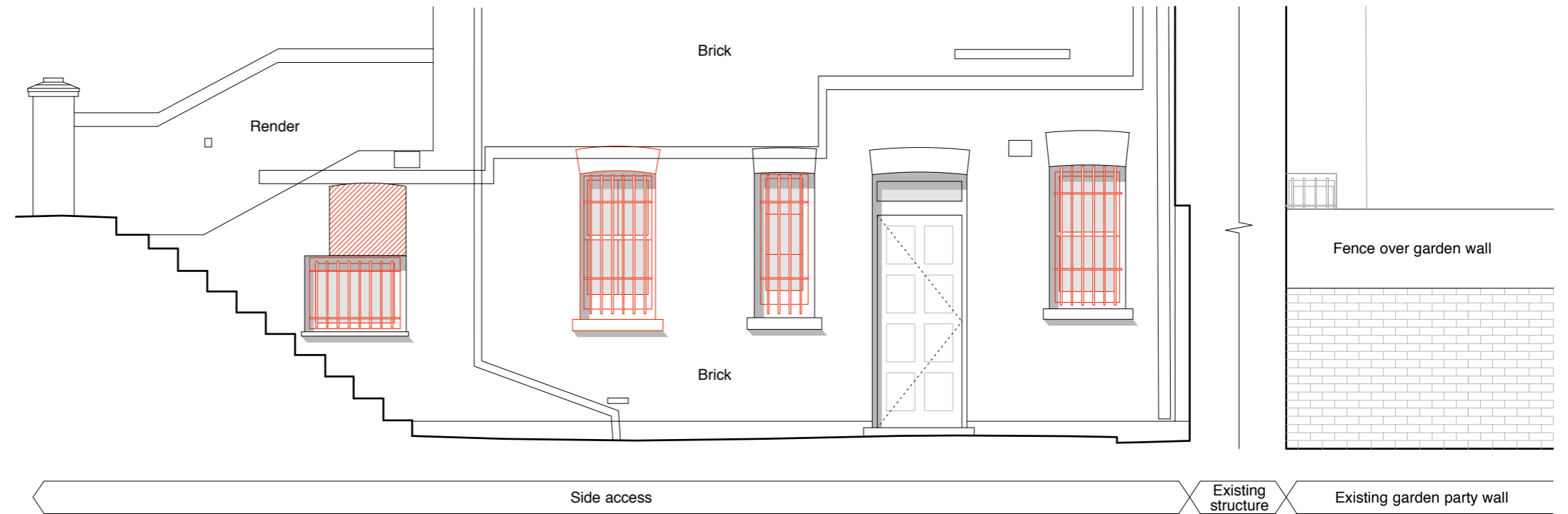
2.09m extension extends 1m beyond line of existing bay window



