

2020/1523/P	98 Highgate West Hill N6 6NR	Amendments to proposed roof, dormer, side elevation window, side entrance and rear extension as granted by permission ref 2017/5939/P granted 18 December 2017 for erection of single storey lower ground floor rear extension, first floor rear part infill extension, rear and side dormer roof extensions; installation of four rooflights to the side roof slope; infill of first floor south side facing window and addition of first floor obscure glazed north side facing window	Thomas Sild
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Objection,

These comments update the earlier comments following the opening of the Non-Material Amendment Statement to public view on 11-Jun-20

The need for this application is because the modifications to the property were not carried out in accordance with the plans approved in application 2017/5939/P. The differences include:

1. Removal of the splay in the roof characteristic of all Holly Lodge Estate houses
2. Widening and raising of the eaves (main & bay)
3. Heightening of the roof
4. Lengthening of roof ridge
5. Changes to north dormer
6. Lengthening of south extension

At the end of this document I have added to the Proposed drawings indications of where they differ from the approved drawings, not all the points above are accurately shown

1) Removal of the splay.

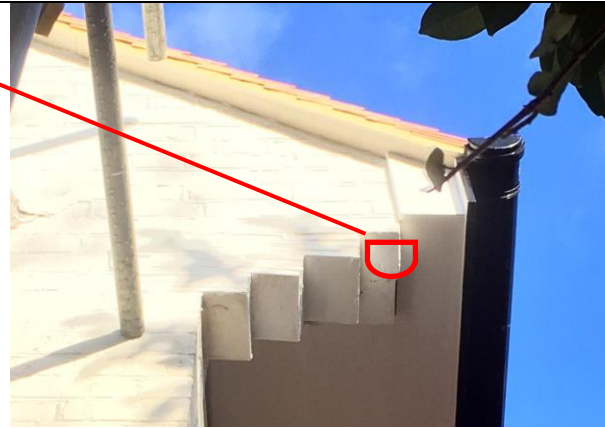
It is good to see that the splays are to be reinstated, however unless+ the all the roof timbers are removed and the roof rebuilt the most likely method will be to add it to the existing timbers, further widening the eaves. This is not shown on the Proposed drawings.

2) Eaves raised & widened

Although no significant changes other than adding 2 dormers were originally proposed to the roof, during the construction all the roof timbers were removed, which made sense as it would facilitate the lowering of the ceiling on the first floor which is shown in the section drawings of 2017/5939/P and was presumably to increase the habitable floor space in the attic.

In the bay prior to roof reinstatement at least 3 rows of bricks and 2 'steps' (making 5 in total, not 4 as shown on the Proposed drawings) were added above the original 3 tiled 'steps' on each side of the bay, raising the gutter/eaves by c.300mm.

The additional steps in the bay (5 steps not 4 as indicated on Proposed drawings) widened the eaves for the south side and this increase extends the full depth of the house. The rear (east) chimney stack is in line with the gutter/eaves not projecting beyond as shown on the As-Built roof plan and just visible in the aerial photograph taken from Bing Maps of the original house prior to works starting. The southern chimney stacks project beyond the wall of the house.



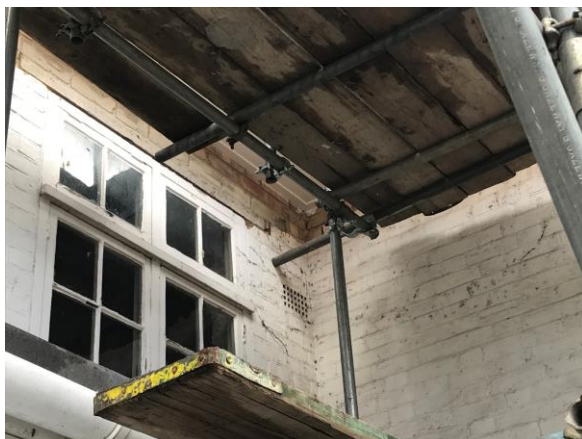
Current eaves (south) at 98 HWH
Original roof line & gutter indicated in red



South showing widened eaves extend full length of house

The photos below show the additional courses installed raising the eaves, this would increase the habitable floor area in the attic, possibly negating the need to lower the ceiling of the 1st floor.

