

CAMDEN MARKET

CHALK FARM GATE

LABTECH

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01.00 | Introduction

01.01 About the Project

This document sets out the proposals for the new main entrance 'portal' to Stables Market, Chalk Farm Road, Camden NW1.

There are no records of planning applications for the 'portal', which for the purposes of this application is defined as the structures above the entranceway which holds the 'Stables Market' sign. For many years this entrance gate has been signposted by a scaffold structure supporting the market sign. The scaffold has recently been removed and a new portal holding the sign has been erected. There have been no changes and there are no proposals to modify the metal gate that closes the entrance hence only the 'portal' is subject to approval under this application.

Labtech has a vision to sensitively refurbish the heritage assets of the site whilst improving the later buildings and the visitor market experience.

The key objectives of this vision are to provide vibrant new spaces and attract more visitors thus contributing to the dynamic and vitality of the Market.

01.02 Structure of the Document

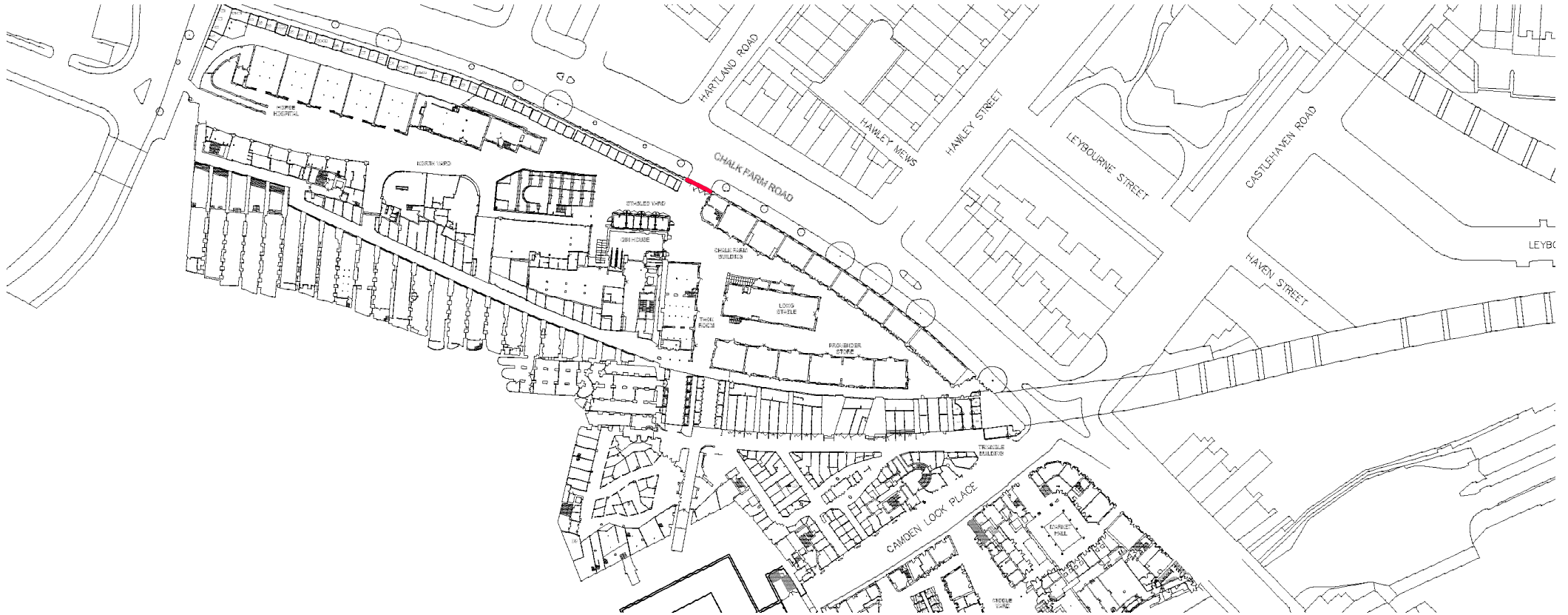
The Design and Access Statement (DAS) for Camden Stables Market main gate has been prepared having regard to guidance published by the Commission for Architecture and the Built Environment (CABE) and legislation described in The Town and Country Planning (Development Management Procedure) (England) Order 2013.

