

Koko

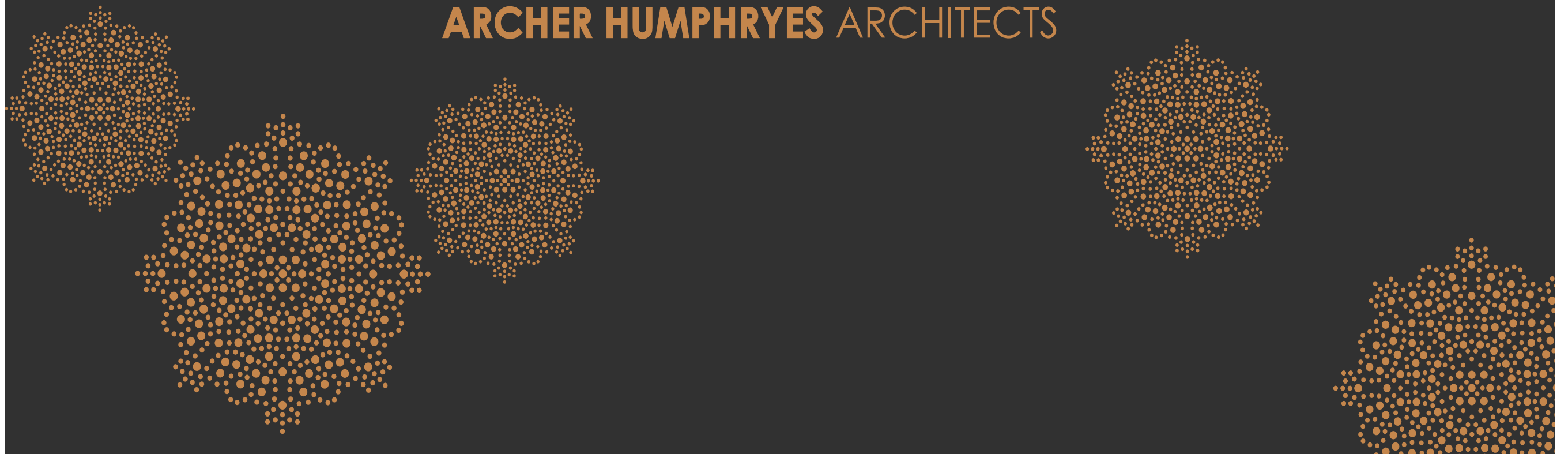
Dome Reinstatement

Heritage Report
Stephen Levrant Heritage Architecture (SLHA)

Planning + Listed Building Submission
June 2020

“ a great space is performance in progress.”

ARCHER HUMPHRYES ARCHITECTS





KOKO - 1A Camden High Street

HERITAGE STATEMENT

For Listed Building Consent Application

1. Dome reinstatement
 2. Concrete slab replacement
 3. External paint stripping (South and West elevations)
-

May 2020

INTRODUCTION

1. The Grade II listed KOKO building - a renowned music venue and nightclub in Camden suffered from a disastrous fire on 6th January 2020, which resulted in the charring and collapse of the original timber dome and extensive water damage to the interiors and external elevations in the areas around the dome. At this time, the building was undergoing refurbishment and a new rear development and rooftop extension was being constructed as per the consented 2018 scheme¹. After this consent there have been a number of subsequent applications and approvals – for full details please see Appendix 1.
2. Following the fire on 6th January 2020, an initial site visit and team meeting with the Local Authority (Camden) and Historic England was conducted on 15th January 2020, and a plan of Action was made for the reinstatement works, subdivided in 3 stages which run concurrently, in order to both accelerate the process and to act in the most efficient way:
 - **Stage 1 - The 'Making Safe'** - to carry out urgent works for environmental protection of the building and to secure the surviving historic fabric;
 - **Stage 2 - The 'Enabling' Stage** - to promulgate strategies for the drying out of the building through liaison with relevant specialists; and

