

Architect Your Home Camden
4 Dartmouth Park Road
London
NW5 1SY

Job Nr. 08CAM-255 Contact: Andris Berzins 0207 485 3133

Development Management

Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London WC1H 9JE

29 June 2020

Dear Sir/Madam

Town and Country Planning Acts 1990 (as amended)
3 Lyncroft Gardens, London NW6 1LB :
Planning Consent: 2019/0718/P
Enforcement Ref: EN20/0374

Dear Sir/Madam

We refer to a letter from Camden Development Management dated 15 June 2020 and on behalf of our clients Ms Nemone Franks and Mr John Patrick Boylan, the applicants, we are making a submission for a "Non-material Amendment" to the planning consent **2019/0718/P**.

The matter concerns the new window to the front bay of the basement area where renovations and alterations have reached an as built situation that differs, albeit modestly, from the approved drawings and in particular the front elevation drawing 08-255; 09B.

The application for your consideration is illustrated in a set of 3 drawings in file **08-255 Scheme Drwgs NMAAppl Basement.pdf**

- 08-255; 01A showing location site and photographic images
- 08-255; 09D showing the consented proposals
- 08-255; 12 showing the as built for which approval is sought.

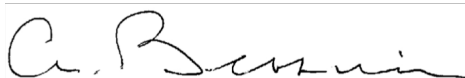
The issues shaping this amendment application are:-

- the consented new window to the basement alterations was a top hung single sash that had a dimension of **1100 x 700mm**, its height being limited by external ground level in the front yard
- in executing the renovations and alterations it was necessary to form a small shallow depth well in front of the bay to facilitate soil removal and this is now kept without raising the height of existing masonry dwarf retaining walls to the existing external step access into the basement area
- the creation of the small well then provided an opportunity to lower the proposed window cill to form a square opening **1030 x 1030mm** that could take a DH sash window more in keeping with the front elevation of the property
- the white painted steel security grille in front of the window was a reaction to repeated break-in and burglary during the renovation works.

We trust that you will find the amendment logical and sensitive; indeed an improvement, and the formation of a hard standing re-cycle bin area behind the retained hedge is surely an environmental asset to the property and the street.

In conclusion we would mention that inspection of similar terrace properties in Lyncroft Gardens shows a number of basement alteration windows that vary both in size, type and number of openings to the bay. Images can be supplied on request, and we are confident that you will find the as-built solution for nr.3 to be appropriate to the context

Yours sincerely



Andris Berzins