This DAS describes the proposals including the existing site, the development context and the layout, along with a description of public realm improvements as a result from the enhancement of the market entrance.

The Heritage Assessment for these works in the proximity of the Listed GII* Chalk Farm Wall and the Listed GII Chalk Farm Stable is included in this document.

02.00 | Development Context

02.01 Site Location



Drawings are not-to-scale and show the existing plan

02.02 Site Context

The Stables Market occupies the former stables complex developed by the London and North Western Railway Company from 1854. The site was vacated in 1973, and many of the buildings were demolished, tracks lifted, and various parcels of the land sold into different ownerships. After 1973 the sidings and Camden Lock were used for various light industrial and storage uses including garaging. The market activities started at the same time and continue to this day.

There are three main entrances to the Stables Market:

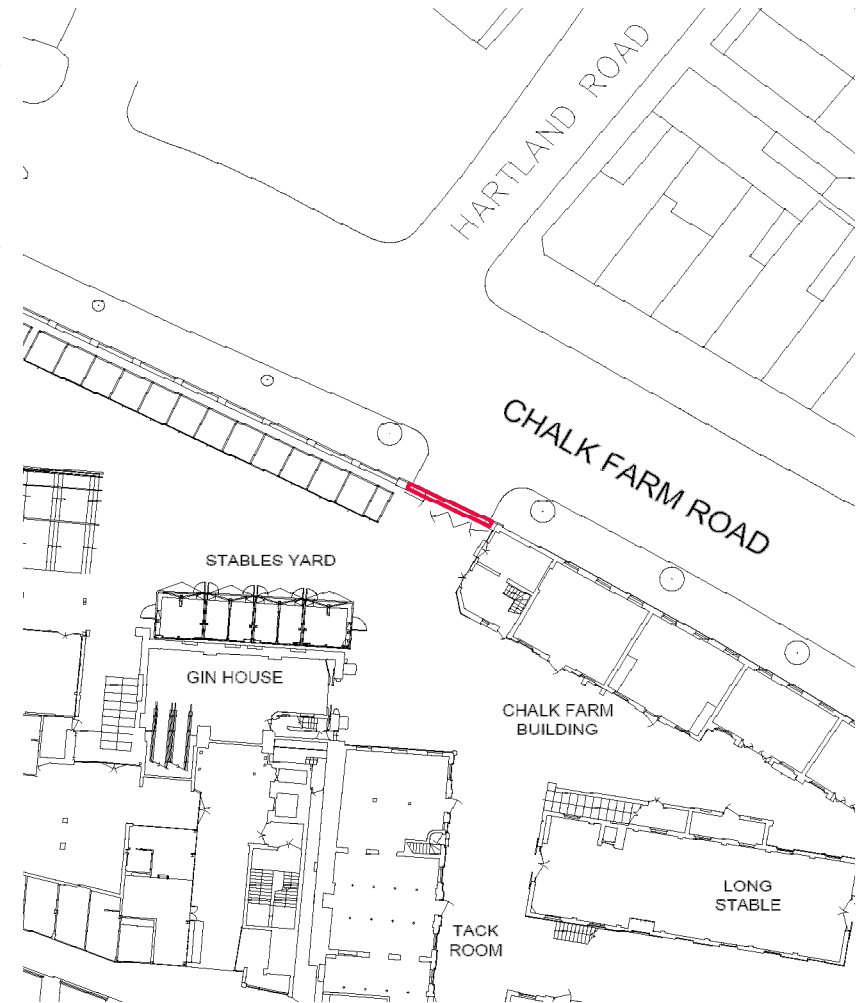
- 1) Camden Lock Place
- 2) Chalk Farm Road
- 3) North Yard West Entrance

These areas currently experience some issues of congestion, confusing identity, and lack of legibility of the market beyond. By refurbishing the entrance spaces, Labtech aim to create a more welcoming arrival and orientation experience for the visitors.