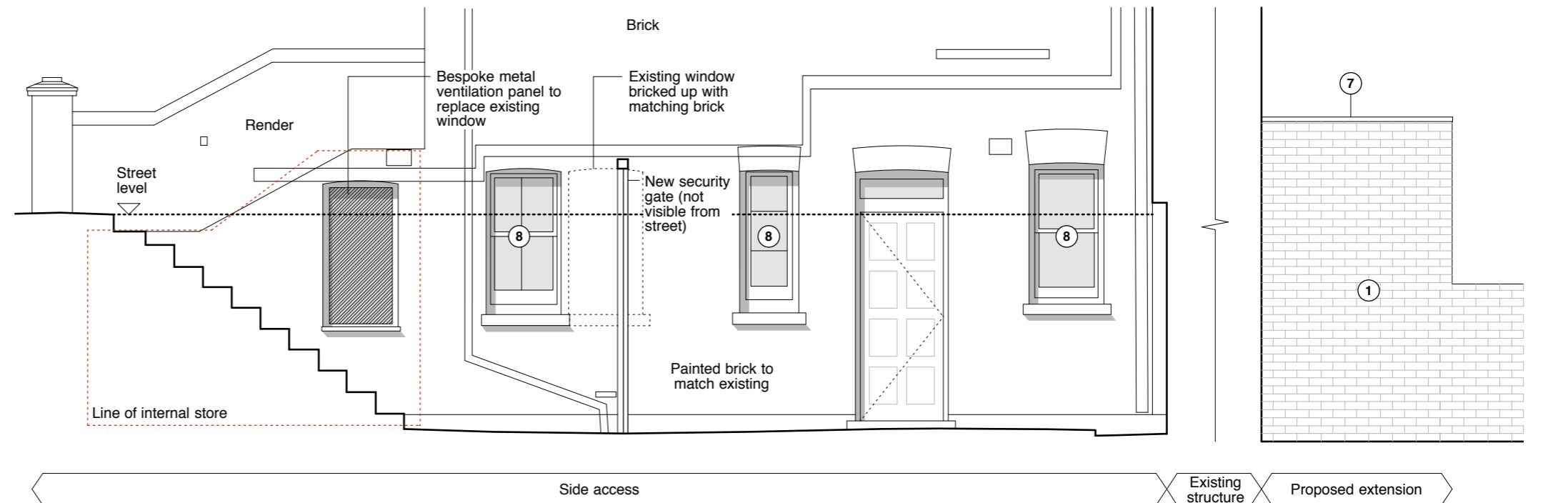
6. Side Elevations

6.1 Proposed changes

- 6.1.1 It is proposed to replace one existing side window with a bespoke metal perforated ventilation panel for a new air conditioning system. A noise impact assessment has been attached to this planning application and noise mitigation measures suggested in this report will be implemented. The assessment indicates an unlikely adverse impact on the receiver with the use of these measures.
- 6.1.2 It is proposed that all other windows will be upgraded from single glazed timber sash window to double glazed timber sash windows in a similar style and to remove the existing security bars (refer to heritage statement for details).
- 6.1.3 It is proposed to install a new bespoke metal security gate to the side of the building that will prevent tailgating and offer a sense of security outside of the front door.
- 6.1.4 The extension gable walls will be constructed using red brick similar to the existing bricks on the front elevation.



▲ Fig 22. Existing side elevation



▲ Fig 23. Proposed side elevation

Materials Key

- ① Flemish brick bond
- ② Herringbone decorative brickwork
- ③ Header / stretchers decorative lintel to match front elevation
- ④ New aluminium / timber composite windows with black frames
- ⑤ Aluminium hopper and down pipe
- ⑥ New landscaping
- ⑦ Lead flashing to new parapet
- ⑧ New slim line double glazed sash window to match existing

Note: All bricks red brick similar to existing bricks on front elevation

7. Summary

7.1 Summary

- 7.1.1** Volume & Massing - It is proposed to carry out internal layout changes and create a full width extension at the rear of the property. The extension will project out by 2.09m, and 1m beyond the existing extent of the bay window, creating approximately 8.8sqm of additional living space. The top of extension parapet will be no higher than 3.12m.
- 7.1.2** Internal layout - Significant layout changes will be made to the existing layout in order to rationalise the use of the space. Potential for the living area to be used as a future bedroom has been considered. The layout changes present an improved access between living spaces and the rear garden.
- 7.1.3** Sustainability - The existing windows in the property will be upgraded to double glazing, whilst retaining the window profile to preserve the character of the conservation area. One, subservient side elevation window will be replaced with a bespoke perforated metal ventilation panel for a new air conditioning system (refer to Heritage statement and elevations for details). Existing security bars will be removed to reinstate the original aesthetic. Additional insulation in the ceiling and walls of the new extension will help to improve the environmental properties of the dwelling.
- 7.1.4** Materiality - The extension will be built using a red brick similar to that used on the existing front elevation and widely around the local area. Decorative brick patterns sourced from the front elevation will be used to unify the windows. ■



