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# Heritage Statement

22 Endell Street, Covent Garden,  
London, WC2H 9HQ

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On behalf of Global Holdings Management Group

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June 2020

Project Ref. 00157 | V.1



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# Introduction

1. This Heritage Statement has been prepared under instruction from Global Holdings Management Limited on behalf of applicant Lakenorth Limited. It accompanies applications for planning permission and listed building consent for a refurbishment of 22 Endell Street, Covent Garden, WC2H 9HQ.
2. 22 Endell Street is a Grade II listed building located within the Seven Dials Conservation Area. It was built in 1859 as a stained glass studio for Lavers and Barraud, reputable manufacturers of Gothic Revival stained glass.
3. The building occupies a corner plot at the junction of Endell Street and Betterton Street. The red brick facades were built in a Gothic style and feature yellow and blue brick diaper work, gothic windows, and distinctive dormers to the steeply pitched slate roof. The building has undergone extensive internal alterations, most notably a major refurbishment to provide offices in the 1980s.
4. The applications seek to improve the office accommodation, associated facilities and environmental performance of the building to continue its current use. The building is currently occupied but will soon be vacated.



Figure 2: Site location



Figure 1: Betterton Street elevation

## Methodology

5. This report follows a site inspection undertaken in March 2020. All floors and most areas of the building's interior and exterior were inspected. The purpose of the inspection was to establish the extent, nature and value of the building's architectural and historic significance, including the degree of surviving features, fabric and character.
6. To support our observations, documentary research has been undertaken at archival depositories within central London. The purpose of the research was to gain an understanding of the origins and adaptations of the building so far as it is relevant or important to inform future decision-making.
7. Site and desk based assessments have informed the design process. In doing so the proposals submitted seek to avoid or minimise any harm to the heritage significance of the building and support Camden Borough Council in their statutory duty to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. (Section 66, Planning (Listed Buildings and Conservation Areas) Act, 1990).



## Purpose of the Statement

8. In accordance with the requirements of the National Planning Policy Framework (paragraph 189) this statement describes the significance of the heritage assets potentially affected. It goes on to appraise the effects of the proposals upon that significance and concludes that the works are fully sympathetic and beneficial in their effects, and are in accordance with national and local planning policy.
9. Consideration is given to the statutory duties imposed by section 16, 66 and 72 of the Planning (Listed Building and Conservation Areas) Act, 1990, the National Planning Policy Framework (2019) and policy set out within Camden Borough Council's Local Plan 2017, specifically Policies D1 Design and Policy D2 Heritage (conservation areas and listed buildings).

## Proposal

10. Full details of the proposed works are included within the submitted drawings and design and access statement. This report should be read in conjunction with those documents. In summary the proposals include:
  - Replacement of modern front door, signage and lighting to Endell Street;
  - Installation of two new rooflights to rear pitch and replacement of existing rooflight;
  - Replacement of flat roof finish and plant to upper rear plant deck and provision of plant screen;
  - Replacement of modern door to lower ground, Betterton Street;
  - Removal of 1980s internal partitions;
  - Refurbishment to all floors, including replacement of lighting, floor finishes and services ;
  - Refurbishment of 1980s staircase, lobbies and WC's;
  - Creation of bike storage, showers and changing area to lower ground floor;
  - Installation of the green wall to Endell Street lightwell area;
  - Removal of modern internal plaster to expose brick along back wall; and,
  - Removal of internal spiral staircase.
11. The effect of these proposed works on the listed building are assessed within this report.



Figure 3: Aerial view from south



Figure 4: Aerial view from north

# Understanding the site

## Location and Context

12. Endell Street is situated in Covent Garden, and runs from High Holborn in the north to Long Acre and Bow Street in the south
13. The building is located on the east side of Endell Street at its junction with Betterton Street. Its corner plot results in two elevations; a narrow gabled front to Betterton Street and a long return to Endell Street. Both elevations are treated as primary in terms of their architectural appearance, formats and decoration.
14. The sites context includes a mix of modern and historic properties, varying in scale, character and appearance. Immediately to the east is a modern and taller building which results in a blind backdrop, allowing a discrete rooftop plant area over 20<sup>th</sup> century infill extension at the rear of No.22.
15. Immediately to the north is the former British Lying-in Hospital, a Victorian and redbrick building with simple 'Jacobethan' stylistic references. Of note the ground floor of the lower range immediately to the rear the site had historically included windows with similar head details to No.22 but this element has been replaced with modern shop frontage. This building is not listed.
16. The west side of Endell Street and south side of Betterton Street vary in their built form but largely consist of individual or conjoined historic single plots with buildings ranging from the 18<sup>th</sup>, 19<sup>th</sup> and 20<sup>th</sup> centuries. These buildings include residential and commercial uses. There are two listed buildings in the immediate vicinity:
  - No.33 Betterton Street, immediately to the south east of the site. This is an early 18<sup>th</sup>-century house with later re-fronting and 20<sup>th</sup>-century shopfront; (Figure 7) and,
  - No.31 Endell Street, immediately to the west of the site. The Cross Keys Public House was built c.1848-49. (Figure 8)

## Listed Building

17. 22 Endell Street is offered protection as a statutorily listed building. It was added to the list of buildings of special architectural and historic interest on 15 January 1973 at Grade II.

Grade: II

List Entry Number: 1078289

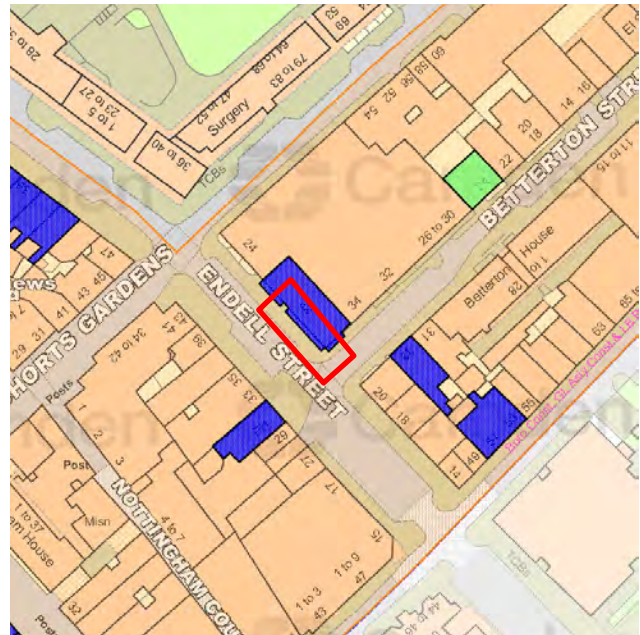


Figure 5: Designated heritage assets. Grade II listed building shown in blue; conservation area shown as tone edged in orange)

Date first listed: 15-Jan-1973

Statutory Address: NUMBER 22 AND ATTACHED RAILINGS, 22, ENDELL STREET

1 TQ3081SW ENDELL STREET 798-1/105/381 (North East side) 15/01/73 No.22 and attached railings

II

Former stained glass studio. 1859. By RJ Withers in Gothic style. For Lavers and Barraud, makers of stained glass. Red brick with blue and yellow diapers and bands; stone dressings. Slated roof with symmetrically arranged gabled dormers and Lombardic eaves frieze; crowstep gable on Betterton Street return. 3 storeys and attics. 7 windows; 2-window return. Central doorway has cusped, truncated arched head and panelled door. Ground floor and 1st floor sash windows with relieving arches over and truncated cusped heads except those to the left of the entrance which are of lancet type. Stone band at 2nd floor level inscribed "Lavers and Barraud, stained glass works". 2nd floor and dormer sash windows of lancet type. Gable to Betterton Street has large pointed arch window containing C20 stained glass. INTERIOR: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings to areas. HISTORICAL NOTE: Lavers and Barraud were very reputable manufacturers of Gothic Revival stained glass.