The Chalk Farm Road Gate, the subject site, brings visitors into the heart of the Stables Market, offering routes west into North Yard, or south towards the Horse Tunnel.

For many years, the entrance portal made of scaffolding tubes supporting a sign has degraded the historic built qualities of the Listed Grade II* Chalk Farm Wall to its west, the Grade II Listed Chalk Farm Stable to its east, and the positive contributor to the Regent's Canal Conservation Area Gin House straight ahead.

The entrance benefits greatly from a main portal that is more sympathetic to the site, which enhances and promotes the built heritage surrounding it.



Drawings are not-to-scale and show the existing plan

02.03 Existing Photos (Retrospective Application for Shown Signage)



02.04 Heritage Assets and their setting

The portal is situated in between the Listed Grade II* boundary wall of the Horse Hospital and the Listed Grade II Chalk Farm Stable. This application seeks Listed Building Consent for 4 metal brackets attaching the west side column of the gate to the Listed GII* Horse Hosipta wall pier. Applications for planning permission and advertisement consent (ref: 2020/1934/P and 2020/1970/A) are currently under determination for the retrospective installation of the portal and replacement of non-illuminated signage.

The boundary wall of the Horse Hospital pre-dates construction of the building. It was built in 1854–6 as a retaining wall to raise the level of the Camden Goods Depot. The wall retains infill and a roadway finished with granite setts. The roadway slopes up towards the west end where the horse ramp begins and curves around the Horse Hospital. Materials of the boundary wall include multi-coloured stock brick and stone used for the coping and sub-coping .

The Chalk Farm Stable abutting on Chalk Farm Road, was built in 1854 with an upper storey of in 1894. The long elevation fronting the road is mostly of 2 storeys with eaves cornice but on the western end, neighbouring the portal, is of one and a half storeys with chimney on the roof. The street façade has round-headed half windows for stabling on both the ground and upper floors.

Relevant Planning Policy and Guidance

The National Planning Policy Framework (NPPF) defines 'setting of a heritage asset' as 'the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral' (NPPF, Annex 2: Glossary, p.52)

The Setting of Heritage Assets: English Heritage Guidance 2011, highlights para 114 of the NPPF: 'The extent and importance of setting is often expressed by reference to visual considerations. Although views of or from an asset will play an important part, the way in which we experience an asset in its setting is also influenced by other environmental factors such as noise, dust and vibration [...] (NPPF, para 114).

The site falls within the Regent's Canal Conservation Area, a heritage corridor of unique character, but the elements which contribute towards the neighbourhood identity, are not necessarily confined to the conservation area or other boundaries.

The character of the environs developed over the years and, today largely derives from the presence of four distinct but interrelated elements: the Regent's Canal, Chalk Farm Road, the Railway viaduct and the market activities.

Chalk Farm Road is the principal thoroughfare in the area. The sequence of diverse views along Chalk Farm Road, defined by the built form and the curve of the road, prevents long distance views.

The Camden Wall – as these boundary walls are known – confers to Chalk Farm Road a sense of continuity and calmness with its regular progression of openings, but it is also a distinct barrier with its non-active frontage.

A strong change of character occurs behind the Stables Market gate, subject of this application. The market is enclosed and separated from the public realm by the impenetrable wall.

Beyond the gate subject of this application is the larger Stables Market, at the heart of the area widely known as Camden Market. The complex comprises the industrial horse stables and tightly enclosed courts leading off one another; their plan form being influenced by the horse towpath and stabling serving the vast railway goods yard and interchange traffic.

