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**PROPOSED DEVELOPMENT
ON THE CORNER OF ABBEY ROAD
AND PRIORY TERRACE
WEST HAMPSTEAD NW6 4DG
DESIGN AND ACCESS STATEMENT**

09 June 2020



REGISTERED
DESIGN
PRACTICE

RIBA 
Chartered Practice

Introduction

The planning application for the Proposed Development of the Land and Building lying on the South side of Abbey Road and corner of Priory Terrace, seeks to establish the re-development of the site to create a single detached 3-bed family home. This is to be comprised of basement, ground and upper ground levels and a sunken roof terrace.



Figure 1: Aerial View

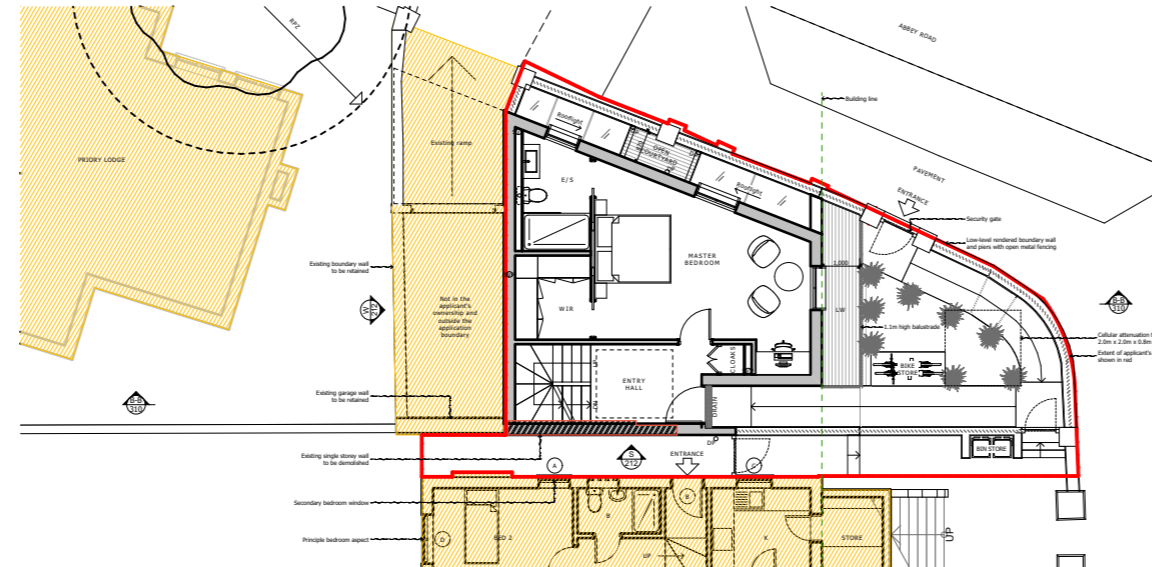


Figure 2: Proposed Site Plan

The applicant has recently acquired the freehold title to the single garage and vacant land adjoining 39 Priory Terrace. A separate garage (under separate title and ownership) shares an adjoining boundary wall but is proposed for retention. Currently both garages are accessed (via an existing drop-down curb and ramped driveway) from Abbey Road (Figure 4).

The freehold extends to the boundary wall bordering 39 Priory Terrace (as outlined in red in Figure 2). The tenant in the lower ground floor flat at 39 Priory Terrace have a shared right of access across the site with an open pathway leading off Priory Terrace, which is to be maintained (Figure 6).

The site is currently in a fairly dilapidated state of repair with overgrown shrubbery and rubbish (Figure 5). The garages have remained operational.

The site is not listed but falls within the Priory Road Conservation Area.