Listing NGR: TQ3022681201



18. It should be noted that the 1973 list description includes railings to the areas, however photographs from 1964 and 1980 show closed areas and no railings. (Figures 17, 18, 19)
19. Whilst the listing covers all physical aspects of the building, including 1980s railings and internal changes, not all aspects of the building are considered to contribute to the building's special interests and significance. Much of the current configuration as offices (internal partitions, ceiling plant enclosures, main staircase and lift) are of little or no intrinsic value. (See assessment section of report)

### Conservation Area

20. The Site is located within the Seven Dials Conservation Area. Camden Council's Character Area Appraisal includes Endell Street within Sub Area 1, an area centred on Seven Dials.
21. The appraisal notes that Endell Street "has an interesting architectural diversity, with many distinctive buildings. The street was constructed in its present form in 1846 as part of plans drawn up by Pennethorne (successor to Nash) for improvements to London. As a result, it is wider than most Seven Dials streets with a number of mid-Victorian medium scale commercial buildings".
22. Several buildings are specifically mentioned within the appraisal but not No.22 is not.



Figure 7: No.33 Betterton Street, Grade II listed



Figure 8: No.31 Endell Street, Grade II listed

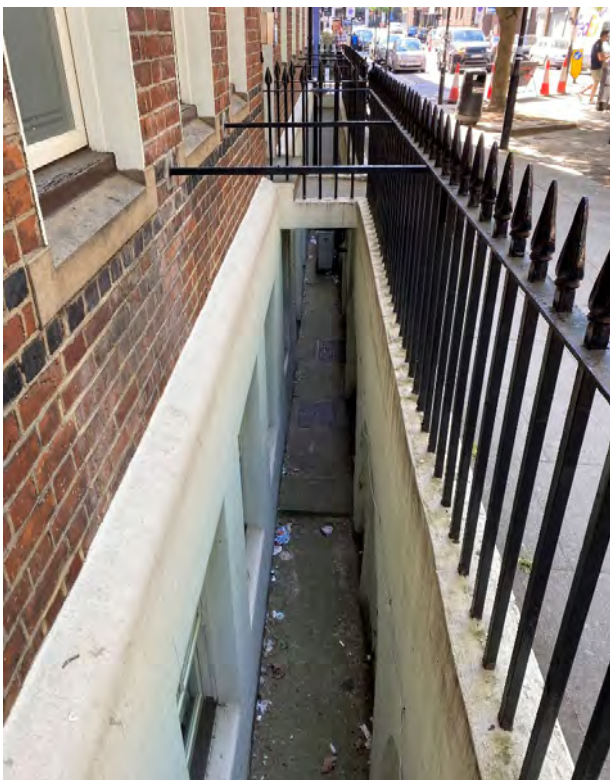


Figure 6: Area to Endell Street enclosed by 1980s railings.

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# Legislation and Policy

## Legislation

23. The Planning (Listed Building and Conservation Areas) Act 1990 is the current legislation relating to listed buildings and conservation areas and is a primary consideration.
24. In respect of proposals affected listed buildings, Section 66 states that "in considering whether to grant planning permission of permission in principle for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses".
25. With regard to conservation areas, Section 72 places a duty on the decision maker: "In the exercise, with respect to any buildings or other land in a conservation area, of any functions under or by virtue of any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of the area."

## National Planning Policy Framework (revised 2019)

26. The NPPF sets out the Government's planning policies for England, providing a framework within which locally prepared plans can be produced. It is a material consideration and relates to planning law, noting that applications are to be determined in accordance with the local plans unless material considerations indicate otherwise. Chapter 16, 'Conserving and enhancing the historic environment', is of particular relevance.
27. Heritage assets are recognised as being a irreplaceable resource that should be conserved in a manner appropriate to their significance. (Paragraph 184) The conservation of heritage assets in a manner appropriate to their significance is also a core planning principle.
28. Conservation (for heritage policy) is defined at annex 2 as: "a process of maintaining and managing change in a way that sustains and, where appropriate, enhances its significance." It differs from preservation which is the maintenance of something in its current state.
29. Significance (for heritage policy) is defined at annex 2

as: "The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting..."

30. At paragraph 185, the NPPF, directs that local plans should set out a positive strategy for the conservation and enjoyment of the historic environment, taking into account four key factors:
  - a. "The desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation;
  - b. The wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
  - c. The desirability of new development making a positive contribution to local character and distinctiveness; and
  - d. Opportunities to draw on the contribution made by the historic environment to the character of a place."
31. Describing the significance of any heritage asset affected by a proposal for change is the responsibility of an applicant with any assessment being proportionate to the asset's significance. (Paragraph 189)
32. Identifying and assessing the particular significance of any heritage asset potentially affected by a proposal, taking into account evidence and expertise, is the responsibility of the Local Planning Authorities. The purpose of this is to 'avoid or minimize any conflict between the heritage asset's conservation and any aspect of the proposal'. (Paragraph 190)
33. In decision making where designated heritage assets (listed building and conservation area in this instance) are affected, Paragraph 193 places a duty of giving 'great weight' to the asset's conservation when considering the impact of a proposed development, irrespective of the level of harm.
34. Harm to designated heritage assets is categorized into 'substantial harm', addressed in Paragraphs 194 and 195 of the NPPF, or 'less than substantial harm', addressed in Paragraphs 196.
35. The effects of any development on a heritage asset, whether designated or not, needs to be assessed against its archaeological, architectural, artistic, and historic interests as the core elements of the asset's significance.

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## National Planning Practice Guidance

36. Insofar as Chapter 16 (previously Chapter 12) of the NPPF is concerned, the Planning Practise Guidance (PPG) was last modified on 22 February 2018, prior to the 2018 revisions to the NPPF. Much of the content remains wholly applicable and relevant. Key relevant points are summarised below:
37. The term 'Special architectural or historic interest' as used in legislation are used to describe all parts of a heritage asset's significance.
38. In respect of levels of harm paragraph 017 recognises that substantial harm is a high test. Case law describes substantial harm in terms of an effect that would vitiate or drain away much of the significance of a heritage asset. In cases where harm is found to be less than substantial, a local authority is to weigh that harm against the public benefits of the proposal.
39. Proposals can minimise or avoid harm to the significance of a heritage asset and its setting through first understanding significance to identify opportunities and constraints and then informing development proposals.
40. A listed building is a building that has been designated because of its special architectural or historic interest and includes the building, any object or structure fixed to the buildings, and any object or structure within the curtilage of the buildings which forms part of the land and has done so since before 1 July 1948. (Paragraph 022)
41. Any works to demolish any part of a listed building or to alter or extend it in a way that affects its character as a building of special architectural or historic interest require listed building consent, irrespective of whether planning permission is also required. (Paragraph 045)
42. Paragraph 018 of the NPPG states "Heritage assets may be affected by direct physical change or by change in their setting. Being able to properly assess the nature, extent and importance of the significance of a heritage asset, and the contribution of its setting, is very important to understanding the potential impact and acceptability of development proposals."
43. Paragraph 013 states: "The extent and importance of setting is often expressed by reference to visual considerations. Although views of or from an asset will play an important part, the way in which we experience an asset in its setting is also influenced by other environmental factors such as noise, dust

and vibration from other land uses in the vicinity, and by our understanding of the historic relationship between places. For example, buildings that are in close proximity but are not visible from each other may have a historic or aesthetic connection that amplifies the experience of the significance of each."