▲ Fig 24. Existing

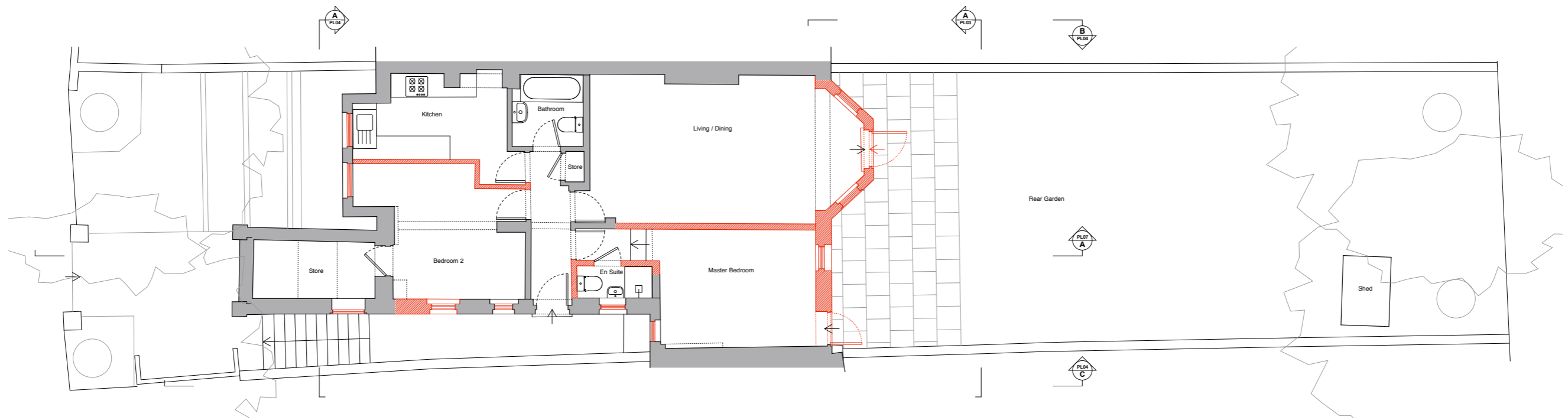


▲ Fig 25. Eye level proposal

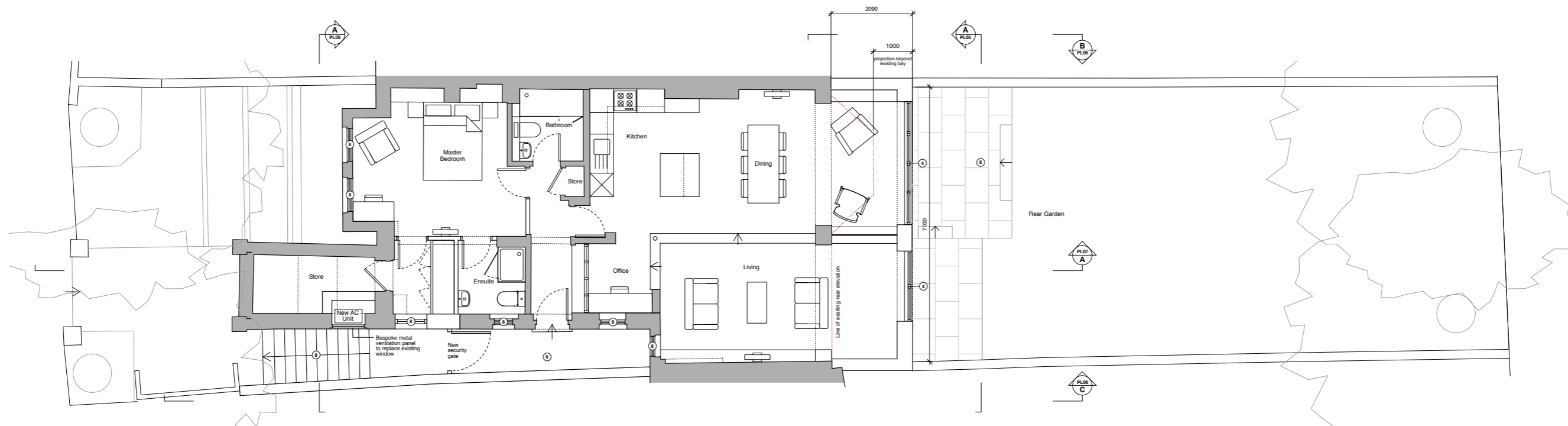


▲ Fig 26. Birds eye proposal

8. Appendix A - Drawings



(A) Existing lower ground floor



(B) Proposed lower ground floor

Materials Key		Key	
① Flemish brick bond	④ New aluminium / timber composite windows with black frames	⑦ Lead flashing to new parapet window to match existing	■ Existing
② Herringbone decorative brickwork	⑤ Aluminium hopper and down pipe	⑧ New slim line double glazed sash window to match existing	■ New Build
③ Header / stretchers decorative lintel to match front elevation	⑥ New landscaping	⑨ Note: All bricks red brick similar to existing bricks on front elevation	■ Structure to be demolished
			--- Line of existing building