¹ Planning and listed building consents were granted on 2nd May 2018 (2017/6058/P and 2017/6070/L) for the "Erection of 4 storey extension above north west side of 1A Camden High Street (Koko) and erection of 5 storey building to provide pub at ground floor and private members club on upper floors following demolition of 65 Bayham Place, 1 Bayham Street (façade retained) and 74 Crowndale Road (façades retained), including enlargement of basement and sub-basement, mansard roof extension to 74 Crowndale Road, creation of terraces at 3rd and 4th floor level, relocation of chillers and air handling unit to 3rd floor plant enclosure with additional plant at roof level, erection of 4th floor glazed extension above roof of Koko to provide restaurant and bar to private members club, minor reconfiguration to circulation space within Koko, conversion of Koko dome to private bar, erection of glazed canopy to Camden High Street and Crowndale Road elevation and refurbishment and restoration of Koko."

- **Stage 3 - The ‘Repair and Reinstatement’** - to prepare the package of information for the repair and reinstatement works in collaboration with the Project Design Team.
3. Stephen Levrant Heritage Architecture (SLHA) was instructed to lead the urgent works and to assemble a team of heritage specialists to undertake investigation and provide advice to allow cost effective conservation of historically important materials to meet the requirements of Historic England and the Local Authority; while allowing fast-track return to the originally intended refurbishment; and an early return to sustainable occupancy after the fire and water damage.
 4. SLHA and Indigo Planning have been coordinating with the Local Authority [LA] and Historic England [HE] since the Fire. After an initial site visit regular updates on the strategy and progress of works were provided to the LA and HE via emails, with update meetings with the Conservation Officer (Colette Hatton) in February, April and May 2020.
 5. Salvage of fire - and water - damaged fabric has been an important element of the initial work during the Stage 1, once safe access was gained to the building. SLHA have carried out an extensive measured and photographic survey of dome’s charred structural timber elements. The survey has been done to investigate the original construction of the dome, and potentially salvage elements that could be used in the proposed reinstatement. The subsequent ‘Dome Historic Timber Structure - Post-fire Inventory Report’ (April 2020) contains detailed evidence of the structural elements obtained within the debris; indicating its condition, construction method and materiality. With the assistance of previous (pre-fire) survey reports by Hutton & Rostron (*Strength grading assessment of structural timber elements, Site note 1 for 15 March 2017, 146.89; Timber condition investigation of the ‘Dome’, Site note 4 for 28 June 2019, job no. 146.89; Timber strength grading assessment of the ‘Dome’ roof structure, Site note 5 for 28 June 2019, job no. 146.89*) SLHA were able to identify key structural elements during the site surveys. Representative examples of every element were recorded and stored on site for reference.
 1. This report, enclosed with this heritage statement, outlines a brief history, construction and condition of the dome prior to the fire. It also includes the detailed recording of the structural elements found in the debris. The report is appended with photographic condition surveys undertaken concurrent with different phases of strip out of the fire damaged dome, as well as photographs of individual timber elements.
 2. Heyne Tillett Steel (HTS) - Structural Engineers - were granted early access to the site and have been gathering information to assist in determining the structural impact on the rest of the building below the timber dome, and to confirm structural safety to access site and commence clearing of the affected areas.
 3. Their initial observations “*have not identified any primary structure within Koko which may be considered a dangerous structure following the fire other than potentially the slab directly below the dome*” which was recommended to be propped prior to access above or below.
 4. Whilst the short term impact of the fire on the structure is now understood to be minimal, the long-term effects, including that from water ingress, will need to consider any temporary works and the new dome proposal to ensure that any increased loads can be accommodated by the slab.
 5. Furthermore, Catherine Hassall, the paint specialist appointed on this project, has undertaken paint samples in a number of locations on the external elevations (Appendix 2: C. Hassall, Paint Analysis (exterior) - Report no.C519, March 2020). The paint analysis

combined with archival research revealed that the elevations are composed of a patchwork of materials - brick and stone with multiple layers of plaster and paint.

6. This document is a supporting statement for the Listed Building Consent application for the reinstatement works (see below for details) following the fire in January 2020.
7. The purpose of this document is to provide a heritage appraisal of the works proposed. This report will assess their impact on the historic fabric and character of the grade II listed building. It also includes a policy justification for the works. For further information on the history and context of the subject site, please refer to the Heritage Statement produced in support of the 2018 application (2017/6058/P and 2017/6070/L).

