

NATASHA REID
design

Design & Access Statement

June 2020

Alterations to
2 St Paul's Crescent, NW1

1.0 Overview of Scheme

The proposal is to carry out alterations to an existing residential property through a sympathetic and sensitive design approach.

The proposed single-storey full width addition is to reduced and new glazing introduced.

Overall the proposed design seeks to:

- Preserve and pay respect to the original building with a subservient extension
- Preserve and enhance the Conservation Area
- Provide improved residential accommodation
- Create no adverse harm or impact on neighbouring amenities



No. 2

2.0 Site context

2 St Pauls Crescent is located in the London Borough of Camden, within the Camden Square Conservation Area.

The applicant's property is situated on the north side of St Pauls Crescent. St Pauls Crescent runs north south from Marquis Road to the north and cuts across Agar Grove to the south, ending in a cul-de-sac of the Maiden Lane estate. The immediate locality can be described as predominantly residential.

The existing extension at the property has been carried out in a piecemeal approach, resulting in the internal layout at the rear of the property being highly constrained and dark.

The property is not listed.

St Pauls Crescent forms part of a planned grid layout of estate development, set out from Camden Road in the mid to late 19th Century. Many of the houses in the conservation area were built with the intention of attracting "middle-class" residents to an increasingly populated area with good railway links

Existing building

2 St Pauls Crescent is a single family dwelling.

The property is a Victorian end of terrace house constructed of London stock yellow brick.

The building's front elevation has a large set of steps leading to the front door. By the door is a small porch with a stucco portico detail that is mirrored on the large sash window adjacent to the main entrance. A band of white stucco runs along the ground floor storey. The front garden is walled with two gates and has been paved.

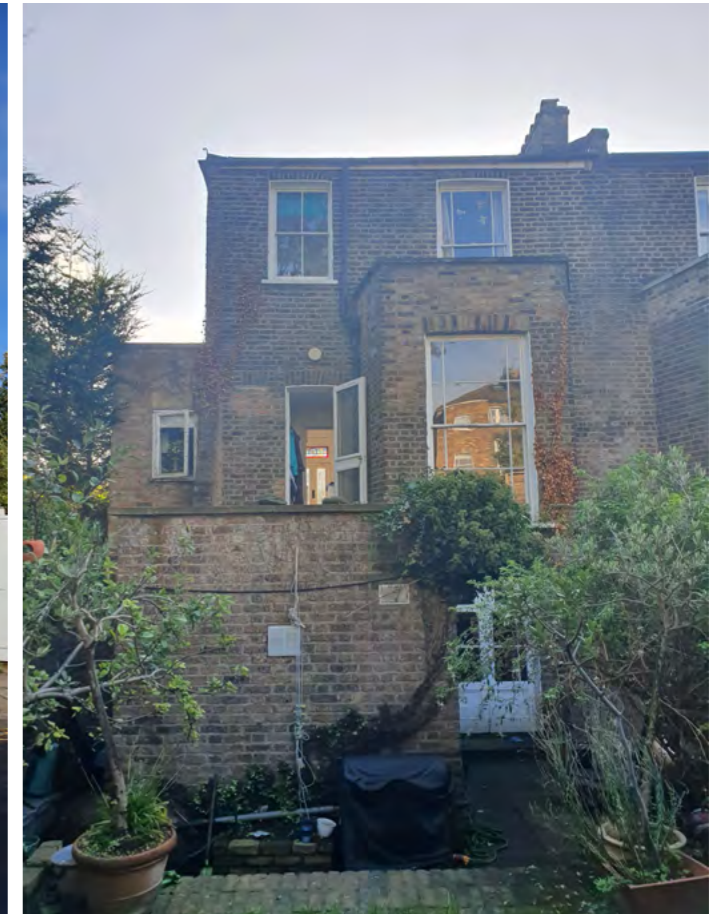
Access to the property is also possible via a door located on the side of the external stairs. The rear of the house has a two storey masonry bay window with windows facing out directly into the garden. There is an existing extension to the rear, alongside the bay window element.

The building has a tiled roof with chimney stacks on the party wall line.

Since the property is part of a terrace there are no views of the back garden from the street.