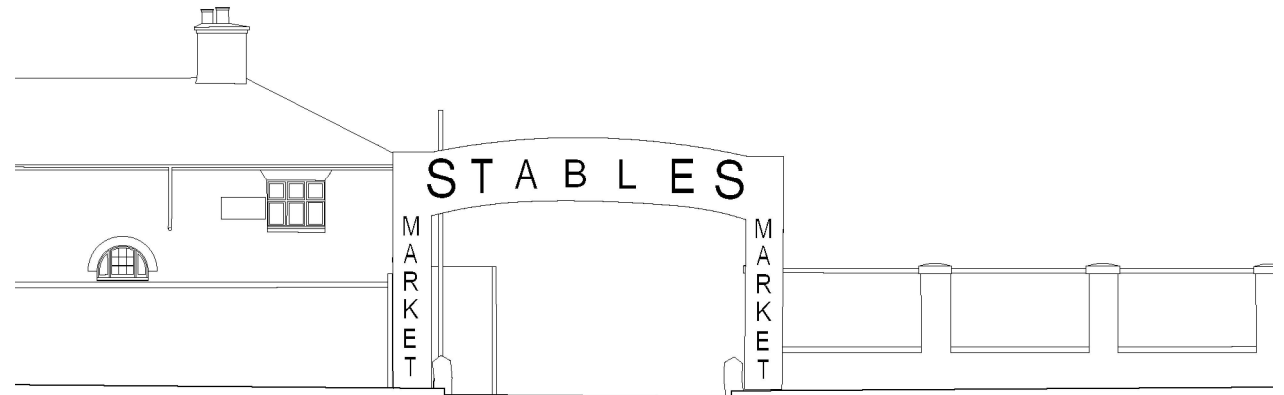
02.05 The Now Removed Portal Sign & North Elevation

Now removed portal condition:

1. Portal sign supported by temporary scaffold frame spanning across the wall opening
2. Steel post fixed to top of listed pier to support portal sign frame
3. Vertical steel posts fixed behind the brick piers to support the scaffold portal frame overhead
4. Brick piers obscured by painted plywood sheets cladding the scaffold portal

Return to original condition:

1. Existing brick piers stripped of the signs, fixings and coverings and reinstated
2. Existing stone bollards cleaned
3. Cobbles to entrance cleaned and repaired where required



Drawings are not-to-scale and show the proposed north elevation

Drawings are not-to-scale and show the existing north elevation

03.00 | Design Response

03.01 Design Look & Feel



Design inspirations that references the industrial heritage of the Camden Stables Market