CONTEXT

8. Koko, originally named Camden Palace Theatre, is a grade II listed building located within the Camden Town Conservation Area, in the London Borough of Camden. The buildings at Bayham Street and Bayham Place and The Hope & Anchor pub are part of the proposals under the aforementioned consented scheme. The buildings are adjacent to the rear of the theatre. They are not included in the grade II listing but are 'positive contributors' in the Camden Town Conservation Area Appraisal, 2007. Koko is an internationally renowned music venue and a significant contributor to Camden's cultural identity.
9. The consented works that are relevant to this application comprise the conversion of KOKO's dome to be used as a members' bar, the consented sky lobby and consented internal alterations (2017/6058/P and 2017/6070/L).

SIGNIFICANCE ASSESSMENT

10. This section provides an outline appraisal of the subject building's significance in accordance with Historic England's latest guidance on significance assessments (October 2019). The Archaeological, Historical, Architectural and Artistic interest of the buildings is appraised below:
11. **Archaeological interest:** The subject site is not located within an area of archaeological priority as defined in Historic England's Camden APA appraisal (October 2018). KOKO (formerly Camden Palace theatre) was built redeveloping a number of early 19th C buildings on the site, which were not of particular architectural or historical importance. The site underwent substantial construction activity when the theatre was built and it is highly unlikely that the site preserves any evidence of previous human activity. The archaeological interest is therefore **low**.
12. **Historical interest:** The theatre venue and nightclub is renowned with a number of celebrated artists having performed in the building. Internally, the building preserves much of its original details and finishes, which are representative of a Victorian theatre. The building therefore has a **high** historic interest.
13. **Architectural and Artistic interest:** The external elevations, characteristic dome and details are iconic and representative of a turn of the century theatre building. Original features of architectural merit including the classical Italianate design survive, despite the loss of some features. Internally, a large number of details and finishes survive and are representative of the period. The building's architectural and aesthetic interest is therefore **high**.
14. **Summary:** Due to the building's international popularity as an events venue, and the survival of a large number of features characteristic of a turn of the century theatre, the building has a high historical interest. Likewise, the building's architecturally interesting external

elevations, survival of characteristic details as well as interiors would grant it a high architectural and artistic interest.

PROPOSED WORKS

15. This section is to be read alongside the drawings by Archer Humphreys Architects (AHA) and a report on slab options by Heyne Tillet Steel (HTS) enclosed with this application.
16. The proposed works are all part of the reinstatement works agreed with the LA and HE and are a result of the detailed and comprehensive surveys and assessments following the fire in January 2020. They comprise of:
 - Dome reinstatement
 - Concrete slab replacement
 - External paint stripping from the South and West elevations
17. The utmost care will be taken so that there is no damage to any sensitive areas or of any items that are of any historical or architectural merit - only necessary and specified elements and fabric can be removed. Any historic features not identified for removal will not be disturbed and is to be protected.

Dome reinstatement

18. The requirements of the Historic England and the Local Authority are a like-for-like reinstatement of the dome, of identical design, dimensions, materials and details as the fire damaged dome (subject to building control).
19. The detailed surveys undertaken have informed the preparation of detailed construction drawings and specifications for the dome reinstatement. This includes drawings at a large scale, showing joints, dimensions of each element and all required details. The structural engineers and the lead architects have used this historically accurate information and adapted, where necessary, to address requirements of current Building Regulations and Standards. Most of the original arrow-head wrought iron bracing from the main trusses have been salvaged (7 out of 8) and they will all be retained and reused, as they are important historic fabric, with additional resin dowels behind to accord to today's standards. The missing pair will be made from wrought iron to match salvaged ones like-for-like (see 'Comments on dome connections' by HTS, May 2020).