Existing front elevation



Existing rear elevation and extension



Policy

The proposal has been developed in alignment with the following policies and documents;

Camden Local Plan 2017

A1 - Managing the Impact of Development

D1 - Design

D2 - Heritage

7.46 - 7.47 Conservation Areas

7.54 Details

Camden Square Conservation Area Appraisal and Management Strategy

Part 2: Camden Square Management Strategy

Policies: 7.7.7 - Alterations and Repair

7.11 - Rear garden spaces

London Plan 2011

Policies: 3.5 - Quality and Design of Housing Developments

7.4 - Local Character

7.6 - Architecture

Precedent

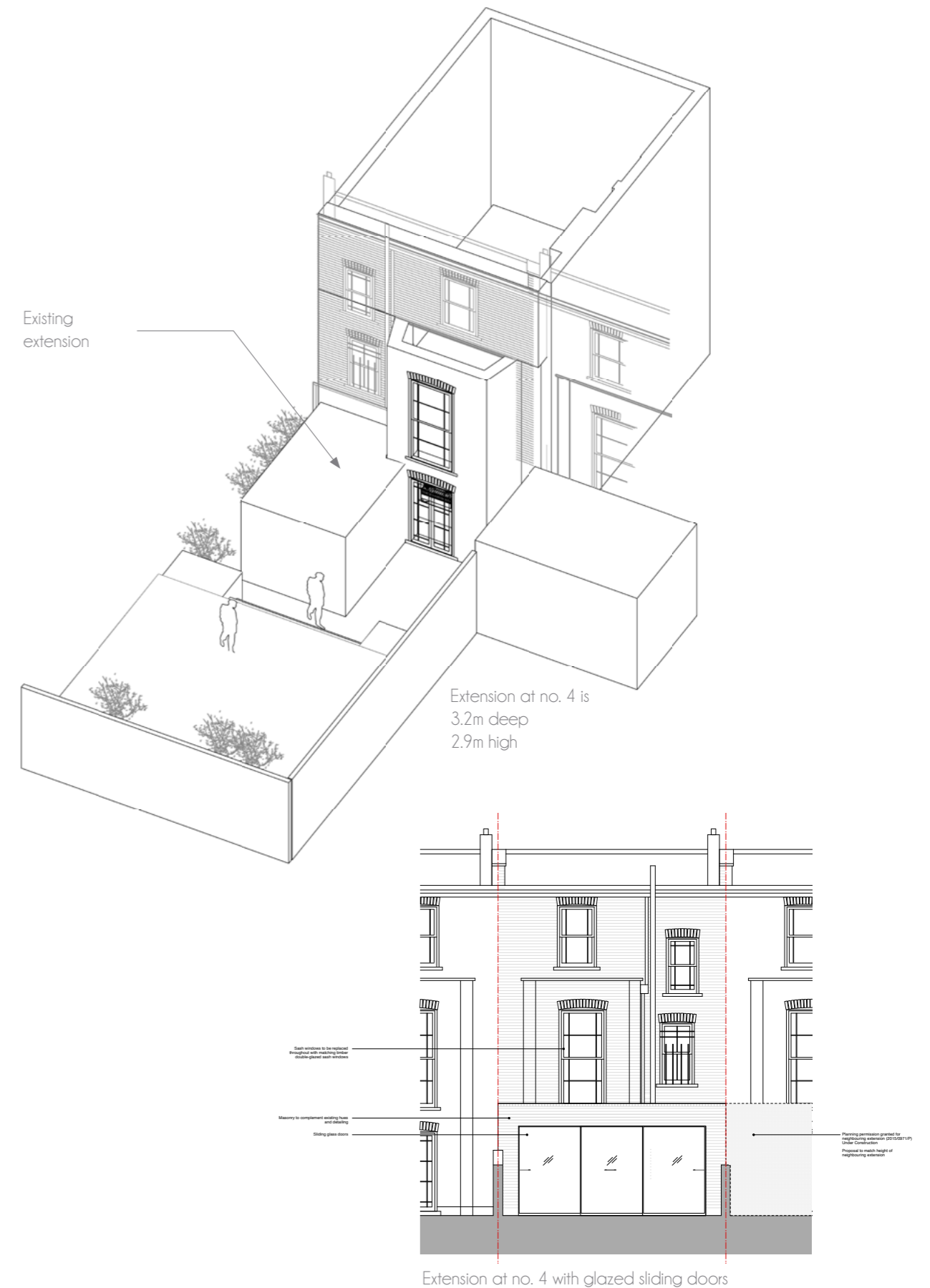
The neighbouring property at no. 4 has a full width extension with sliding glazed doors.