These changes are understated on the Proposed drawings.



West, note new bricks over window (since painted)



North, additional courses visible

3) Heightening of the main roof ridge

The statement accompanying the application states that the ridge has not been raised, unfortunately this is not the case.

A few years ago the owners of 97 took photographs from their attic room which showed part of the windows in the tower of St Anne's, this view is no longer present and can only be replicated by having the camera outside the house at a level above the top of the window frame.



Original view from attic room



Current view, note only part of the window in the spire is visible and none of the window in the tower.



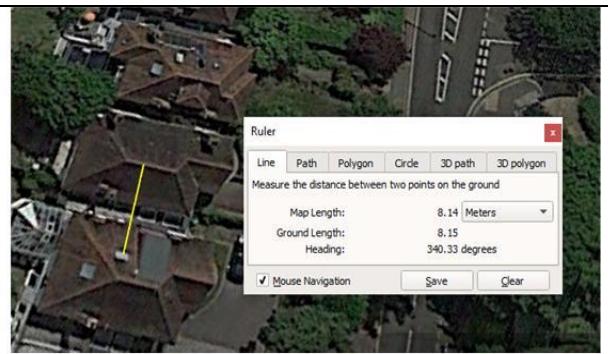
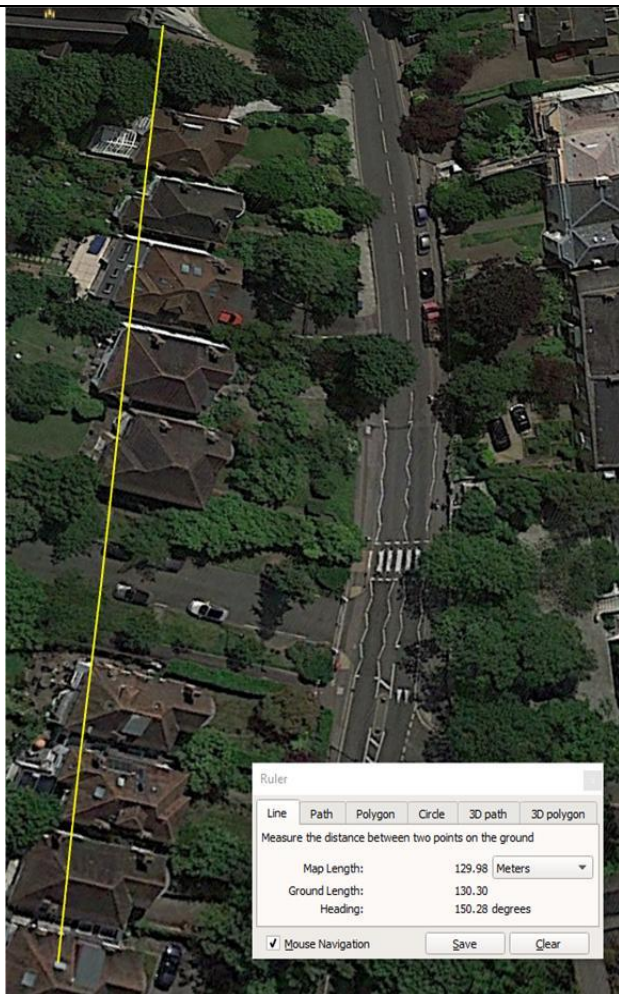
Current view from very top of 97 attic window



To match earlier view of church spire camera needs to be raised above the top of the attic window.

Using the 2 fixed points, the church tower & the window in 97, and conservatively estimating that 2m of the church tower is no longer visible from the original viewpoint then the ridge has been raised by c.125mm.

Lifting the ridge would also create more habitable space in the attic.