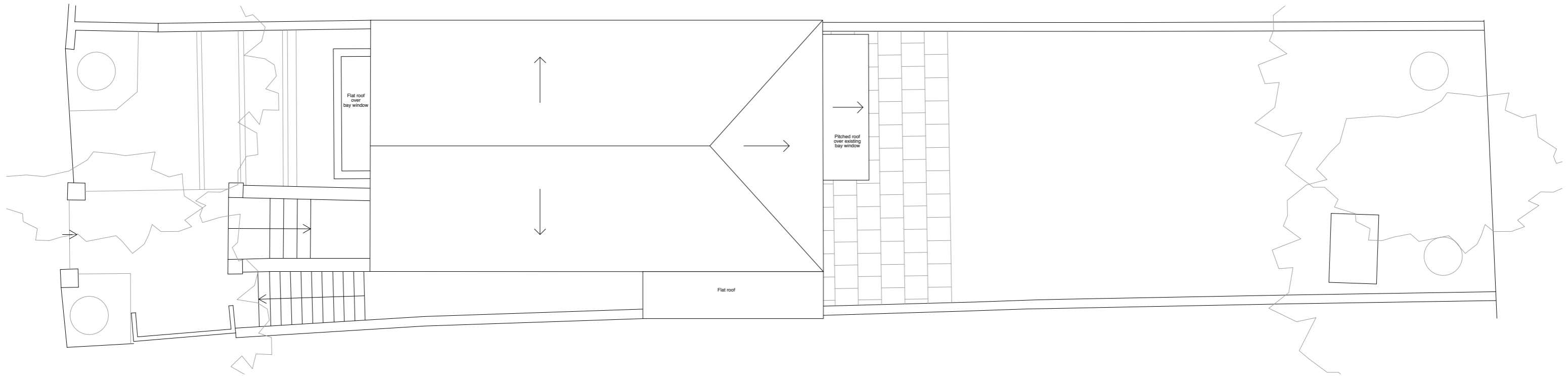
0 1 2 3m
 Drawings based on measured survey carried out by Omega Geo on 12.05.20

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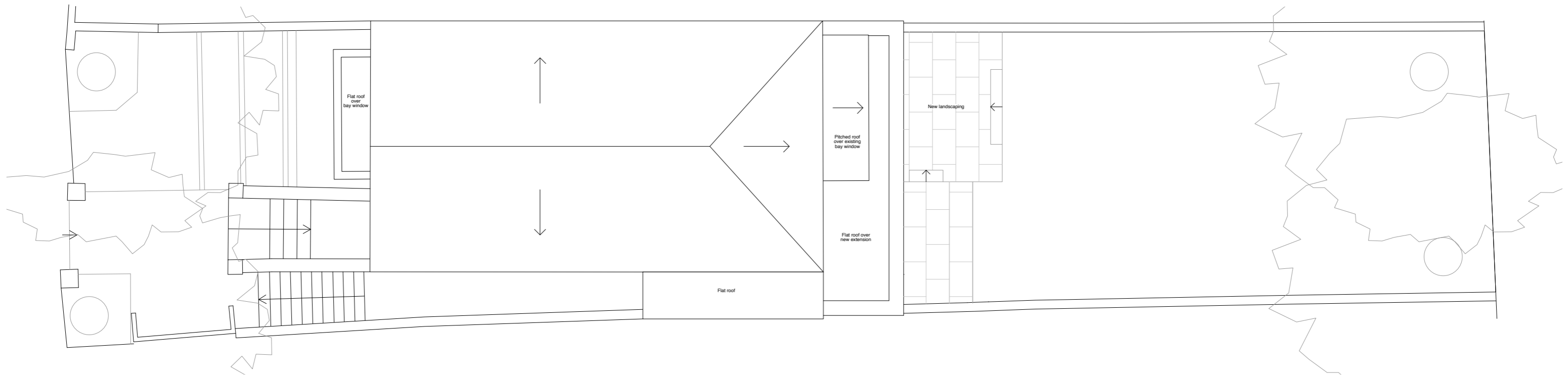
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 5. Dimensions critical to proposed building works must be checked on site before building works commence, as certain assumptions have been made due to lack of accessibility and anomalies in the existing building.

Other Notes

Revision	Date	By	Ck	Note	Project Address 56a Broadhurst Gardens	Drawing status Planning	Drawn OJ
					Existing & proposed LG floor plans	Date 22.06.2020	Checked MB
					Drawing number 1923 PL01	Scale 1:50 @ A1 1:100 @ A3	Revision -



A Existing roof plan



B Proposed roof plan



Drawings based on measured survey carried out by Omega Geo on 12.05.20 and photographs / aerial images for roof layout

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Other Notes

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Project Address
 55a Broadhurst Gardens
 Drawing
 Existing & proposed roof plans
 Drawing number
 1923 PL02