A number of the properties on St Pauls Crescent have rear extensions which vary in size, shape and use of materials.

The proposed reduction of the extension to No. 2 is in keeping with the size and scale of other extensions along the street and will not adversely affect the character of the original building or the Conservation Area.

Planning History

Planning permission has been recently granted for a larger full width extension and alterations to the existing windows - please see application Ref: 2019/5760/P



Proposal

3.0 Proposal

The proposals are all at ground floor level and comprise the following:

- to reduce and enhance an existing poorly constructed extension with high quality, well-detailed glazing
- To replace existing rear windows with steel-look french doors
- To alter existing 1 existing ground floor windows to the side elevation
- New metal ballustrade to a first floor terrace (granted permission in 1973)

The proposal will provide a more unified residential space, with improved light internally. It will improve the exterior appearance of the building through a uniform approach.

The design approach has been to draw from the form, scale and materiality of the existing building.

The proportions of the new bifold doors echo the proportions of the windows above.

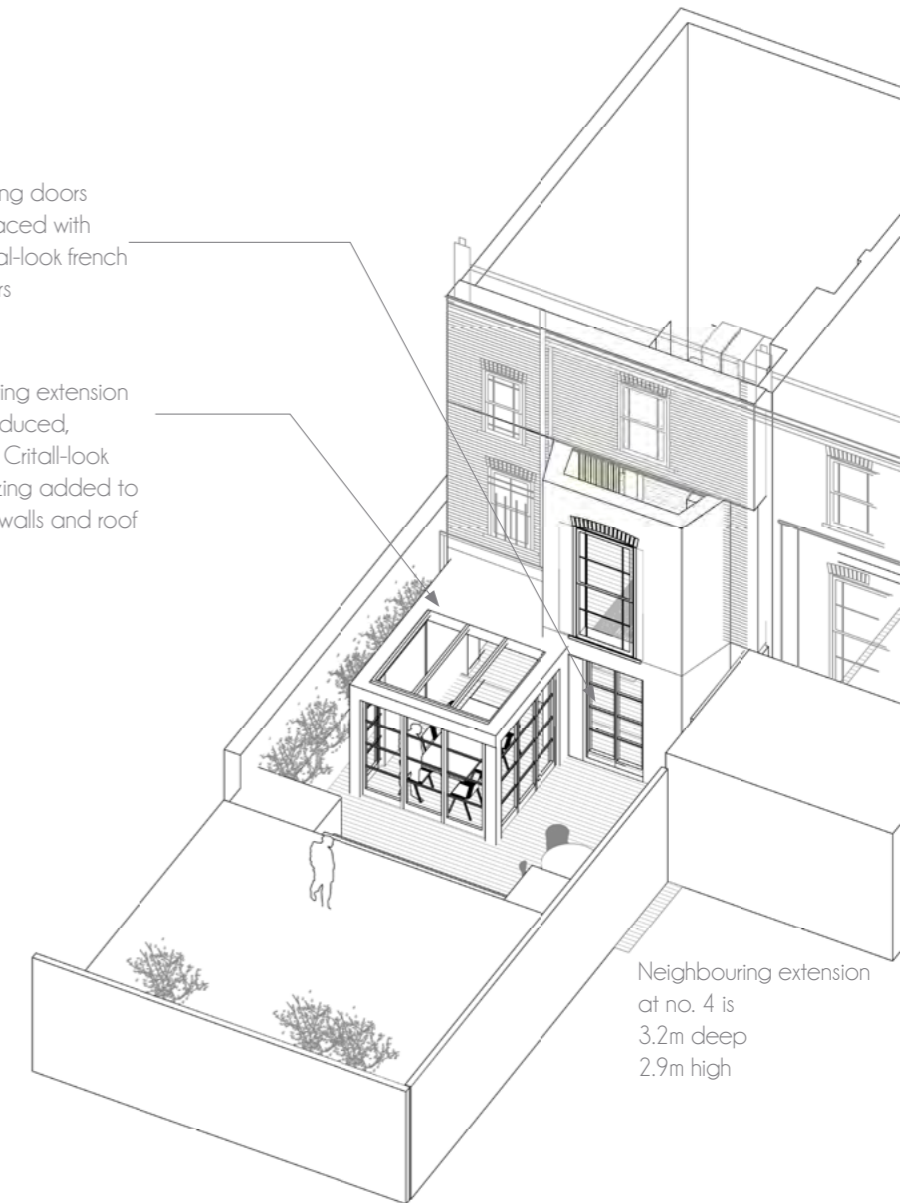
The scale and massing means the extension remains is subordinate to the main house.