Distances (from Google Earth)

(a) Window to ridge, 8.15m

(b) Window to church, 130.3m

Estimated height of spire no longer visible, 2m
(at 130.3m distance)

Equivalent height at 8.15m = 125mm



Overlaying the current view with the pre-works view shows the 125mm increase. Note, the haunching for the chimney pots has been renewed probably moving the pots

4) Lengthening of roof ridge

The main ridge appears to have been extended at both the east & west ends



East

Drawings show ridge stopping well west of chimney, in fact it extends east – the yellow line follows a line of tiles



West

Main roof ridge ends in line with west side of dormer, not stopping east as drawings show

5) North Dormer

Again it is good to see the hipped dormer with a flat roof (and without any protruding pipe), generally as the approved drawings being installed. It would be better if it was also in the same location and of size, and not as the Proposed drawings indicate being further down the slope and having the gutter at a higher level

6) South Side Extension

This has been lengthened and now runs to the side gate. The small pitched roof at the west end has been removed. This is not shown on the Proposed drawings



Summary

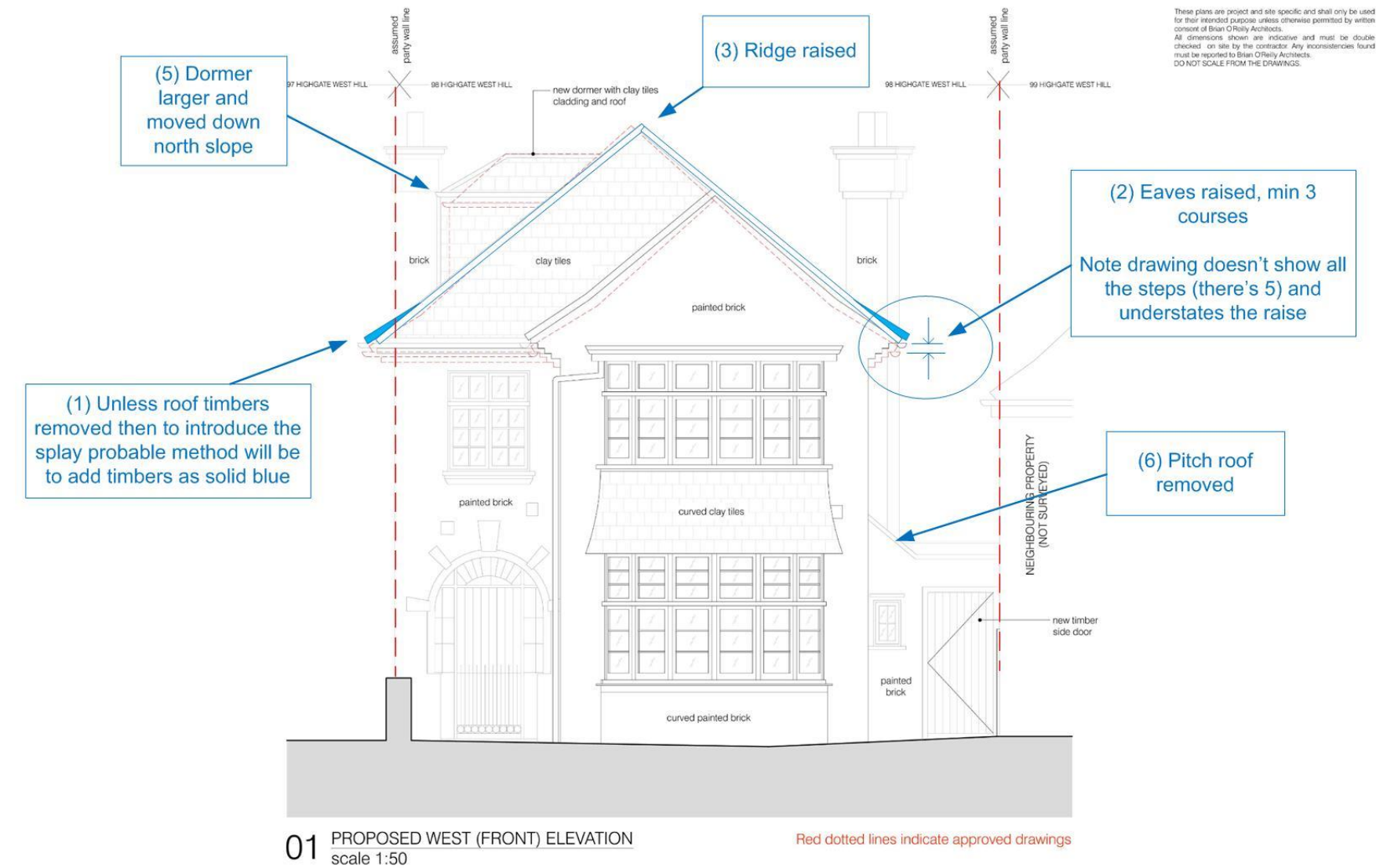
As stated above, it is good to see that the roof splays typical of Holly Lodge houses will be re-instated.