Drawing status
 Planning
 Date
 22.06.2020
 Scale
 1:50 @ A1
 1:100 @ A3

Drawn
 OJ
 Checked
 MB
 Revision
 -



A Existing Rear Elevation



B Existing Rear Elevation Photograph



Key

— Existing structure to be demolished

Drawings based on measured survey carried out by Omega Geo on 12.05.20
Elevation above lower ground floor based on brick dims / site photographs

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Revision Date By Ck Note

Project Address
55a Broadhurst Gardens

Drawing
Existing Rear Elevation

Drawing number
1923 PL03

Drawing status
Planning

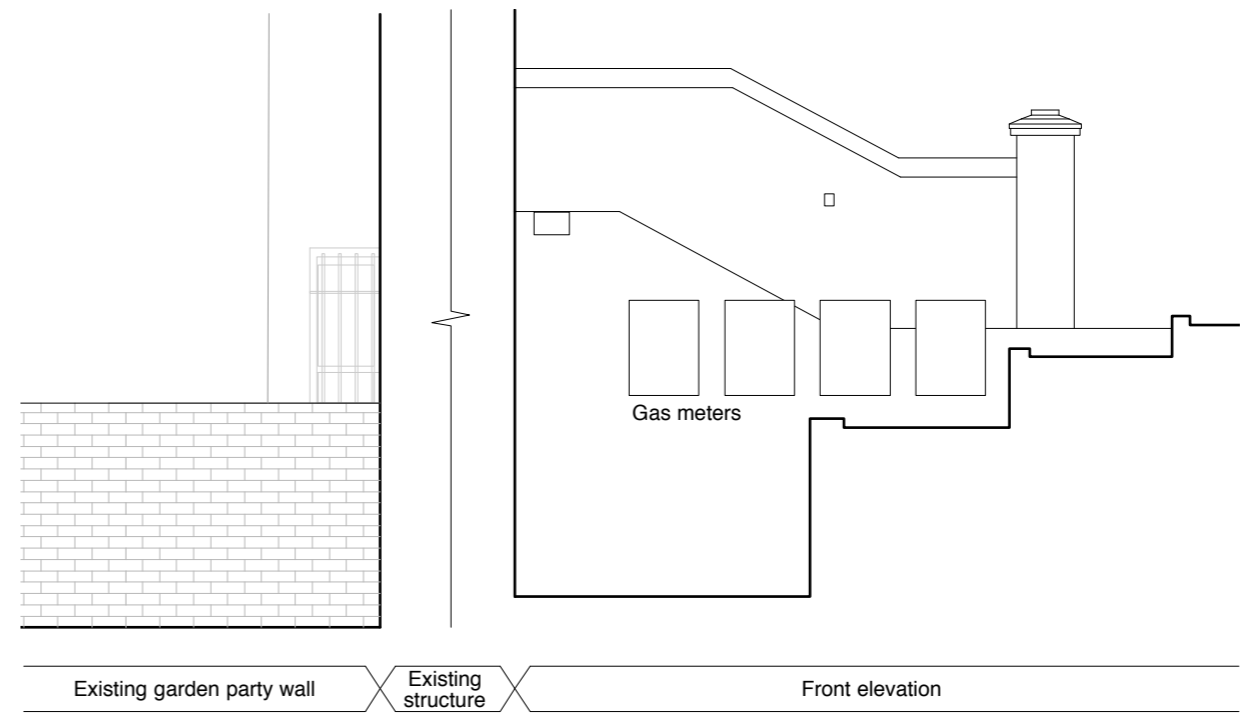
Date
22.06.2020

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Drawn
OJ

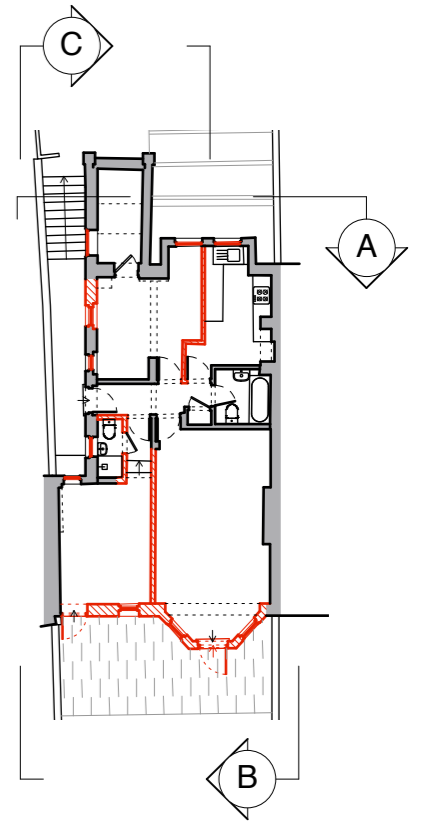
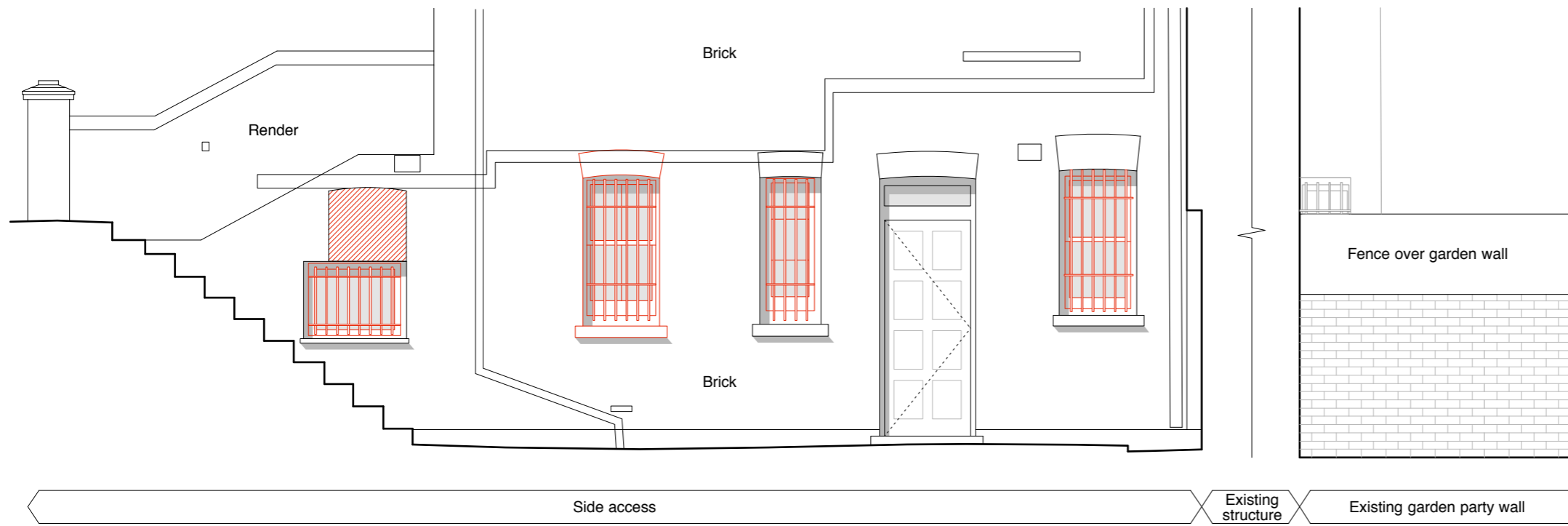
Checked
MB

Revision
-



A Existing Front Elevation

B Existing Side Elevation 01



C Existing Side Elevation 02

D Key plan



Key
 — Existing structure to be demolished

Drawings based on measured survey carried out by Omega Geo on 12.05.20

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Revision Date By Ck Note

Project Address
 55a Broadhurst Gardens
 Drawing
 Other Existing Elevations
 Drawing number
 1923 PL04

Drawing status
 Planning
 Date
 22.06.2020
 Scale
 1:50 @ A3

Drawn
 OJ
 Checked
 MB
 Revision
 -



A Proposed Rear Elevation



B Proposed Rear Elevation Sketch

Materials Key

- ① Flemish brick bond
 - ② Herringbone decorative brickwork
 - ③ Header / stretchers decorative lintel to match front elevation
 - ④ New aluminium / timber composite windows with black frames
 - ⑤ Aluminium hopper and down pipe
 - ⑥ New landscaping
 - ⑦ Lead flashing to new parapet
 - ⑧ New slim line double glazed sash window to match existing
- Note: All bricks red brick similar to existing bricks on front elevation



Drawings based on measured survey carried out by Omega Geo on 12.05.20
Elevation above lower ground floor based on brick dims / site photographs