## Local Policy

44. Relevant local planning policy is set out in the Camden Local Plan 2017. Policies D1 Design, D2 Conservation Areas and Policy D2 Heritage are of most relevance.
45. Policy D1 requires that development:
  - A *Respects local context and character;*
  - B *Preserves or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage;*
  - E *Comprises details and materials that are of high quality and complement the local character.*
46. Policy D2 Heritage states that, relating Conservation Areas, The Council will:
  - E *require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;*
47. Policy D2 Heritage states that, relating to Listed Buildings, The Council will:
  - J *Resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and*
  - K *Resist development that would cause harm to significance of a listed building through an effect on its setting*



# Historic Background

48. Endell Street, originally known as Belton Street, was developed in the 1840s as a thoroughfare through an area known for its slum dwellings.
49. Until the construction of 22 Endell Street in 1859, the eastern block between Short's Garden and Betterton Street was occupied by the British Lying in Hospital<sup>(1)</sup>. The addition of the glassworks filled a long vacant piece of ground on the site and completed the frontage line of Endell Street. Of interest the 1871 Ordnance Survey Map (figure 10) shows that the building had originally been longer in footprint, extending northward to the rear wall of the Lying-In Hospital. The similarity of the ground floor construction and fenestration seen in historic photographs of the now adjacent building (figure 17 & 18) support this (this former part of the building has since been replaced with a shop frontage). The map implies three entrances to Endell Street and a lightwell.
50. Pevsner<sup>(2)</sup> describes no. 22 as gothic, quiet and even. 'A flat front of red brick made decorative by blue and yellow diapers and bands. Stepped S gable. Five symmetrical arranged corbelled-out dormers on the W front are the only light relief. A remarkably early example of its style. In the S gable, stained-glass window by Brian Clarke, added when the building was converted to offices in 1983 by Rock Townsend.'

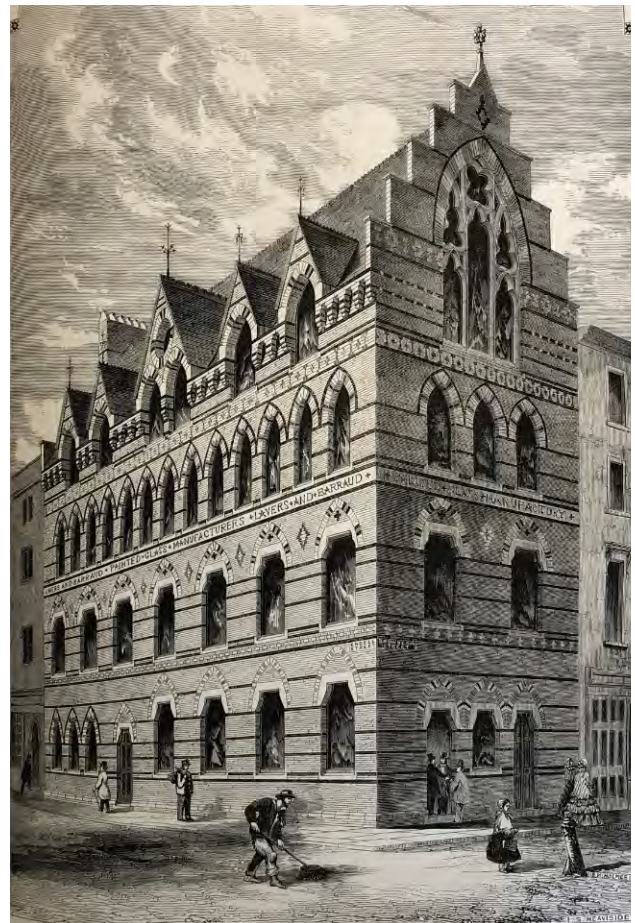


Figure 9: 1859 Engraving from the Builder

## Lavers & Barraud

51. 22 Endell Street was built for Lavers & Barraud, makers of stained glass. The partnership was formed by Nathaniel Wood Lavers (1828–1911) and Francis Philip Barraud (1824–1900) in 1858. Both had previously worked for James Powell (1774–1840) of Whitefriars Glass who were well known for their work during the 19th century Gothic Revival.
52. The firm changed its name several times with the arrival and departure of other partners, becoming Lavers, Barraud & Westlake with the addition of Nathaniel Westlake in 1868.
53. In 1880 Westlake became solo partner, and it was his knowledge of medieval art and simplification of over-elaborate drawing which brought the firm success in the 1860s.
54. While windows by Lavers & Barraud can be found in numerous churches both in London and surrounding counties, many were destroyed during WWII. Surviving examples include 'Spring Flowers' in the New West End Synagogue, 'Annunciation Window' at St James' Church, Weybridge and



Figure 10: 1871 Ordnance Survey map

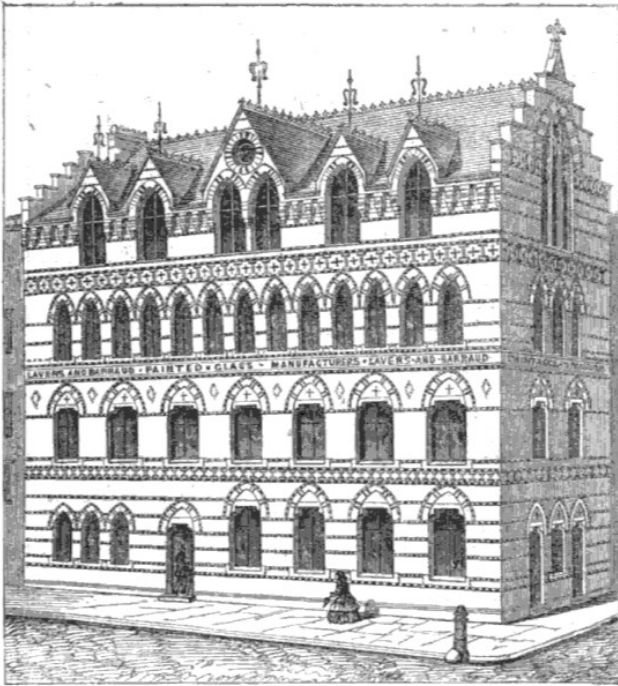


Figure 11: 1860 Engraving

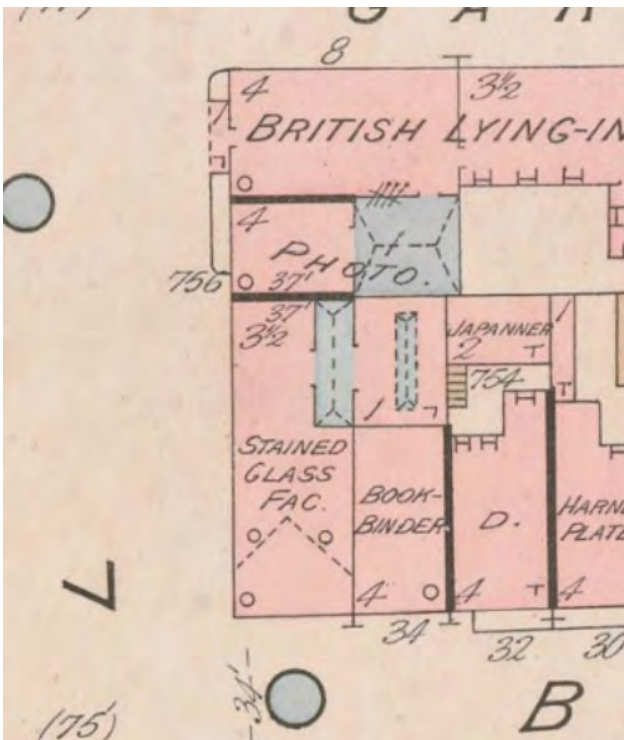


Figure 12: 1888 Goad Plan—This confirms no open basement area or railings and the presence of a top-lit rear part.