Concrete slab replacement

1. It was identified early in the design programme that the capacity and condition of the existing filler joists did not allow for the additional loading and robustness requirements associated with using the area as a bar, and as such some strengthening was seen to be required. The strengthening method originally proposed in the 2018 application included for large steel beams running below the slab to reinforce it (negative consequences of this option are discussed in more detail within the HTS report) while the alternative, less intrusive option in conservation terms proposed here includes for replacement of the concrete slab so as to mitigate the need for the additional strengthening steels.
2. The proposed solution requires significantly less deviation from the historic design. For this option to work, the existing clinker concrete filler-joist slab needs to be replaced with a new lightweight reinforced concrete slab sitting between the retained filler-joists and spanning between the existing primary girders. This will reduce the need for large and complex

steelwork and temporary works requirement, and it also helps de-risk the works to the front piers.

3. it is considered that this proposal better respects the historic structure by retaining the existing aesthetic and the existing load-path. This option was not originally feasible, with the dome retained in the 2018 application, but in line with the proposed dome reinstatement it can now be achieved and is a preferred option.

External paint stripping from the South and West elevations

4. Following the extensive water damage to the building fabric, which was a result of the fire to the dome on the roof, moisture retention within the masonry is causing significant deterioration of the building. Painted surfaces, in particular, are restricting the drying out of the brick substrate. In most instances these were found to be completely impervious and are retaining moisture within the building fabric.
5. Strategies for the efficient drying out of KOKO including a phased strip out programme are currently being implemented. To prevent serious damage, it is important to dry the building slowly. As part of the drying out strategy, strip out of water damaged fabric is essential, in order to remove modern damp fabric and finishes; and to consolidate, protect and repair fabric of significance.
6. The existing modern layers of paint are preventing moisture migrating from the masonry masses and are trapping mobilised and potentially harmful salts. In order to facilitate efficient drying out of the building, the removal of existing paint from the external front elevations (and return) has now been recommended as part of this application – see enclosed SLHA elevation drawings with marked areas for paint stripping.
7. Before proceeding with the full paint strip-out a sample paint removal (3 no) will be prepared for approval – location and method/spec to be identified and agreed with the Conservation Architect first. The final methodology should be agreed following this.

IMPACT ASSESSMENT

8. The proposed works are necessary reinstatement and remedial works due to damage caused by the fire in January 2020 and consequent water damage resulting in a further deterioration of the building fabric.
9. The proposed works impact on the fabric of the listed building is limited only to the essential areas affected by fire or water damage. The proposals have taken into consideration the historic fabric of significance and have incorporated strategies to minimise loss of fabric of significance. Furthermore, none of the works proposed would have any impact on the setting of nearby heritage assets or on the character and appearance of the conservation area as a whole.
10. **Dome reinstatement:** The proposal is for a like-for-like replacement of the dome timber structure, based on meticulous survey of the post-fire charred remains, previous surveys and recording of the dome and a best conservation principles. This is considered a substantial beneficial impact as it allows and ensures the long-term future of the most significant historic fabric and the listed building itself. The dome constitutes a landmark within the conservation area, and highly contributing to the special interest of the listed building and the character and appearance of the conservation area.

1. **Concrete slab replacement:** This proposal could be considered to be minor adverse as it results in loss of some original fabric (clinker concrete slab). However, it is a less intrusive option in conservation terms than the one consented in the 2018 application and is mitigated by the benefits accrued by the proposal, mainly avoiding the need for the large and complex steelworks and temporary works. Overall, it does not adversely impact the special interest of the listed building.
2. **External paint stripping:** These are necessary works needed to facilitate efficient drying out of the building and stop further deterioration of the historic fabric. It will be executed carefully and according to the best conservation practices in order not to cause damage to the historic fabric. The impact is considered to be minor beneficial as it will enable improvement of the condition of listed building fabric.
3. Therefore, the proposed works are all considered to be necessary to ensure long-term preservation and future of the listed building. The overall impact of the proposed works is considered to be **moderate beneficial** and the proposal will cause **no harm** to the special interest of the listed building or the character and appearance of the conservation area.

POLICY CONSIDERATION

Planning (Listed Buildings and Conservation Areas) Act 1990

4. **Section 66:** General duty as respects listed buildings in exercise of planning functions.

Section 66 states that in the determination of planning applications which affect a listed building or its setting, *‘the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.’*

Response: This report has considered the physical impact of the proposal on the listed building and has determined no harm will occur. Furthermore, the proposed works are needed to enable long-term preservation of the listed building.