It would be better that the north dormer is correctly sized and in the correct position.

Accurate drawings would also assist

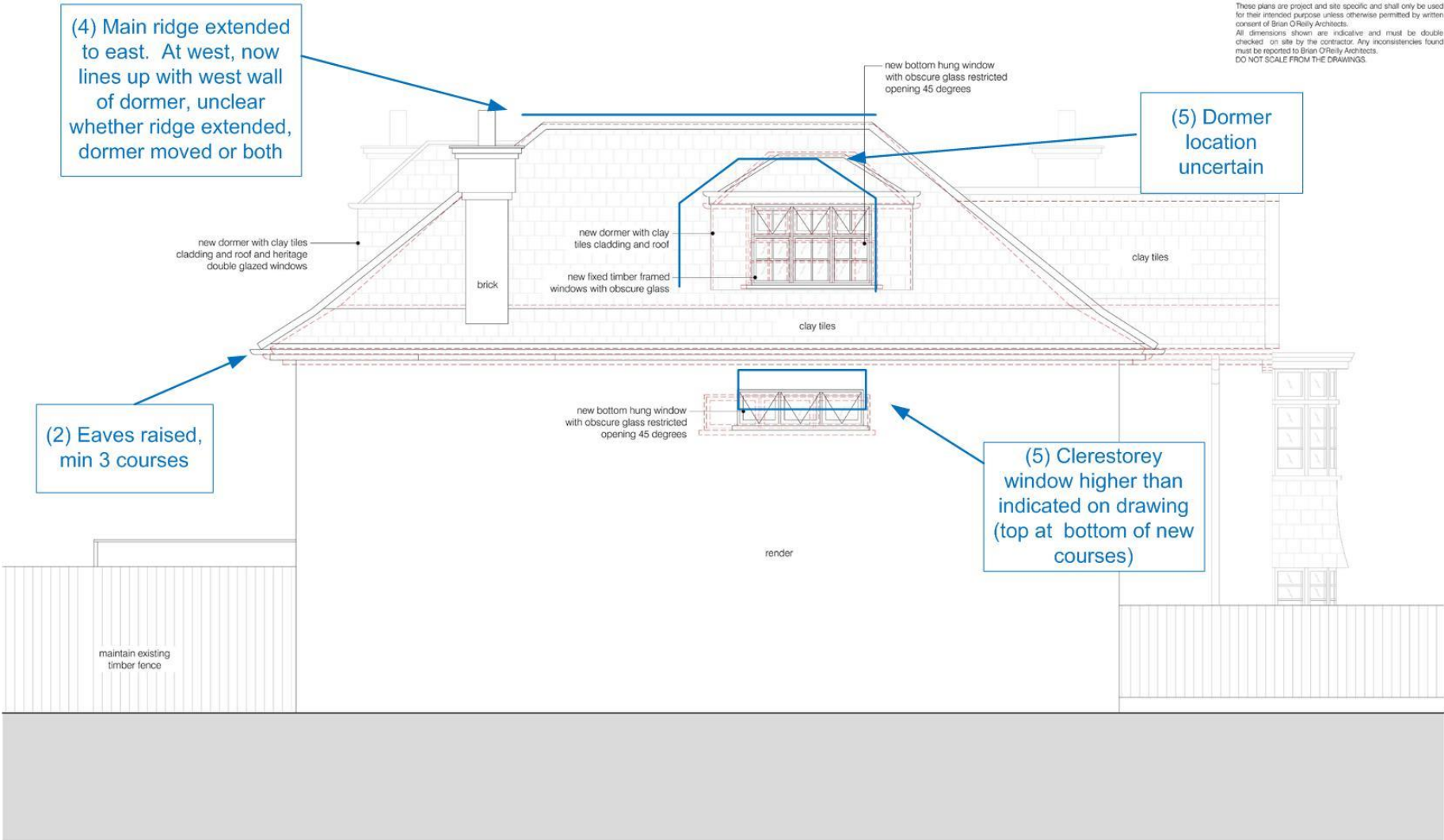
M Narraway
Chair HLE CAAC

East Elevation



project		rev. C - comparative 05/05/20	
98 HIGHGATE WEST HILL N6 6NR		status / number	scale
		PLANNING/442-200-P_C	1:50 @ A3
BRIAN O'REILLY ARCHITECTS		drawing	date
31 Oval Road, London, NW1 7EA +44 (0)20 7267 1184		PROPOSED WEST (FRONT)	01.05.2020
www.brianoreillyarchitects.com mail@brianoreillyarchitects.com		ELEVATION	