Figure 3: View from Abbey Road showing the extent of the site



Figure 4: Existing garages



Figure 5: Existing site

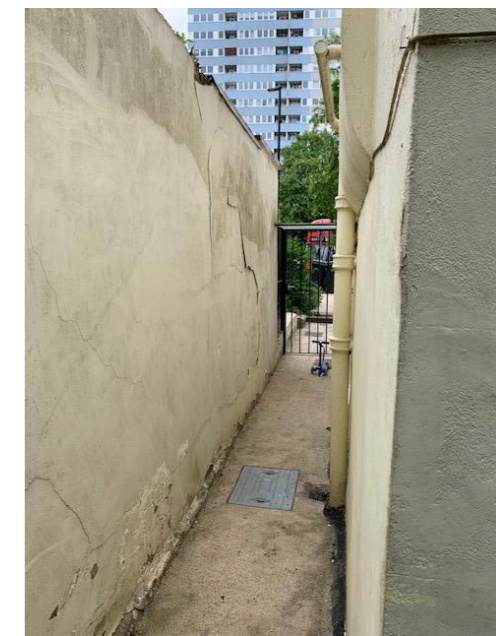


Figure 6: Shared right of access

History

At the time of the first edition of the Ordnance Survey in 1866, the subject site had been built on the junction of the then St George's Road and Abbey Road. It appears to have adjoined the last semi-detached house at No. 39 St George's Road via a narrow covered way which linked the front with the rear garden (Figure 8).

By the 1890s, two large glazed structures had been built adjoining the north elevation of the subject site, which may have provided a covered yard. The building was single storey only and two window bays in width; it was clearly designed to reflect the architectural language of the adjoining pair of semi-detached houses, comprising rusticated stucco to the ground floor and utilised the same window proportions and fenestration pattern. The string course of the pair of semi-detached houses was continued on the subject site as a cornice, above which was a bottle balustrade. An unusual semi-dome structure adjoins the side elevation of the semi-detached house and suggests a covered area within the passageway to the rear garden (Figure 7).

At some point during the late 1950s or early 1960s, the subject site was demolished. A pair of garages were erected in 1963 on the western part of the cleared site (Figure 11).



Figure 7: No. 39a St George's Road, early 20th century



Figure 8: Ordnance Survey 1871-72



Figure 9: Ordnance Survey 1895



Figure 10: Ordnance Survey 1913-15

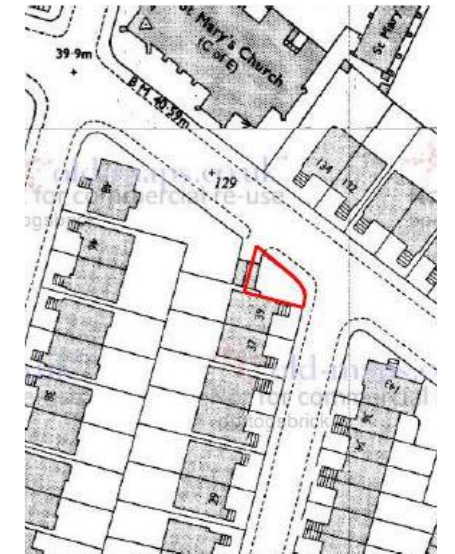


Figure 11: Ordnance Survey 1966-74

Neighbouring Properties

39 Priory Terrace is a substantial semi-detached period-built property, which adjoins the site, it is not listed or locally listed (Figure 12). There are 5 windows across the lower and upper ground levels which overlook the site, however 4 of these serve secondary or non-habitable spaces such as circulation, bathrooms and a small kitchen of only 6sq.m. The windows on the upper levels serve the communal stair landing, both of which have diffused privacy glass. The ground floor windows are screened by the extent of the boundary wall forming the rear wall to the existing garages (Figure 13). There is also a secondary window serving the ground floor bedroom which is located on this wall (Figure 14). However the bedroom also benefits from a primary window on its north west facade with an aspect looking out to the garden (Figure 15). According to the Daylight and Sunlight report submitted with this application the effects are considered unnoticeable under BRE guidelines.

Priory Lodge is a 2-storey residential dwelling located to the east of the site (Figure 16). The majority of the windows to this property face away from the proposal, with only two dormer windows set into the mansard roof that overlook the site, both of which are set well away from our proposal. The daylight and sunlight levels remain unchanged for this first floor space.