'Christ in the Carpenters Shop' in St Augustine of Canterbury, Highgate. It has been suggested that the firm sometimes used a white rabbit in the foreground of their windows as a signature.

## 22 Endell Street

55. On the 25th of March 1859 Building News reported on a 'Glass Painting Works and Studio' having been erected for Messrs Lavers and Barraud by Robert Jewell Withers. The design is said to have consisted of a 'profusion' rather than confusion of coloured bricks, with a large stepped gable on the end wall with the stone window heads on the ground and first floor windows said to be a 'palpable waste of material'. Other publications, however, note the attempt to combine economy of cost with convenience and picturesque character.
56. 'The Builder' gives a more detailed description of the new building:

'The building is of red brick with black bands and yellow patterns, forming diapers and strings. The windows of the ground and one pair floors have Bath stone sills and heads, with relieving arches in different coloured bricks. The heads of the windows to the second and third pair flows are formed of brickwork in patterns. The large south windows and tracery to the centre gable in Endell Street, as well as all the sills, are of Bath stone. Internally the whole area is kept as large and simple as possible, the floors being merely united by staircase and lifts, the great object being the employment of a large number of men under careful supervision. Economy in space and materials, and cheapness in execution, have guided the design throughout.' (5)

57. 'The Builder' further describes how the character of the building is produced by the 'high pitched roof; large windows at the top, with pointed arches and gables, well grouped; windows of the third story as an arcade; and relieving arches in yellow and black brick, in combination with the red brick of the general walling, which has no recesses or projections.' (6)
58. The builder of 22 Endell Street is noted in contemporary publications as William T. Trehearne.

## Robert Jewel Withers (1823-1894)

59. A pupil of Thomas Hellyer (1811-1894), Robert J. Withers set up a practice in Sherborne, Dorset in



1848, moving to London in 1851. He was known for his work in building and restoring churches across Britain, including extensive work in South Wales. As well as churches, Withers was also responsible for numerous parsonage houses and schools. His works include Cardigan town hall (1856-59); English church of Restoration, Brussels (1862-65); Church of St Gabriel, Bromley-by-Bow (1869); Church of St John the Baptist, Spalding, Lincolnshire (1874-75); Town Hall and Courthouse, Lampeter, Pembrokeshire (1882); and Church of St Anselm, Streatham (1882-94). (7)

### Later years

- 60. Lavers & Barraud remained at 22 Endell Street until 1917, with the company staying in business until the death of Westlake in 1921.
- 61. In 1958 permission was granted in for the use of no.22 as offices, and in 1980 further permission was given for the erection of a rear two-story extension at second and third floor levels. An opening was also made in the basement area to provide access at pavement level and boundary railings on the ground floor frontage. The building, at the time of the alterations, was occupied by the advertising agency Leagas Delaney.
- 62. In 1981 artist Brian Clark was commissioned to add a contemporary piece of stained glass to the Betterton Street façade of the building. Formerly the window had been plain glazed to allow the workmen to check their work against the light. (8)

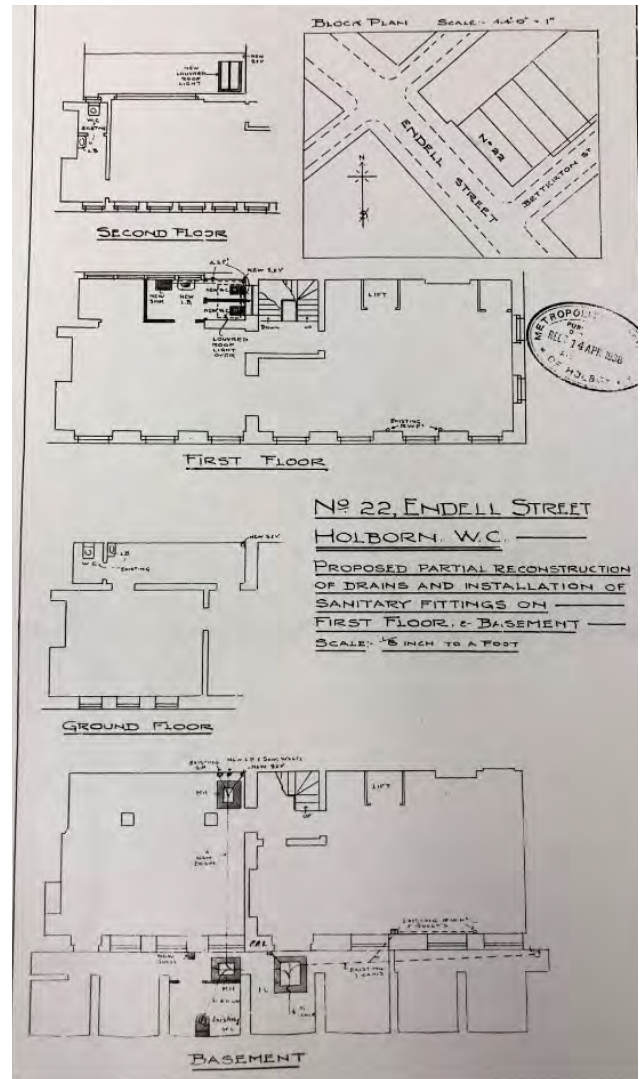
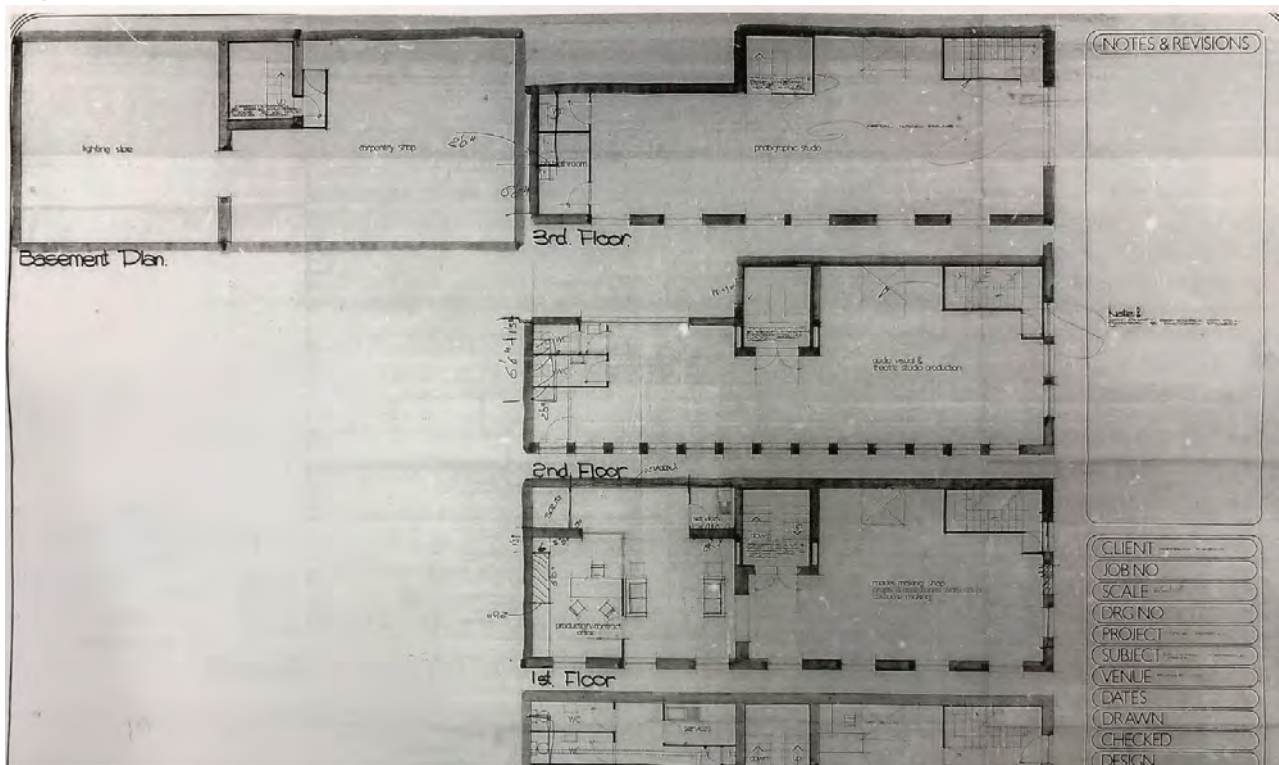