03.02 Design Proposal & Proposed North Elevation

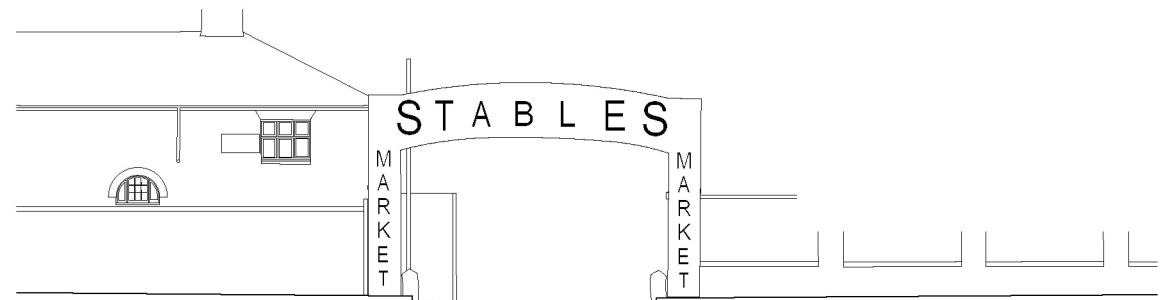
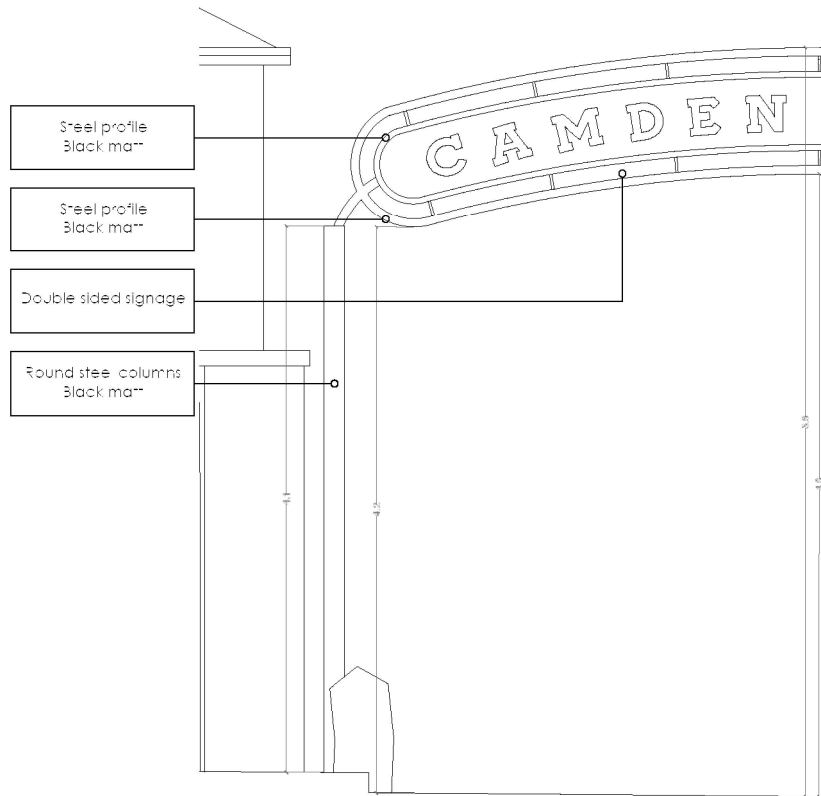
The proposed works subject of this application consisted of returning the brick piers to their original condition by stripping signs, fixings and coverings and installing the new portal.

The double sided sign consists in a main U-profiled steel frame connected to and supported by two round steel columns.

The columns themselves are anchored to the floor with squared metal plates screwed and resined to the ground, while the fixing on both sides is guaranteed by smaller metal plates - screwed and resined both to the mortar joints of the brick piers and to the structure of the gate.

The signage is not illuminated.

The proposals do not add any internal or external built areas.



Drawings are not-to-scale and show the proposed north elevation

04.00 | Heritage Considerations

04.01 Significance Assessment

The National Planning Policy Framework (NPPF) defines 'Significance' as 'The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting'. 'Conservation Principles, Policies and Guidance for the sustainable management of the historic environment', describes instead a range of heritage values, arranged in four groups, which may be attached to places as follows:

- Evidential value: the potential of a place to yield evidence about past human activity.
- Historical value: the ways in which past people, events and aspects of life can be connected through a place to the present – it tends to be illustrative or associative.
- Aesthetic value: the ways in which people draw sensory and intellectual stimulation from a place.
- Communal value: the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory.

The portal is situated in between the Listed Grade II* boundary wall of the Horse Hospital and the Listed GII Chalk Farm Stable.

The historical value of the boundary wall of the Horse Hospital is recognised by its statutory Grade II* listing, as an important part of the distinctive former stable. There are numerous surviving features throughout the Horse Hospital, although many have been disturbed or modified by subsequent changes of use and alteration, providing evidence of the original function of the building. The retaining wall in this part of Chalk Farm Road remains unaltered since its construction.

The Chalk Farm Stable is part of a group listing. As such, its main value is placed on their historic and architectural contribution to the complex to which it belongs. The interior of the building has been largely altered and stripped of some original elements however, the Chalk Farm elevation has retained its original features.

The Stables Market and its listed buildings have a strong identity and sense of place nurtured by the former historical industrial use. The original purpose of the stabling has been superseded. There are no possible horse-related activities that may be carried out within the site, and there have not been since the 1950's/60's. The market use established since the late 1970's/80's, is the reason why this area of Camden achieved worldwide recognition. The communal values of the site can be associated to the later but firmly established market function, as proved by the studies and polls carried out since its inception. The fact that the buildings are still in use brings together past and present common uses by the community, reaffirming its communal value.