The materials of the proposed extension will respond to and complement the materials of the existing building and the neighbouring buildings.



Existing doors replaced with Crittall-look french doors

Existing extension is reduced, with Crittall-look glazing added to the walls and roof

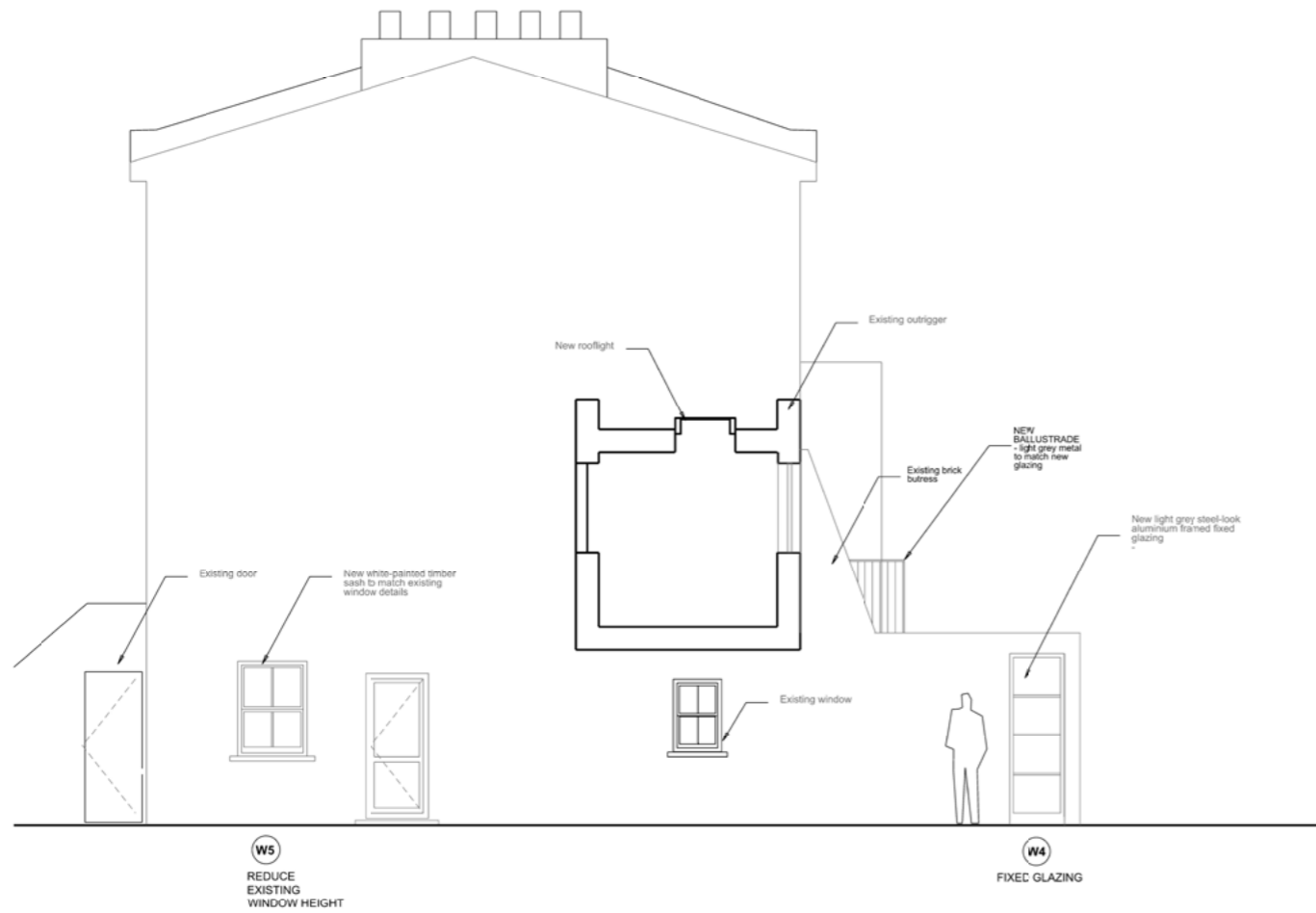


Neighbouring extension at no. 4 is 3.2m deep 2.9m high

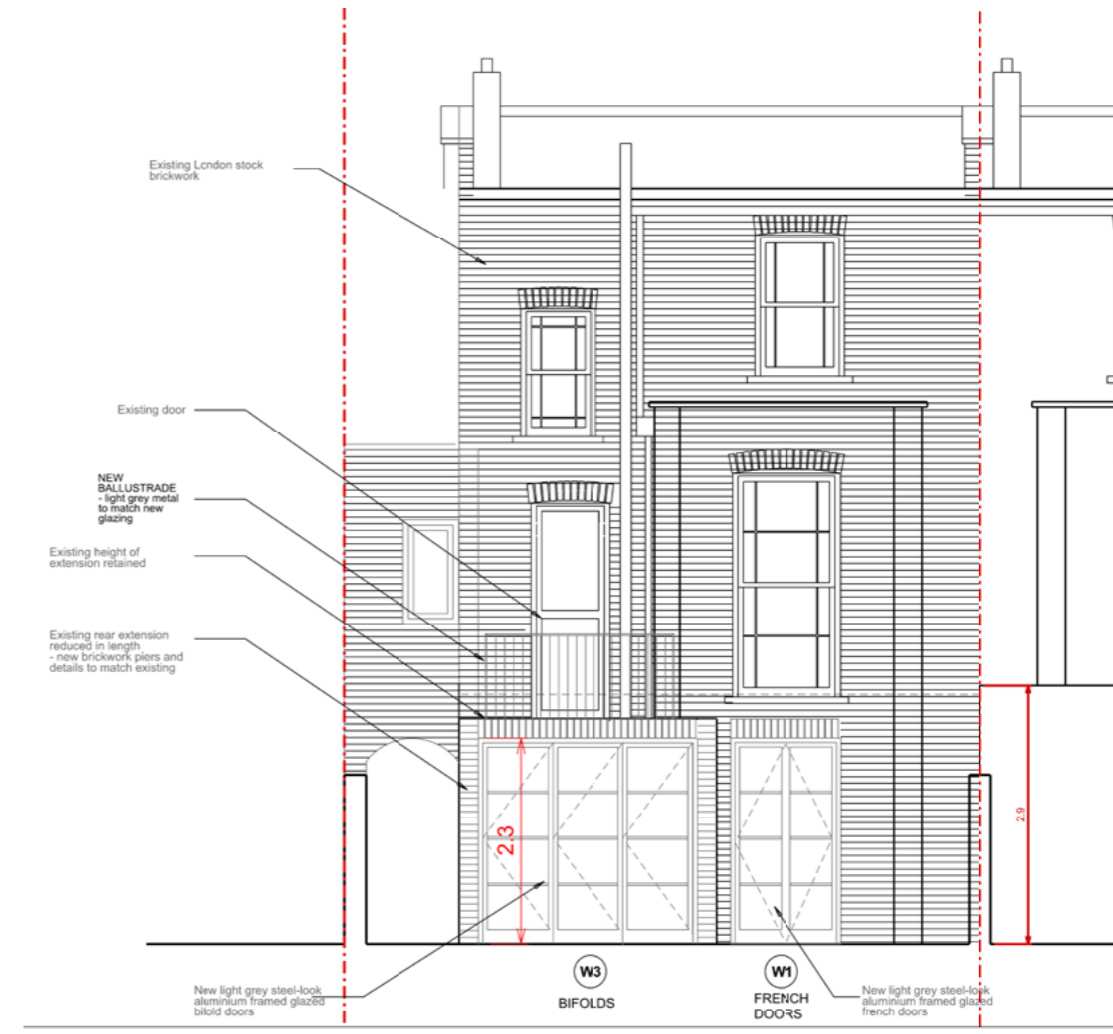


Examples of use of Crittall-look glazing with historic London terraces

Examples of rooflight



Proposed replacement glazing at the side elevation



Proposed front and rear elevations



Reference for light grey colour to crittal-look glazing