North Elevation



These plans are project and site specific and shall only be used for their intended purpose unless otherwise permitted by written consent of Brian O'Reilly Architects.
All dimensions shown are indicative and must be double checked on site by the contractor. Any inconsistencies found must be reported to Brian O'Reilly Architects.
DO NOT SCALE FROM THE DRAWINGS.

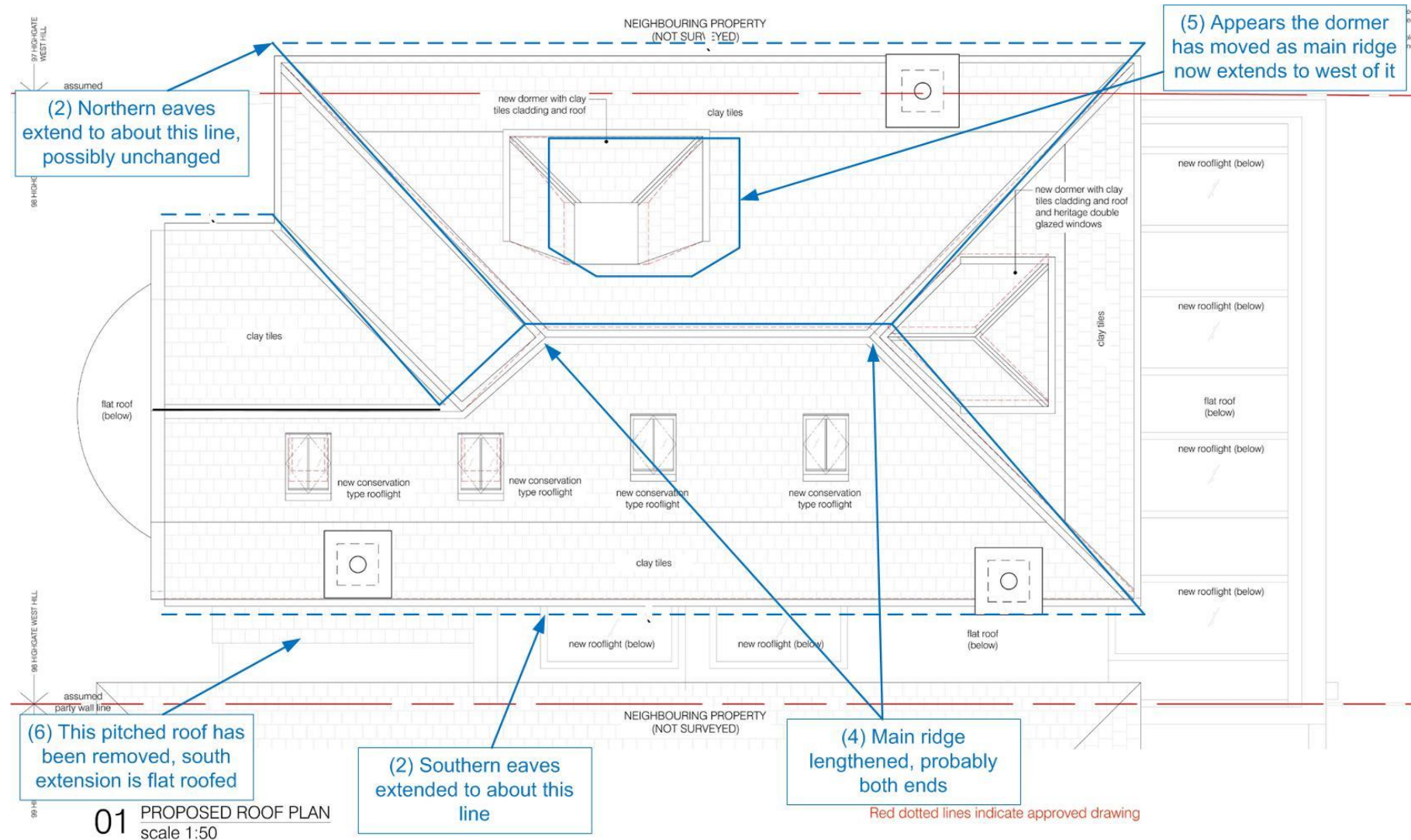
01 PROPOSED NORTH (SIDE) ELEVATION
scale 1:50