Figure 13: 1938 Drainage Plans

Figure 14: Undated plans (C.1970s?)





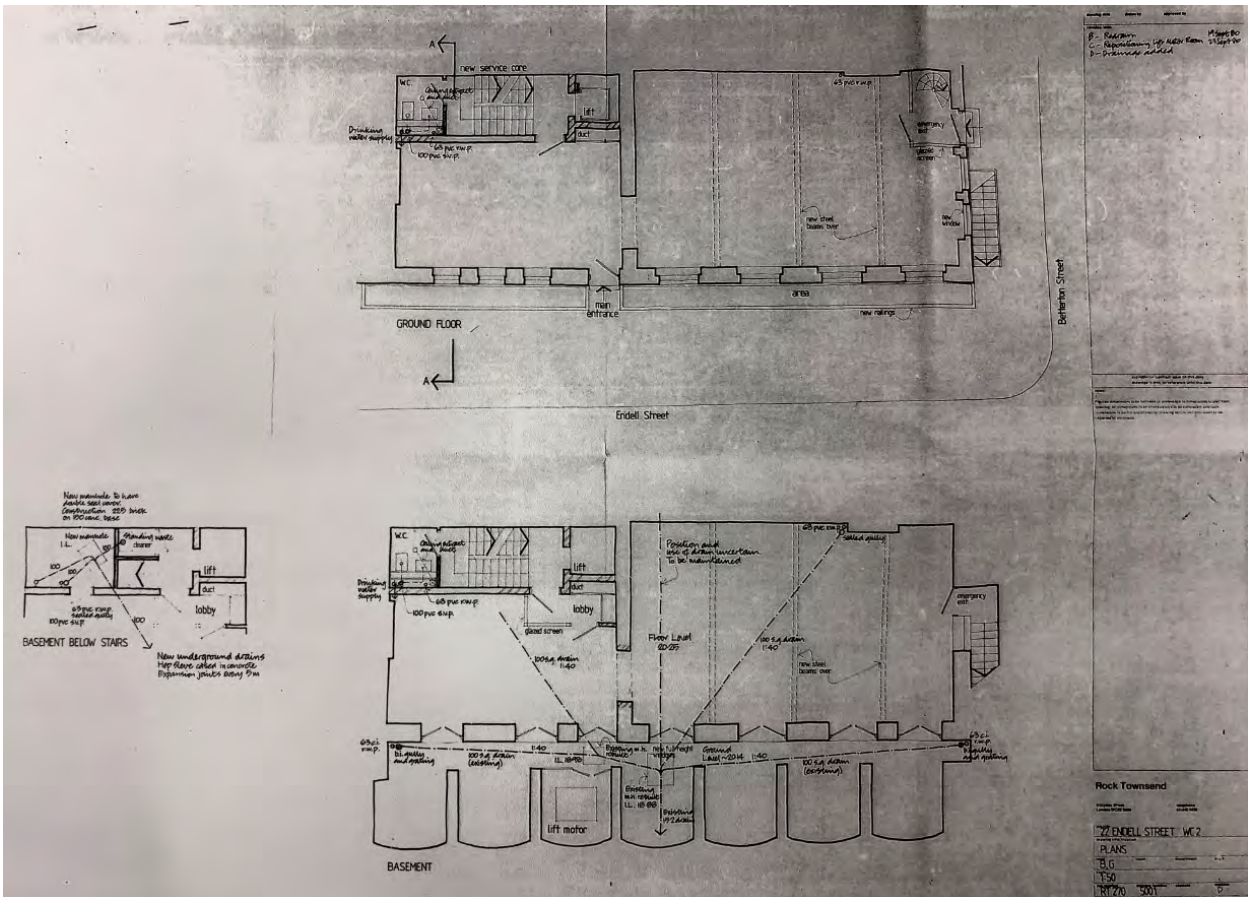
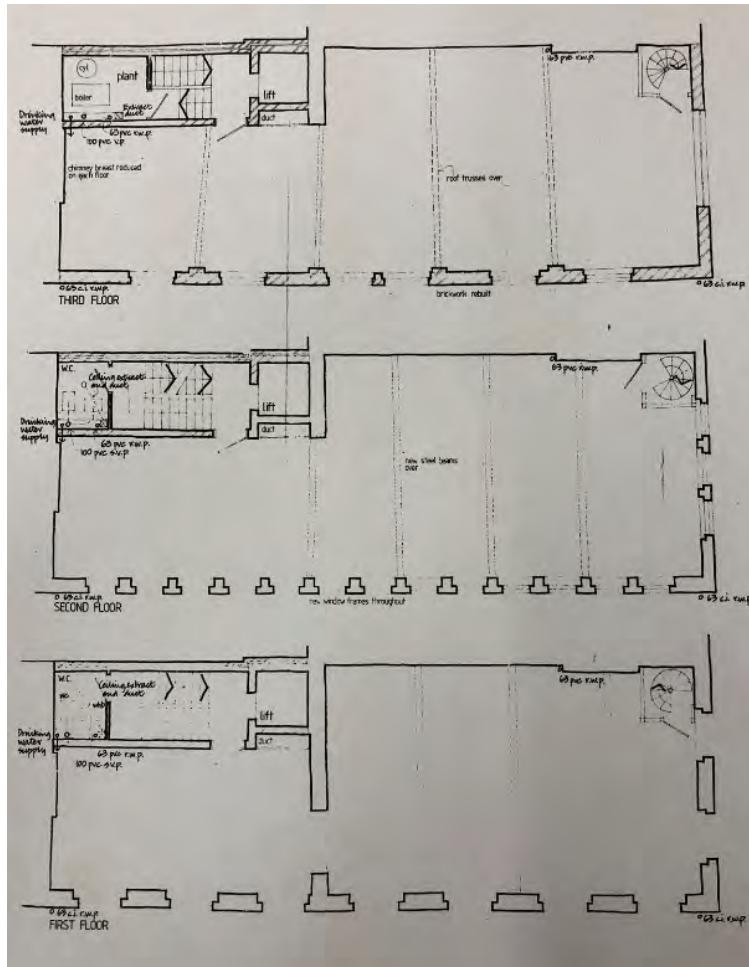
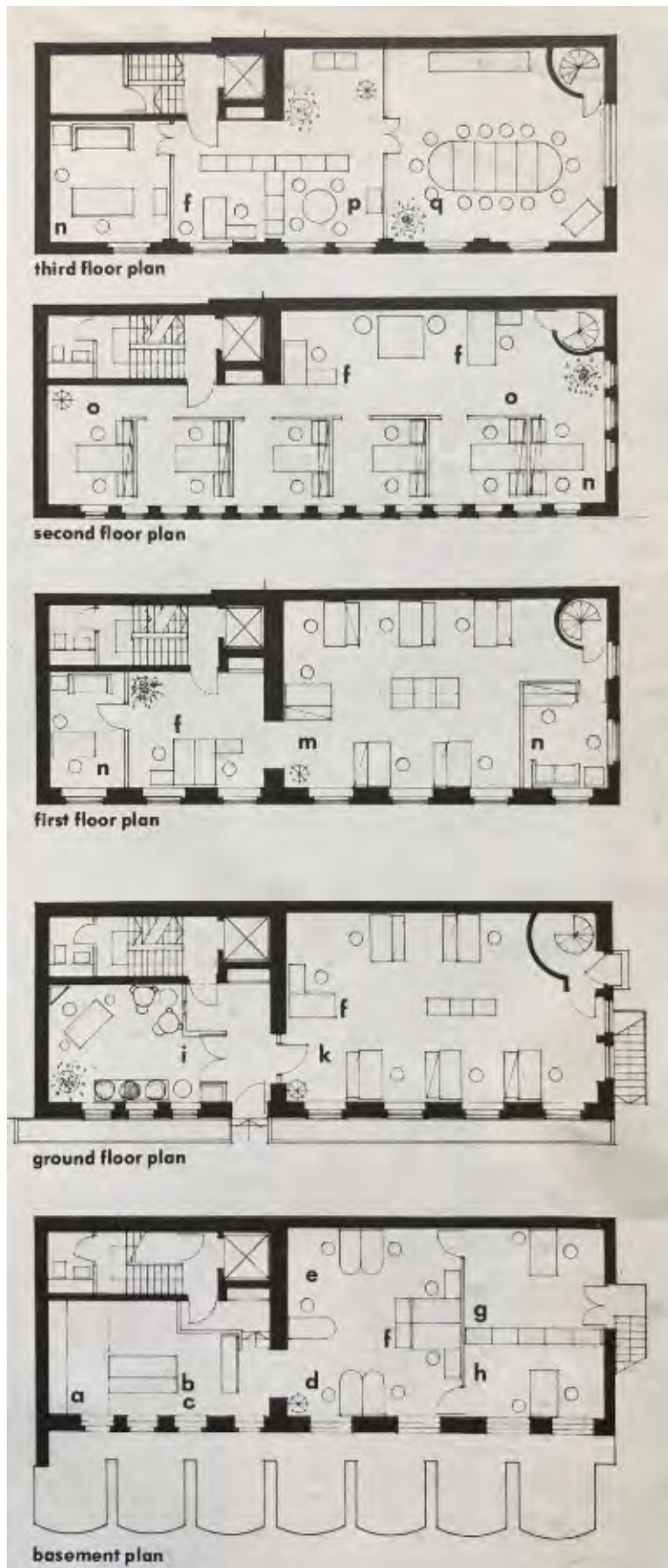