Figure 12: 39 Priory Terrace - Northern elevation

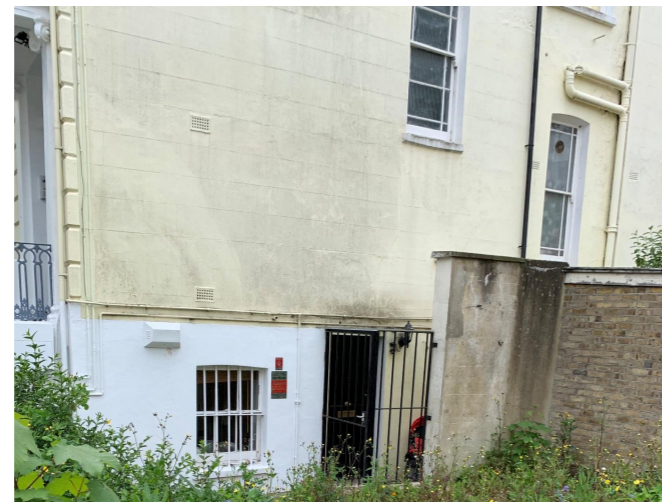


Figure 13: Kitchen window and rear wall to garages



Figure 14: Secondary bedroom window



Figure 15: Primary bedroom window



Figure 16: Priory Lodge

Design Proposal

As part of the proposed development, the first garage unit (which forms part of the site) is to be demolished, whilst the second garage unit (under separate ownership) with a boundary wall to Priory Lodge is to be retained. The existing garage party wall is to be rebuilt to enable the formation of a new basement structure along the shared party wall.

The proposal seeks to create a 150m² (1615ft²) contemporary home with accommodation arranged over three floors (Figures 19-21). This includes the formation of a single storey subterranean basement level with lightwells and roof lights. This is to be formed with piling and under-pinned retaining walls designed in accordance with the Structural Engineers drawings and BIA accompanying this application. The proposal also includes a sunken landscaped roof terrace, accessed from the main stairwell via a retractable sliding glass roof and a roof light set within the sedum green roof.

The house has been sympathetically designed as a subservient and contemporary low-level detached dwelling, aligned with the heights of the portico of its more substantial neighbour at 39 Priory Terrace. The combination of rendered stucco walls pay homage to the terraces whilst the introduction of the cantievered brick facade pays homage to its neighbour Priory Lodge and the other houses along Abbey Road. The entrance to the house is set back from the main facade of Priory Terrace allowing space between the buildings which is consistent with the architectural language of the street. Working in close conjunction with eb7, our Daylight and Sunlight consultants, the design has been developed and tested in compliance with the BRE guidelines.

The main gated pedestrian entrance is located off Abbey Road. The house will also have the benefit of a reinstated low level rendered wall and piers with open metal fencing (finials). The scheme is to be car-free with provision instead for a secure bike storage, there is also a designated refuse storage within our freehold.



Figure 17: View from the corner of Priory Terrace and Abbey Road



Figure 18: View from Abbey Road

Architectural Style

The proposed design employs a contemporary form but draws reference from the vernacular style of the surrounding villas in the locale. The fenestrations on the Priory Terrace elevation are based on the proportions of the neighbouring villa. It also pays homage to the classical stucco detailing with the inclusion of stucco horizontal banding and deep window sills on the main facades, taking reference from the architectural language found in the Priory Road Conservation Area. The proposal has been designed to sustain and enhance an understanding and appreciation of the character and appearance of the Conservation Area at a key junction location, thereby also sustaining and enhancing the setting of the Grade II listed church along Abbey Road.

A sustainable sunken roof terrace is proposed and will incorporate open self-draining timber decking and a sedum green roof. Discreet balustrading with horizontal wires and low level box hedging will be included in the scheme to provide a 'green screen wall'. The proposed balustrading and planting will ensure the roof terrace will have minimal visual impact within the Conservation Area whilst also paying homage to the balustraded parapet of the original building on the site at the turn of the century. There will be a grid section to the rear thus providing an area for creepers to run down. This will improve the aspect from the first floor windows to the neighboring Priory Lodge.