Red dotted lines indicate approved drawing

0 1 2 5m

project	98 HIGHGATE WEST HILL N6 6NR	rev. C- comparative 05/05/20	status / number	PLANNING/442-203-P_C	scale	1:50 @ A3
BRIAN O'REILLY ARCHITECTS	31 Oval Road, London, NW1 7EA +44 (0)20 7267 1184 www.brianoreillyarchitects.com mail@brianoreillyarchitects.com	drawing	PROPOSED NORTH (SIDE) ELEVATION	date	01.05.2020	

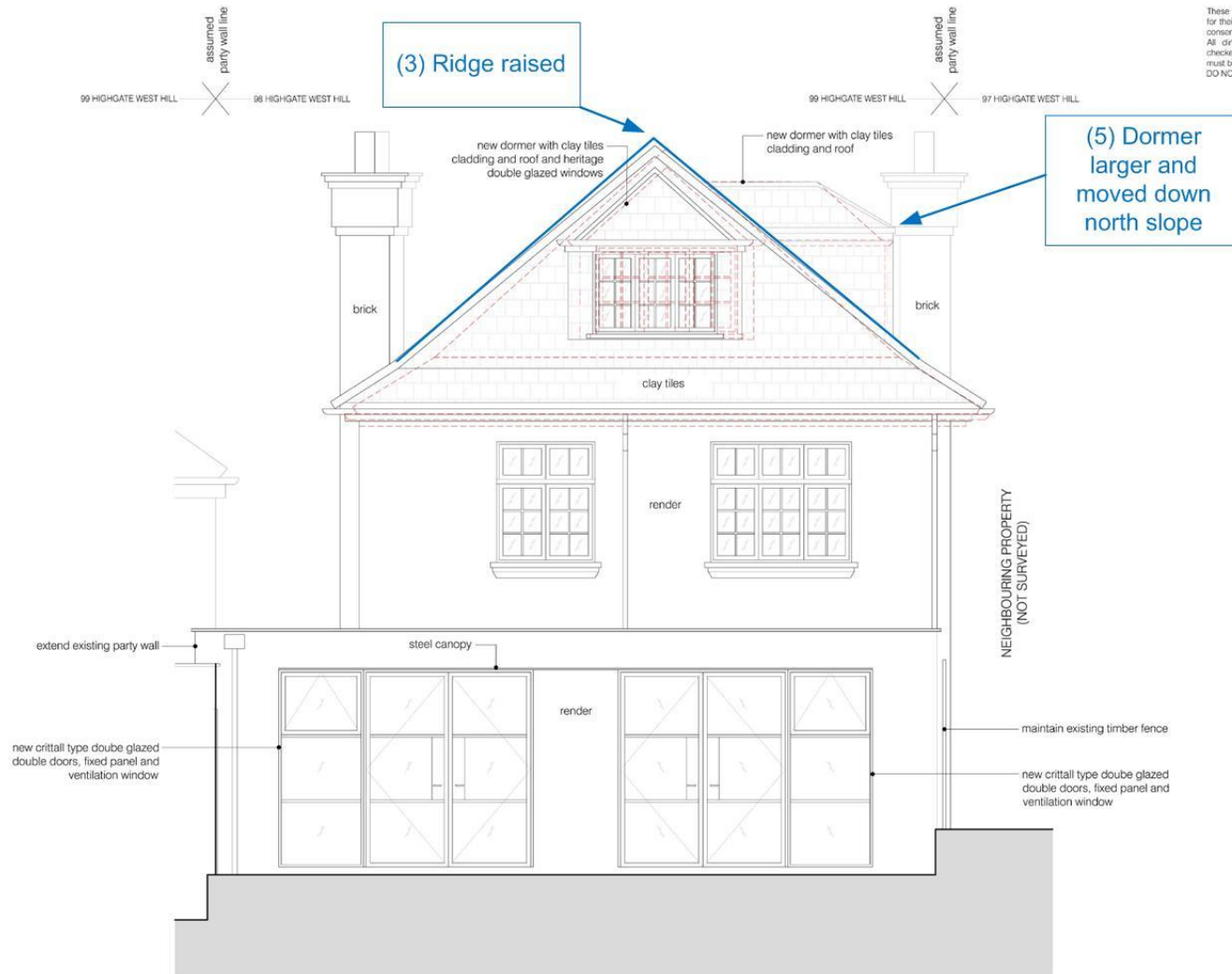
Roof



0 1 2 5m

project	98 HIGHGATE WEST HILL N6 6NR	rev. C- comparative 05/05/20	status / number	PLANNING/442-104-P_C	scale	1:50 @ A3
BRIAN O'REILLY ARCHITECTS	31 Oval Road, London, NW1 7EA +44 (0)20 7267 1184 www.brianoreillyarchitects.com mail@brianoreillyarchitects.com		drawing	PROPOSED ROOF PLAN	date	01.05.2020