Figure 15: 1980 Drainage Plans



The building itself is dressed in very different garb—the hard, confident colours of Victorian brick polychromy. Dating from 1859 this is a regular Gothic building of red

brick with blue and yellow diapers. Its chief glory is the huge open-trussed studio on the top floor which has now become a conference room for Leagas Delaney. Appropriately the great south-facing studio window has been filled with an abstract stained glass composition by Brian Clarke. The exterior of this Ruskinian-influenced building, despite its continental quirks, is

doggedly English. Stepping into the reception, though, Italy beckons. The reddish-brown stone flagstones, the cool white walls, furniture by Magistretti, Deganello and Kita exude Milan. Beyond the reception area the office is a mixture of simple open-plan and partitioned workspaces. They are notably light and spacious. The ceilings have been left unaltered with diffused fluorescent tubes suspended by wires. The walls and floor surfaces are neutral whilst the custom-built furniture (mostly by Cathedra) is also self-effacing. The offices do require a great deal of what might otherwise be superfluous space as advertising agencies are necessarily deluged by waves of publicity, packaging and display material, of all shapes and sizes, from the widest possible range of manufacturers. Advertiser agencies need

Figure 16: 1983 Plans from 'Architectural Review'





Figure 17: 1964 Photo



Figure 18: 1980 Photo





Figure 19: 1980 Photo

This shows the building prior to works of internal alteration and upgrading to offices for an advertising agency. Note: the absence of front area and railings; blocked door where there is currently a window



Figure 20: 1983 Architectural Review



# Significance

63. This significance assessment takes into account the observations of fabric and form and the findings of documentary research. Consideration has been given to the degree of prior change. The building is considered to be of architectural and historic interest but finds that not all parts are of equal significance. This significance predominantly lies in the external envelope of the building, most notably its Gothic form, brickwork and character. The interiors of the building are much altered and do not retain original plan form, character or detailing of note and are historically documented as being simple and executed with 'cheapness of execution'.
64. A summary of the significance is set out below.

## External elevations

65. These form the primary elements of special architectural significance and the reason why the building contributes to the character and appearance of the conservation area. Of the surviving parts, there has been minimal change other than the loss of the railing to ground floor windows, blocking of single door in the south elevation and the replacement of windows. There has been some rebuilding of the southern gable. Overall there is very limited scope for change with the elevational form being desirable to preserve.

## Plan form

66. Much of the current layout can be attributed to 1980s and subsequent period. The partitioning, room dividers, glass walled meeting rooms and position of lift and main stairs are not of special interest. The only remnant of the historic layout and structure is the central spine/cross wall which is evident at lower ground, ground and first floors and then only partially at second and third floors.
67. The original plan form appears to have comprised of large, plot wide, open workshops in the southern part of the building with narrower workshops in the northern parts, the latter having a reduced footprint on account of a former lightwell that has since been infilled by an extension to accommodate the stair compartment. The location of the original staircase is recorded on a plan dated 1938 and comprised an open well square plan staircase on the south side of the cross wall, set against the party wall. This plan also shows an adjacent lift. Historic records indicate a single staircase but several lifts. None of these historic features survive having been removed and replaced in the 1980s.
68. The fabric of most of the internal walls is therefore modern or of little or no significance. There is generally good scope to accommodate change. Creating a more open plan character that respects the original division could offer enhancement.