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Revision Date By Ck Note

Project Address
55a Broadhurst Gardens

Drawing
Proposed Rear Elevation

Drawing number
1923 PL05

Drawing status
Planning

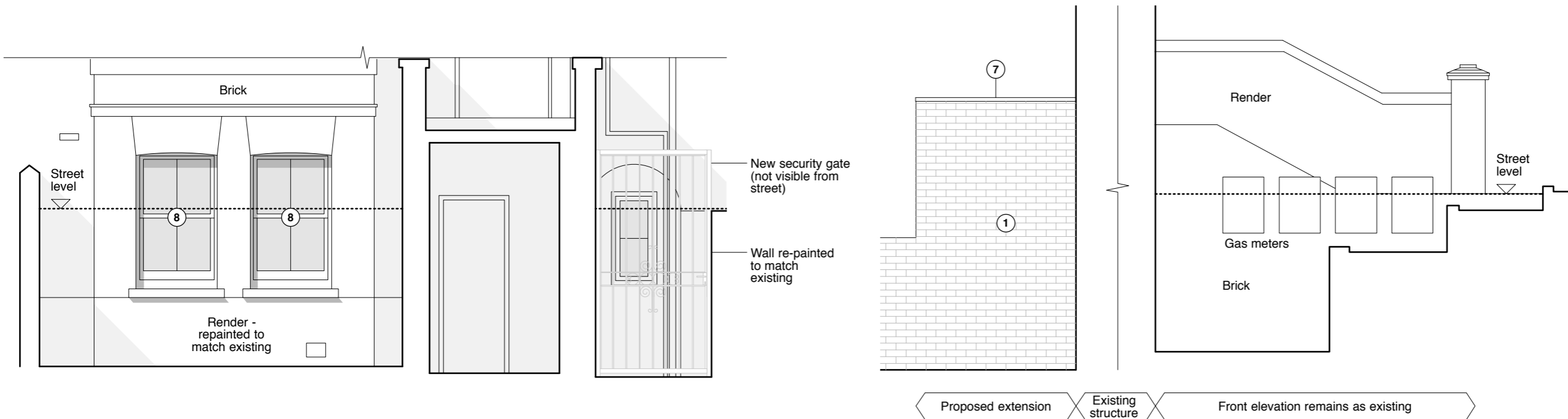
Date
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Drawn
OJ