West Elevation



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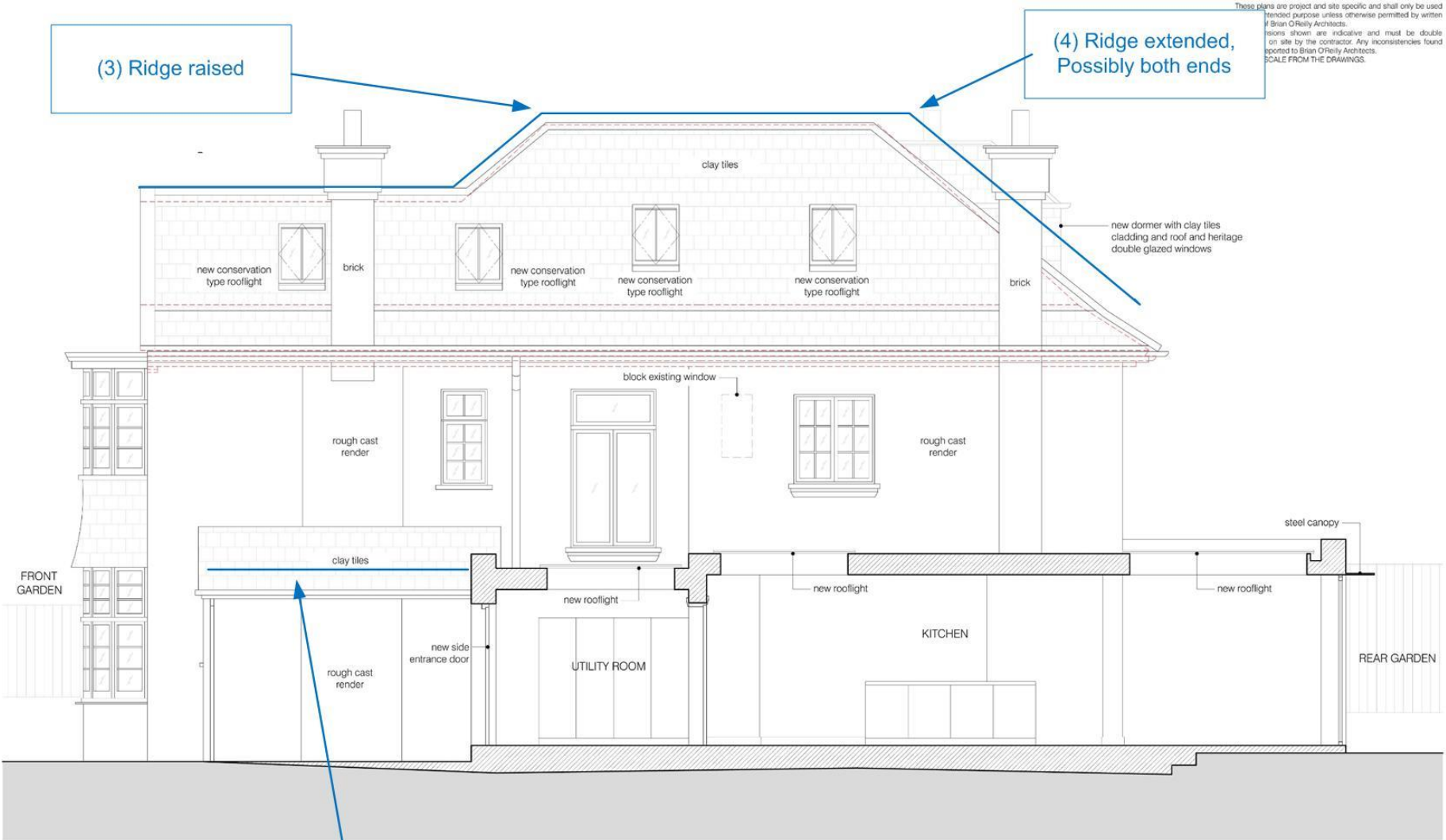
01 PROPOSED EAST (BACK) ELEVATION
scale 1:50

Red dotted lines indicate approved drawing



rev. C- comparative 05/05/20		
project	status / number	scale
98 HIGHGATE WEST HILL N6 6NR	PLANNING/442-201-P_C	1:50 @ A3
BRIAN O'REILLY ARCHITECTS		
31 Oval Road, London, NW1 7EA +44 (0)20 7267 1184	drawing	date
www.brianoreillyarchitects.com mail@brianoreillyarchitects.com	PROPOSED EAST (REAR) ELEVATION	01.05.2020

South Elevation



01 PROPOSED SOUTH (SIDE) ELEVATION
scale 1:50

(6) This pitched roof has been removed, south extension lengthened and is flat roofed

Red dotted lines indicate approved drawing



project	98 HIGHGATE WEST HILL N6 6NR	rev. C- comparative 05/05/20	status / number	PLANNING/442-204-P_C	scale	1:50 @ A3
BRIAN O'REILLY ARCHITECTS	31 Oval Road, London, NW1 7EA +44 (0)20 7267 1184 www.brianoreillyarchitects.com mail@brianoreillyarchitects.com	drawing	PROPOSED SOUTH (SIDE) ELEVATION	date	01.05.2020	

Aerial photograph from 1970/80's – Properties from left to right, 96 (part), 97, 98, 99, 100 (part)