NPPF Considerations:

5. The National Planning Policy Framework (July 2018) sets out the Government’s planning policies for England and outlines how these should be applied. This section discusses the impact of the proposals according to the NPPF. The NPPF contains a presumption in favour of sustainable development sympathetic to the conservation of designated heritage assets. This statement deals principally with Section 16 of the NPPF, “Conserving and enhancing the historic environment,” however heritage considerations and issues are prevalent throughout the framework.
6. **NPPF Paragraph 189** states: *“In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance.”*

Response: As recommended by NPPF, an assessment of the significance of the heritage asset has been provided above and can also be found in chapter 4: Assessment of Significance in the Heritage Statement of the extant consent (2017/6058/P and 2017/6070/L). It is believed that the assessment is proportionate to the importance of the assets being considered. The assessments and analysis that have been carried out are also believed to be sufficient to

understand the potential impact of the proposal on the significance and special interest of the listed building.

7. **NPPF Paragraph 190** states: *“Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset’s conservation and any aspect of the proposal.”*

Response: An impact assessment on the proposed works has been undertaken as part of the overall assessment of the proposals for this application. Impacts on the historic fabric is limited and localized to necessary areas and elements only. The works are of remedial nature and on a like-for-like basis wherever possible, thereby preserving the special interest of the theatre.

8. **NPPF Paragraph 192** states: *“In determining applications, local planning authorities should take account of: a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and c) the desirability of new development making a positive contribution to local character and distinctiveness.”*

Response: The proposal has been driven by the need to ensure the long-term preservation and use of the listed building. In the current state, due to the fire and subsequent water damage the building fabric is continuing to deteriorate. The proposal is a vital solution for the listed building fabric survival. Any impact on the historic fabric will be remediated by like for like replacement and repair. The historic character of the listed building will therefore be preserved.

9. **NPPF Paragraph 193** states: *“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.”*
10. **NPPF Paragraph 196** states: *“Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”*

Response: It is considered that the proposed works cause “**no harm**” to the special interest of the listed building. The proposed works are aimed to ensure building’s survival and long-term use and preservation. Any part of the proposals considered to cause any minor adverse impact, namely the removal of clinker concrete slab below the dome, are mitigated by benefits accrued by the proposal. The special interest of the grade II listed building will therefore be preserved.

National Planning Practice Guidance (NPPG) – March 2014; ID 18a: Conserving & enhancing the historic environment (Updated: 10 04 2014)

11. **PPG Paragraph: 003 - Reference ID: 18a-003-20140306**

“What is meant by the conservation and enhancement of the historic environment?”

The conservation of heritage assets in a manner appropriate to their significance is a core planning principle. Heritage assets are an irreplaceable resource and effective conservation delivers wider social, cultural, economic and environmental benefits.

Conservation is an active process of maintenance and managing change. It requires a flexible and thoughtful approach to get the best out of assets as diverse as listed buildings in everyday use to as yet undiscovered, undesignated buried remains of archaeological interest.

Where changes are proposed, the National Planning Policy Framework sets out a clear framework for both plan-making and decision-taking to ensure that heritage assets are conserved, and where appropriate enhanced, in a manner that is consistent with their significance and thereby achieving sustainable development.

Part of the public value of heritage assets is the contribution that they can make to understanding and interpreting our past. So where the complete or partial loss of a heritage asset is justified, the aim then is to capture and record the evidence of the asset's significance which is to be lost, interpret its contribution to the understanding of our past, and make that publicly available."

Response: The proposals recognizes the importance of the definition of 'conservation' as the "active process of maintenance and managing change". Over the years, the site and the wider conservation area have been subject to change; and it is necessary for it to continue to change in order to maintain its character as a welcoming and amenable building. These works will enable the continued consented works to be carried out.

12. PPG Paragraph: 009 - Reference ID: 18a-009-20140306

"Why is 'significance' important in decision taking?"

Heritage assets may be affected by direct physical change or by change in their setting. Being able to properly assess the nature, extent and importance of the significance of a heritage asset, and the contribution of its setting, is very important to understanding the potential impact and acceptability of development proposals (see How to assess if there is substantial harm)."