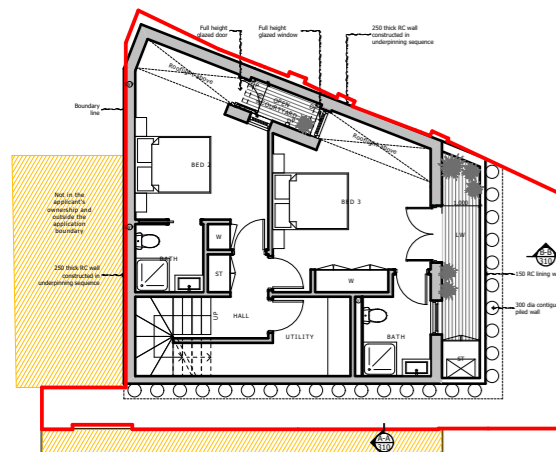


Figure 19: Proposed Basement

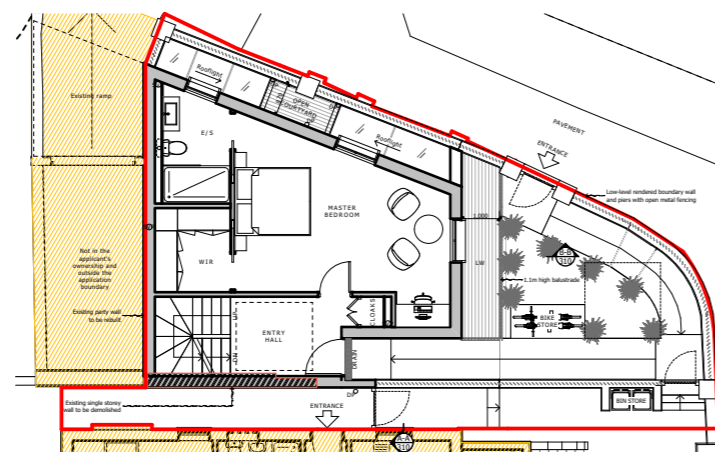


Figure 20: Proposed Ground

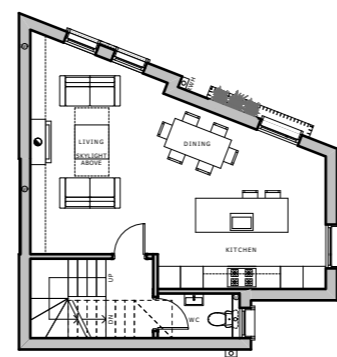


Figure 21: Proposed Upper Ground

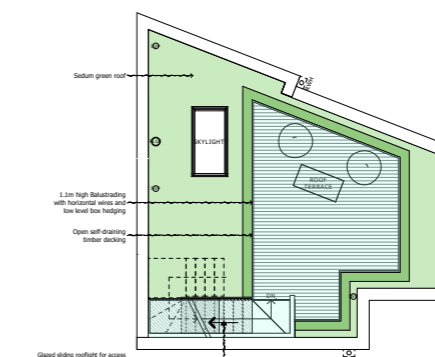


Figure 22: Proposed Roof

Material & Finishes:

External walls, moulding, parapets: White stucco render and London stock brick
 Window frames, door frames: Bronze metal powder coated
 Doors: Painted timber
 Roof: Timber decking and Sedum green roof
 Glass: Triple glazing
 Gates & perimeter fencing: Bronze metal powder coated

Plant and Equipment:

Plant and equipment will be housed in the utility space on the basement level, all ventilation and extracts and grills will be compliant with building regulations

Access:

The design process has been undertaken with application of Part M of the Building Regulations, DUP policy DES1 and "Lifetime Homes" guidance.

There is no provision for Vehicular access to the site, although a crossover still exists to access the neighbour's garage and there is also an existing layby on Abbey Road directly in front of the proposed development for emergency services.

Drawings and Reports:

Architectural Drawings:

- (919)000_PL01 Cover
- (919)001_PL01 Existing Site & Location Plans
- (919)002_PL01 Proposed Site Plan
- (919)010_PL01 Existing & Demolition Plans
- (919)020_PL01 Proposed Floor Plans
- (919)210_PL01 Proposed North Elevation - Abbey Road
- (919)211_PL01 Proposed East Elevation - Priory Terrace
- (919)212_PL01 Proposed South & West Elevations
- (919)310_PL01 Proposed Sections
- (919)900_PL01 Artist Impressions

Reports:

- Design and Access Statement
- Planning Statement (incl. Sustainability Statement)
- Heritage Statement
- Archaeological Desk-based Assessment
- Townscape Visual Impact Assessment
- Daylight and Sunlight Assessment
- Basement Impact Assessment (incl. Flood risk Assessment and Drainage Strategy)
- Ground Conditions / Contamination Report
- Utility Report
- Construction Management Plan
- Energy Statement
- Air Quality Assessment
- Tree Statement