The significance of the buildings and their Chalk Farm walls is considered high in all ranges of heritage values.

04.02 Impact of the proposed works in the significance of heritage assets

The proposed new portal aims to rectify the inappropriate former one, which detracted from the appreciation of the historic assets.

Historic England Conservation Principles accepts that change is part of the life of heritage assets: 'Change in the historic environment is inevitable, caused by natural processes, the wear and tear of use, and people's responses to social, economic and technological change'.

We believe that the proposed portal replacement is a necessary step to improve the setting of the Chalk Farm wall, and the impact is considered generally beneficial to the preservation of the values and significance of the listed buildings.

04.03 Planning Considerations

This section provides supplementary information about the extent of the impact of the proposals on the significance of the heritage assets affected in accordance with National and Local Policies.

Planning (Listed Building & Conservation Areas) Act – Section 66 & 72

Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that when considering whether to grant planning permission for development which affects a listed building or its setting, the decision maker shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 also provides that, in respect of development affecting conservation areas, special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.

- The proposed replacement portal and sign is considered a beneficial addition therefore the character and appearance of the asset and conservation area will be preserved.

National Planning Policy Framework March 2012 revised June 2019

16. Conserving and enhancing the historic environment

185. Plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. This strategy should take into account:

- a) the desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation;
- b) the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
- c) the desirability of new development making a positive contribution to local character and distinctiveness; and
- d) opportunities to draw on the contribution made by the historic environment to the character of a place.

Proposals affecting heritage assets

190. Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

192. In determining applications, local planning authorities should take account of:

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- c) the desirability of new development making a positive contribution to local character and distinctiveness.

Considering potential impacts

193. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

-The impact of the removal and replacement of the portal by the listed wall has been assessed as generally beneficial; the metal straps securing the columns to the listed wall pier have been attached to the mortar joints and can be removed without further damage.

-It is our belief that the new portal will contribute to the character and will support the continued success of the market and the listed buildings within therefore securing their long-term future.

The London Plan March 2016

The London Plan defines the overall strategic plan for London, setting out an integrated economic, environmental, transport and social framework for the development of London over the next 20–25 years.

Policy 7.8 – Heritage assets and archaeology

Strategic

A – London's heritage assets and historic environment, including listed buildings, registered historic parks and gardens and other natural and historic landscapes, conservation areas, World Heritage Sites, registered battlefields, scheduled monuments, archaeological remains and memorials should be identified, so that the desirability of sustaining and enhancing their significance and of utilising their positive role in place shaping can be taken into account.

B – Development should incorporate measures that identify, record, interpret, protect and, where appropriate, present the site's archaeology.

Planning decisions

C – Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.

D – Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.

E – New development should make provision for the protection of archaeological resources, landscapes and significant memorials. The physical assets should, where possible, be made available to the public on-site. Where the archaeological asset or memorial cannot be preserved or managed on-site, provision must be made for the investigation, understanding, recording, dissemination and archiving of that asset.

Supporting text

4.29 – London's built and landscape heritage provides a depth of character that has immeasurable benefit to the city's economy, culture and quality of life. [...] Ensuring the identification and sensitive management of

London's heritage assets in tandem with promotion of the highest standards of modern architecture will be key to maintaining the blend of old and new that gives the capital its unique character.

4.30 – Crucial to the preservation of this character is the careful protection and adaptive re-use of heritage buildings and their settings. [...]

7.31A – Substantial harm to or loss of a designated heritage asset should be exceptional, with substantial harm to or loss of those assets designated of the highest significance being wholly exceptional. Where a development proposal will lead to less than substantial harm to the significance of a designated asset, this harm should be weighed against the public benefits of the proposal, including securing its optimal viable use. [...]

–It is considered that the proposal will have a beneficial impact by enhancing the Chalk Farm wall, therefore no harm will be caused by the proposed intervention to the heritage assets at large.