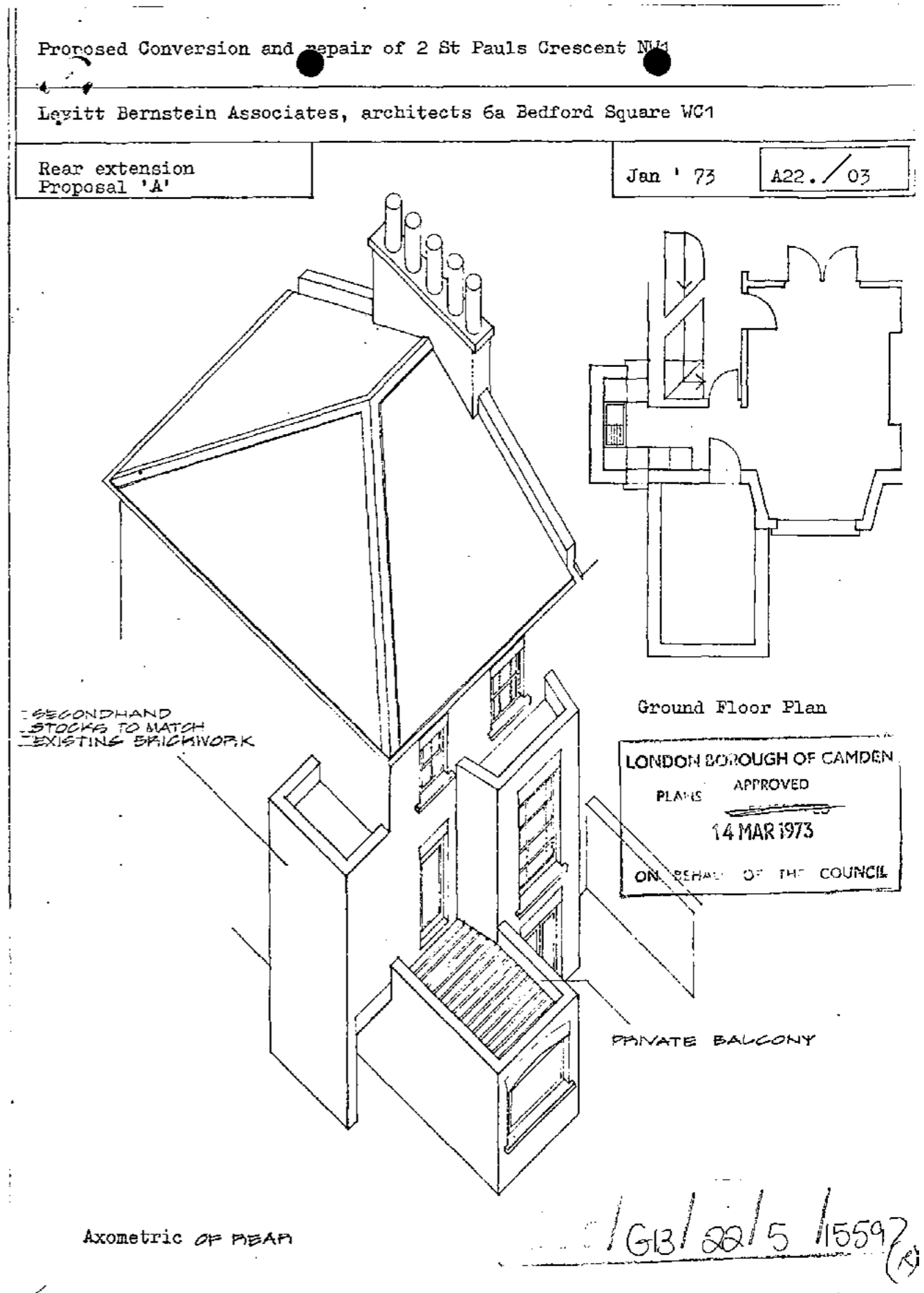
Terrace

Light grey metal railings are proposed to the existing terrace which was previously been granted permission in 1973.

The terrace area is visually sheltered by the bay on one side, and the existing brick buttress on the other. The additions of railings would provide safety and would not impact neighbouring amenity.



Photos of terrace and brick buttress



Permission granted for a terrace at the rear

5.0 Landscaping, Access, Refuse, Parking

Access and refuse arrangements are to remain as existing.

The proposal does not affect current parking provision and does not warrant additional parking spaces.

6.0 Conclusion

The proposal is for a high quality design, which uses sympathetic materials and takes a form that is subservient and sensitive to the existing property.

The proposal is considered to enhance the previously ad-hoc and poor quality alterations.

The proposal complies with local policy, being well designed and of high quality in terms of detailing and use of appropriate materials. It respects the quality of the existing building and the Conservation Area in its appearance, scale and character.

It is considered that the proposals are modest in scale and will not impact neighbouring amenity, but will greatly enhance the appearance of the property and quality residential accommodation provided.