Figure 21: Front door

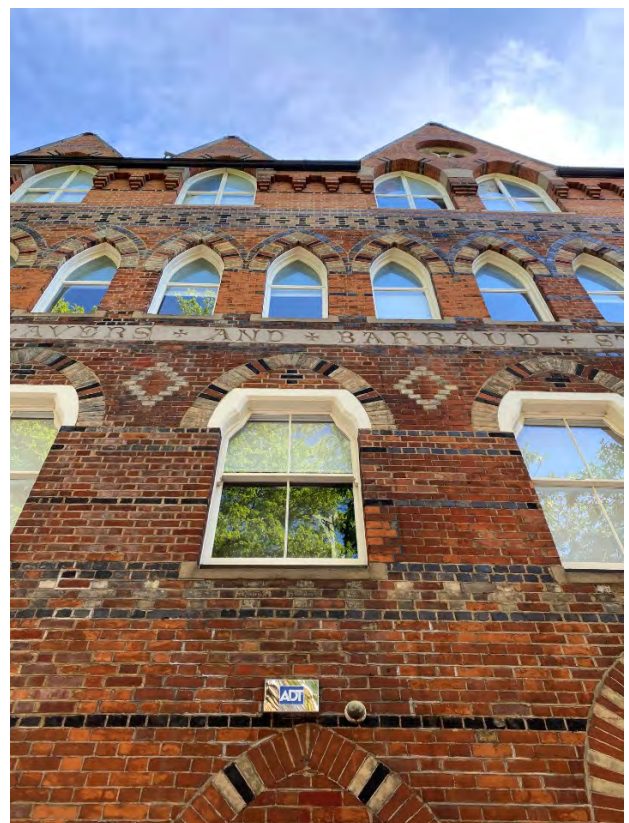


Figure 22: Polychromatic brickwork and integral signage



## Spiral stairs

69. In the south east corner of the building is a spiral staircase manufactured by Haywards. The staircase is not shown on the 1938 plan. On an undated plan (thought to be late 1970s) there is a straight flight staircase in its position, perhaps a proposal not executed. The 1980s proposal drawings are the first and only plans to show the spiral staircase, the wall enclosing it and the modern rooflight over. Based on the maker, its form and stylistic detail, the staircase is consistent with examples of Hayward's work from the late 19th century.
70. As a modular feature, and that is commonly available through salvage yards today, it is likely that this feature was imported and installed as a feature in the 1980s conversion. If it pre-dates this its placement is odd as all historic plans show a wide chimney breast, which was seemingly removed in the 1980s, immediately adjacent to its current position. The historic account refers to a single staircase to the building and the importance that was given to keeping the floor plates as large and as simple as possible. It is likely that, as a glass works, the workshops would have almost certainly have been accessed via an enclosed, robust and industrial staircase (as shown on the 1938 plan) rather than an open and lightweight spiral stairs. The staircase is an object of interest but it is concluded here that it is not original to the building, it is not contemporary with the original construction, nor does it reflect industrial character and qualities of the



Figure 23: Spiral stairs

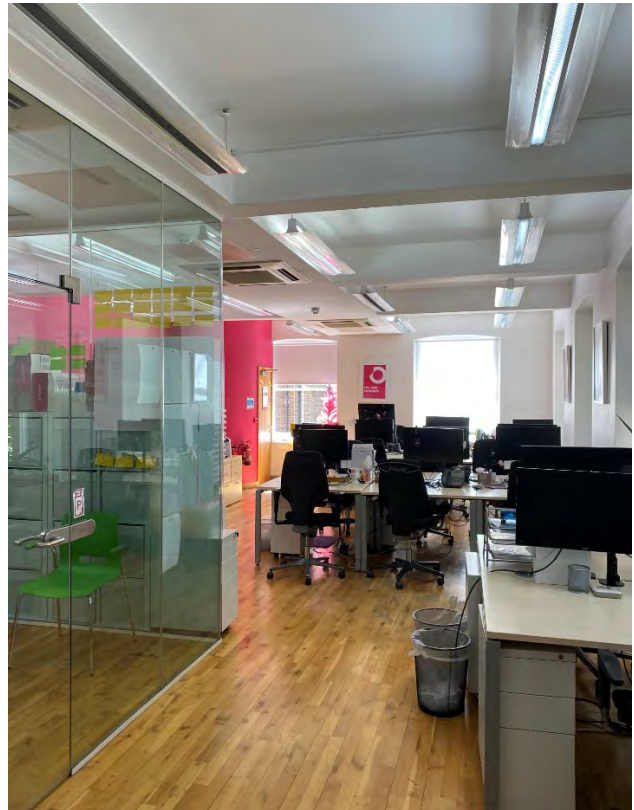


Figure 24: Typical office floor



Figure 25: Typical office floor and services arrangement

manufactory. The feature appears to be a late 20<sup>th</sup> century import. For these reasons, its significance and importance to the building is greatly reduced.

### Front lightwell and basement

71. The 1871 Ordnance Survey map suggest a lightwell to Endell Street but by the 1895 Ordnance Survey map no lightwell is shown. Likewise the 1859 and 1860 engravings do not show lightwell or railings. The historic photographs from 1980, prior to its major refurbishment, also show no lightwell or railings. The current railings therefore postdate 1980 and are not the features described in the list description, which may simply be the window bars since removed. The railings themselves are not historic but they are of a design and purpose that reflects and relates to the original structure forming the lightwell. The railings contribute to the conservation area.

### Interiors, finishes and character

72. The building has clearly undergone extensive refurbishment in the 1980s and possibly since. Any residual heritage value lies in the spatial qualities of open plan workshop rooms, most notably at the top floor where the timber roof structure is exposed and forms a key part of the character of the space. At this floor a rebuilt gable and modern stained glass window provide an impressive termination and allude to the building's for the purpose. Staircase, lift, all finishes and the introduction of services do not in any way contribute to the buildings special interest or significance. Floors and ceilings are modern and there has been visually intrusive insertion of services and glass partitioning to adapt the building for office use.

73. Historically the rooms would have been basic and functional workshops. There is very good scope to refurbish and offer an improvement that aesthetically respects the simplicity of the original workshop character.



Figure 27: Exposed roof structure



Figure 28: 1980s staircase lobby



Figure 26: 1980s staircase



Figure 29: 1980s office partitions



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# Impact assessment

74. This section of the report praises the effects of the proposals on the architectural and historic interest of the listed building and the effect of any external works in the character appearance the conservation area. The proposals are principally internal or at high level externally and are not considered to affect the setting of other listed buildings.

## Replacement of modern front door, signage and lighting to Endell Street

75. The existing door appears to be a 1980s replica of the original design. It is proposed to replace the upper four of its six panels with glass, thereby maintaining the framework, overall design, character, and appearance, but achieving a door of improved safety that helps identify it as the principal entrance.
76. Late 20<sup>th</sup> century lights flank the door and are of a simple but robust design. A series of Perspex mounted signs also thank the door to identify current occupants. It is proposed to replace the lights with a better design and provide a signage panel that limits potential for signage of such varied appearance. Is also proposed to install a simple hanging sign above the door to further highlight this otherwise understated entrance.
77. This element of the proposal has been designed to maintain the overall character but offer enhanced functionality and appearance. The proposed door maintains the six panelled appearance and detailing as originally intended and the effects on the significance of the building will be negligible. The proposed changes to signage, including the provision of hanging sign, and the provision of more sympathetic lights, enhance the appearance of this part of the building and preserve the special interest the listed building.

## Installation of two new rooflights to rear pitch and replacement of existing rooflight

78. The rear pitch of the roof is entirely hidden from public vantage points. The only private vantage points in which it is visible is from the rooftop plant deck on the taller modern adjacent building. The proposed installation would require trimming of rafters between the upper purlin and ridge and localised loss of modern internal finishes and replacement slate. It is not known if the rafters are historic (the 1980s works quite extensive with rebuilding of the nearby southern gable and provision of all internal plaster finishes attributed to

this period and it is entirely possible that the roof was reset at this time).

79. The 1980s work included the installation of a rooflight over the spiral staircase and whilst it is not of a conservation design it has not resulted in any harm to or loss of significance. The proposed rooflights offer the benefit of supporting environmental control and through their simple design, minimal disruption to possibly historic fabric, and avoidance of disruption to the key historic elements of roof structure, are deemed to be appropriate additions to the building. This element of the proposal is considered to preserve the special interest of the listed building and the character appearance of the conservation area.