Draft New London Plan 2019

The 2019 'consolidated' version of the London Plan shows all of the Mayor's suggested changes following the Examination in Public (EiP) of the draft Plan. Although not yet adopted, the New Plan policies are a material consideration as they hold weight, albeit limited weight, in decisions going forward. As such the proposal has considered this version of the Plan policies.

The new London Plan sets out the concept of Good Growth. Good Growth is about working to re-balance development in London delivering a more socially integrated and sustainable city, where people have more of a say and growth brings the best out of existing places while providing new opportunities to communities.

Chapter 1 Planning London's Future (Good Growth Policies)

1.0.7 This London Plan takes a new approach. It plans for growth on the basis of its potential to improve the health and quality of life of all Londoners, to reduce inequalities and to make the city a better place to live, work and visit. It uses the opportunities of a rapidly-growing city to plan for a better future, using each planning decision to improve London, transforming the city over time. It plans not just for growth, but for Good Growth – sustainable growth that works for everyone, using London's strengths to overcome its weaknesses.

Chapter 7 Heritage and Culture Policy HC1 Heritage conservation and growth

A – Boroughs should, in consultation with Historic England, local communities and other relevant statutory and relevant organisations, develop evidence that demonstrates a clear understanding of London's historic environment. This evidence should be used for identifying, understanding, conserving, and enhancing the historic environment and heritage assets, and improving access to, and interpretation of, the heritage assets, landscapes and archaeology within their area.

C Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings, should also be actively managed. Development proposals should seek to avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.

Camden Local Plan 2017

The Camden Local Plan sets out the Council's planning policies and replaces the Core Strategy and Development Policies planning documents adopted in 2010. The Local Plan will cover the period from 2016–2031.

Policy D2 Heritage

The Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

Designated heritage assets

Designated heritage assets include conservation areas and listed buildings. The Council will not permit the loss of or substantial harm to a designated heritage asset, including conservation areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss [...]

Policy D2 Listed Buildings

To preserve or enhance the borough's listed buildings, the Council will:

- j. resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and
- k. resist development that would cause harm to significance of a listed building through an effect on its setting.

- The proposals have been designed taking in consideration the above policies and guidance. The significance of the assets has been assessed according to the Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment, HE 2008.
- It is our belief that the proposals are generally beneficial, improving the setting of valuable heritage assets and safeguarding the significance that the Chalk Farm wall and the stables complex hold for present and future generations.
- It is considered that the proposed alterations do not affect the special interest of the listed buildings; the level of proposed intervention is acceptable in conservation terms and is substantiated by the research undertaken.

05.00 | Access Statement

05.01 Summary

This section outlines how the principles of inclusive design are incorporated to ensure all facilities are accessible to all users. It is also set out how these principles will be managed and sustained.

These principles were maintained at construction stage and adopted into the facilities management strategy.

The standards which have been used for statutory requirements and best practice guidance are:

- Equality Act 2010
- Approved Document Part M of the Building Regulations
- BS8300:2009 Design of building and their approaches to meet the needs of disabled people.

The location of the site is very well served by the public transport. The nearest underground station is Camden town, which is step-free. The nearest overground station is Camden Road, which is step-free as well. There are 11 bus routes serving the area within five-minute walk, the site has a PTAL rating of 6a.

The hard-standing immediately surrounding the entrance area is of historic granite setts, which contribute to the heritage value of the Conservation Area.

There are no proposed changes to the existing access arrangements.

06.00 | Conclusion

06.01 Summary

The refurbishment of the portal intends to enhance the entrance to the market and the public realm in its immediate surrounds. The fixings to the historic wall are minimal and secured to the mortar joints in the brickwork, and are necessary to support the portal and make it safe.

The proposals have been designed taking in consideration the National Planning Policy Framework 2012, The London Plan 2016, and the Camden Local Plan 2017. The significance of the assets has been assessed according to the Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment, HE 2008.

The new portal and sign seek to provide this main access with a refined industrial aesthetic quality, in-keeping with the historic environment, without compromising the unique character of the market in general and the heritage assets in particular.

07.00 | Appendix

Refer to the planning drawings in the attachment provided