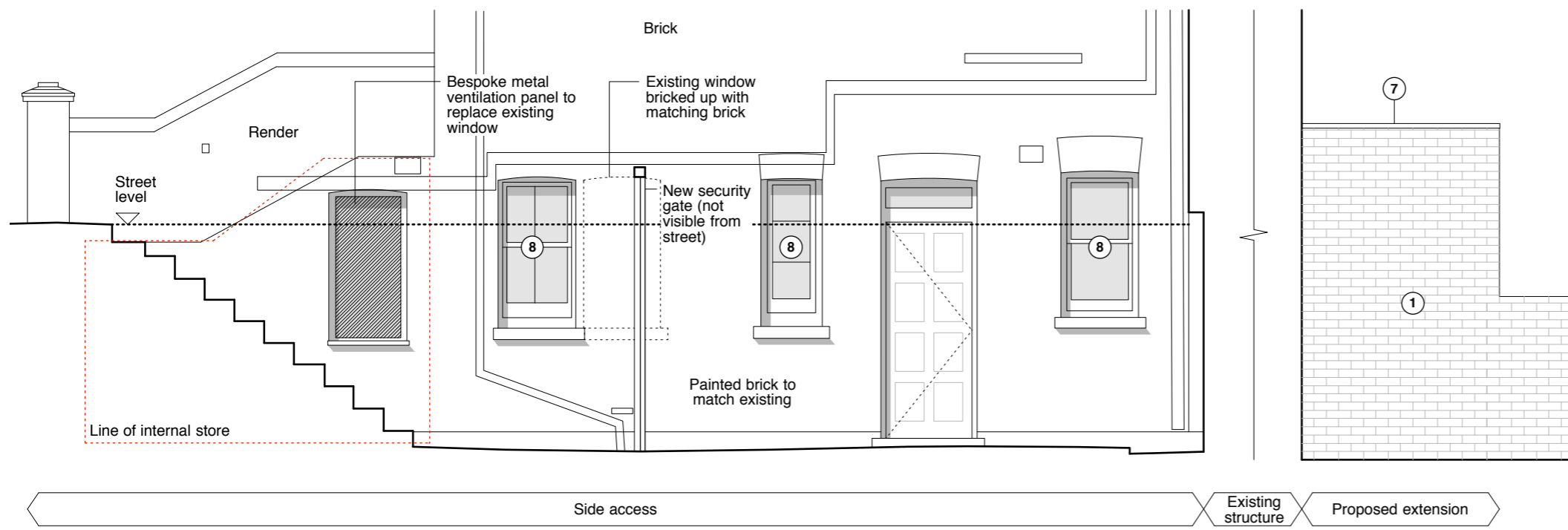
Checked
MB

Revision
-



A Proposed Lower Ground Front Elevation

B Proposed Side Elevation 01



C Proposed Side Elevation 02

D Key plan



Drawings based on measured survey carried out by Omega Geo on 12.05.20

Materials Key

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Revision Date By Ck Note

Project Address
55a Broadhurst Gardens

Drawing
Other Proposed Elevations

Drawing number
1923 PL06

Drawing status
Planning

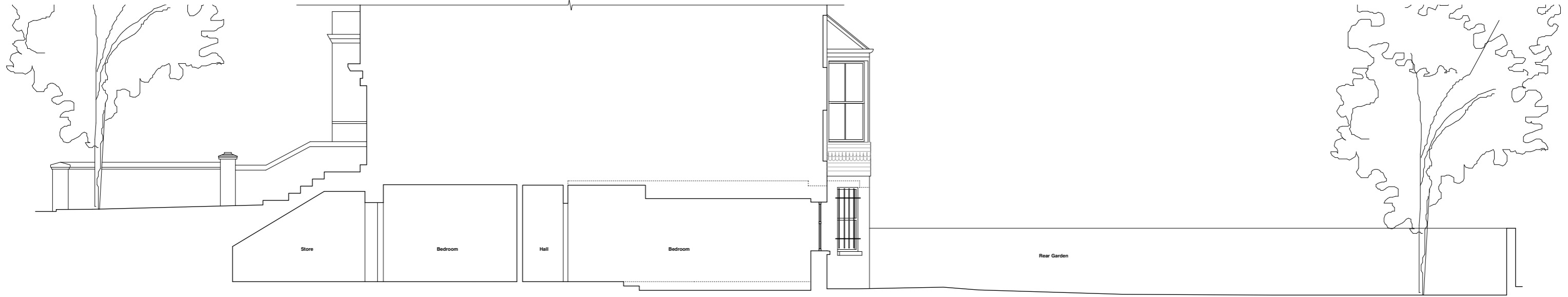
Date
22.06.2020

Scale
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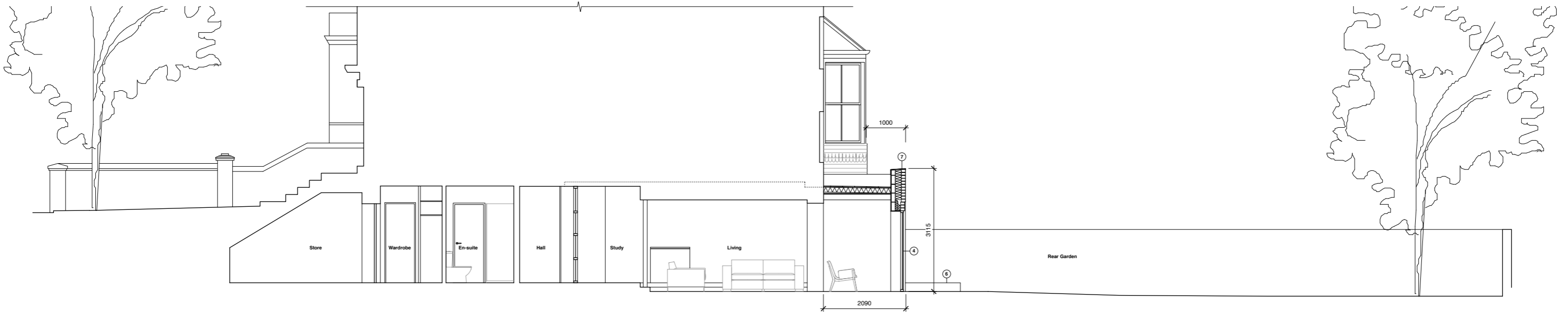
Drawn
OJ

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Revision
-



A Existing section AA



B Proposed section AA

Materials Key

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Note: All bricks red brick similar to existing bricks on front elevation



C Key plan

0 1 2 3m
 Drawings based on measured survey carried out by Omega Geo on 12.05.20
 Elevation above lower ground floor based on brick dims / site photographs

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Other Notes

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Project Address
 55a Broadhurst Gardens
 Drawing
 Existing & proposed sections
 Drawing number
 1923 PL07

Drawing status
 Planning
 Date
 22.06.2020
 Scale
 1:50 @ A1
 1:100 @ A3
 Drawn
 OJ
 Checked
 MB
 Revision
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