## Replacement of the flat roof finish and plant to upper rear plant deck and provision of plant screen

80. The flat roof dates from 1980 and its form and fabric are not of significance or sensitive to change. It covers the infill extension in which the stairs and lift were inserted and it is mounted with plant. This part of the building is visually discrete, being concealed by the adjacent taller buildings and pitch of the host building.
81. The proposal includes the replacement of outdated plant and the roof covering. The proposed plant represents a net reduction in equipment and can offer improved energy efficiency. The siting and nature of the plant location is such that it is away from potential noise and visibility receptors, however, in the interests of creating a visually improved roofscape and reducing any possibly auditory effect, an acoustic plant screen will enclose the plant deck's southern side. This element of the proposals is considered to preserve the special interest of the listed building and have no adverse effect on the character appearance the conservation area. The proposal improves the current arrangement.

## Replacement of modern door to lower ground, Betterton Street

82. It is proposed to replace this 1980s door with a feature of similar design but that offers better performance and security. This element of the proposal would not result in any loss of historic fabric, change to character or appearance and would therefore preserve the significance of both the listed building and the conservation area.

## Removal of 1980s internal partitions

83. Internal subdivision carried out in the 1980s deviated from the open plan nature of the original building. These works include glass partitions that form offices

and meeting rooms, plastered partitions that create an entrance hall and some cellular layouts. At some point since the 1980s refurbishment a full height partition has been installed at fourth floor and this has had an adverse effect on the otherwise open nature of that impressive space and results in partial obscuring of the large stained glass window in the southern gable.

84. All of these elements are clearly modern and do not in any way contribute to the special interest of the building. The proposal will remove these divisions, thereby returning the plan to a more historically appropriate open plan character. At ground floor this will necessitate the insertion of fire curtains to protect the escape route but these can be accommodated as simple bulkheads and would not result in loss of historic structure or have an adverse visual impact. These elements of the proposals will enhance the special architectural and historic interest of the listed building.

#### Refurbishment to all floors, including replacement of lighting, floor finishes and services

85. All internal finishes, including floors, walls, doors and services, are modern and in no way contributory to the special architectural or historic interest listed building. It is proposed to strip out the interiors and comprehensively refurbish the building to provide improved office accommodation.
86. To improve spatial quality, character and appearance, the unsightly and large-scale suspended plant equipment within the open roof space at fourth floor will be replaced with a neater design. The proposal allows for side-mounted grills rather than the retrofit soffit grills and improved lighting system. Both these elements will improve the visual character of the space and avoid unnecessary clutter that detracts from the appreciation of the exposed roof structure and vaulted ceiling. Elsewhere in the building, where possible, air conditioning cassette will be placed as wall mounted units at low level. The building is already comprehensively supplied with air conditioning and heating and the replacement systems can utilise existing service routes without further disruption to historic fabric.
87. Internal refurbishment and betterment of services offer visual improvement and no loss of historic fabric or character. These works are deemed to preserve the special interest listed building.

#### Refurbishment of 1980s staircase, lobbies and WC's

88. These elements of the building are not of special

architectural or historic interest and are not sensitive to change. The proposals will bring about an aesthetic improvement without fundamentally altering the established plan form, circulation or relationship between these parts and the main office space. These elements of the proposal would have no effect on historic fabric or character and would preserve the special interest of the listed building.

#### Creation of bike storage, showers and changing area to lower ground floor

89. The 1980s works resulted in considerable subdivision of the plan form throughout all floors of the building. The proposal will largely remove this intrusive subdivision and offers a betterment by doing so. The proposed works now limit the subdivision to a small part of the lower ground floor, an area where there is reduced sensitivity to change. This element of the proposal would not fundamentally disrupt historic plan form and the special interest of the listed building will be preserved.

#### Installation of the green wall to Endell Street lightwell area

90. To improve the outlook from the lower ground floor level, and to enhance the potential for ecology, it is proposed to install a green wall on the pavement side of the area (light well). This element of the proposal would not alter the appearance of the main frontage of the building, nor will it bring about change to the contribution the building makes to the character appearance of the conservation area. The proposal would not result in any loss of historic fabric or detract from the functional purpose of the lightwell. For these reasons, this element of the proposal is considered to be a beneficial enhancement that would have no adverse effects on heritage value or significance. It is further noted that the lightwell had formally been enclosed and therefore this area of the building has been subjected to considerable change.

#### Removal of modern internal plaster to expose brick along back wall

91. Documentary accounts suggest the original workshops were simple and robust in character. The offices are currently finished with plastered walls and ceilings. It is proposed to remove the plaster on the inside face of the party wall to achieve an exposed brick finish that reflects the simple and robust industrial character of the building. There will be no loss of historic fabric and the construction and inherent material quality of the building would be better revealed.



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## Removal of the spiral staircase

92. Based on observation and research this assessment concludes that the spiral staircase is most likely a 1980s insert and that as a feature it postdates the listing. The staircase is not shown on plans of 1938 or from the late 1970s. The proposal will remove staircase and make good the floor voids to return each floor to its full orthogonal plan. On the basis the feature is a feature attributed to the 1980s refurbishment this element of the proposal will not result in harm to the building's special interest and significance. Whilst there will be some loss of historic fabric, it is a later feature and it offers little to the special interest of the listed building. If in the unlikely event it is proven to be a feature that pre-dates the 1980s refurbishment, its removal would result in a very minor degree of harm.

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## Conclusion

93. This report has considered the architectural and historic interest of the listed building and its contribution to the character appearance of the conservation area. In doing so it presents the local authority with a description of the significance of heritage assets and considers the effects of the proposed development upon that significance. This accords with the requirements of paragraph 189 of the National Planning Policy Framework.
94. Assessment of the building has informed the design now proposed. Through an understanding of the significance it has been possible to develop a design that seeks to minimise and avoid any adverse effects on the heritage value and interest of the listed building. It is concluded that the proposals represent change of an appropriate level and nature that will at least preserve the special interest of the listed building.
95. It has been demonstrated that much of the interior lacks architectural or historic interest. Whilst a 19th-century spiral staircase survives, its provenance is unproven and documentary evidence supports a likely installation date of 1980. Whilst this feature is of interest, it contributes little to the overall significance of the listed building and does not appear to form an inherent part of its history. The loss of this feature, if attributable to the 1980s work, would not result in harm. If the feature is proven to be earlier, any harm resulting would be at the very lowest end of the scale of 'less than substantial harm'.
96. The proposals beneficially remove the 1980s glass partitions throughout, as well as the solid partition at fourth floor, all unsightly services, modern finishes

and low quality and tired decorative character. Similarly the proposal beneficially retains and refurbishes all original fenestration and seeks to reinstate open plan floor plates with simple and historic detailing befitting of this 19th-century manufactory but complimentary to modern office standards. These works are considered to offer benefits and enhancement to the special architectural and historic interest of the listed building and would offset any identified harm. In response to paragraph 196 of the National planning policy framework this proposal overall will secure the optimum viable use and result in considered refurbishment that will secure and complement the long-term interests of the building's conservation

97. In respect of local planning policy D1, it is noted that the proposal respects local context in terms of character, and preserves, and in places enhances, the heritage asset. The proposals consist of details and materials that are of high quality.
98. In respect of the effect of the proposals on the conservation area (local planning policy D2), it is noted that the proposals preserve the special character and appearance. The degree of external works is minor and wholly in keeping with its character and appearance.
99. In respect of the listed building (local policy D2), the proposed alterations overall would not harm the special architectural or historic interest of No.22 nor have any effect on the setting of adjacent listed buildings. It has been demonstrated that the building's interiors could accommodate a high degree of change without any effect on historic character or loss of original features that contribute to the special interest.

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