Response: Heritage assets can be adversely affected by physical change or change to their setting. It is contended the nature, extent and importance of the affected heritage asset has been properly assessed and the relevant investigations have been carried out and different solution options have been explored, thereby enabling an acceptable and justifiable proposal to be developed.

13. PPG Paragraph: 017 - Reference ID: 18a-017-20140306

"How to assess if there is substantial harm?"

What matters in assessing if a proposal causes substantial harm is the impact on the significance of the heritage asset. As the National Planning Policy Framework makes clear, significance derives not only from a heritage asset's physical presence, but also from its setting.

Whether a proposal causes substantial harm will be a judgment for the decision taker, having regard to the circumstances of the case and the policy in the National Planning Policy Framework. In general terms, substantial harm is a high test, so it may not arise in many cases. For example, in determining whether works to a listed building constitute substantial harm, an important consideration would be whether the adverse impact seriously affects a key element of its special architectural or historic interest. It is the degree of harm to the

asset's significance rather than the scale of the development that is to be assessed. The harm may arise from works to the asset or from development within its setting.

While the impact of total destruction is obvious, partial destruction is likely to have a considerable impact but, depending on the circumstances, it may still be less than substantial harm or conceivably not harmful at all, for example, when removing later inappropriate additions to historic buildings which harm their significance. Similarly, works that are moderate or minor in scale are likely to cause less than substantial harm or no harm at all. However, even minor works have the potential to cause substantial harm.

Policy on substantial harm to designated heritage assets is set out in paragraphs 132 and 133 to the National Planning Policy Framework."

Response: The impact on the significance of the heritage assets has been fully considered in the Impact Assessment chapter above. There is no occurrence of substantial harm.

14. PPG Paragraph: 019 - Reference ID: 18a-019-20140306

"How can proposals avoid or minimise harm to the significance of a heritage asset?"

A clear understanding of the significance of a heritage asset and its setting is necessary to develop proposals which avoid or minimise harm. Early appraisals, a conservation plan or targeted specialist investigation can help to identify constraints and opportunities arising from the asset at an early stage. Such studies can reveal alternative development options, for example more sensitive designs or different orientations, that will deliver public benefits in a more sustainable and appropriate way."

Historic England's Good Practice Advice 2015

15. Planning note 2 Para.9

"Understanding the extent of that significance is also important because this can, among other things, lead to a better understanding of how adaptable the asset may be and therefore improve viability and the prospects for long term conservation."

Response: The significance of the grade II listed building has been fully assessed and informed the design process. The Heritage Statement prepared for the consented scheme (2017/6058/P and 2017/6070/L) includes a historic background on the building and the area and includes a full significance assessment.

16. Planning note 3 Para.12:

"Amongst the Government's planning objectives for the historic environment is that conservation decisions are based on the nature, extent and level of a heritage assets significance and are investigated to a proportionate degree. Historic England recommends the following broad approach to assessment, undertaken as a series of steps that apply proportionately to complex or more straightforward cases:

Step 1: identify which heritage assets and their settings are affected

Step 2: assess whether, how and to what degree these settings make a contribution to the significance of the heritage asset(s)

Step 3: assess the effects of the proposed development, whether beneficial or harmful, on that significance [...]"

Response: The steps above have been complied with. The significance of the heritage asset affected by the proposals has been assessed, as well as the effects of the proposed development. The proposal is assessed as causing no harm to the listed building and no impact on the conservation area.

CONCLUSION

17. At the time of January 2020 fire, the building was undergoing repairs and a new rear development and rooftop extension was being constructed as per the 2018 consented scheme (2017/6058/P and 2017/6070/L).
18. The proposed works, all part of the reinstatement works agreed with the LA and HE and result of the detailed and comprehensive surveys and assessments, are necessary reinstatement and remedial works due to damage caused by the fire and consequent water damage resulting in a further deterioration of the building fabric.
19. As expounded above, the proposed works are all considered to be necessary to ensure long-term preservation and future of the listed building. The overall impact of the proposed works is considered to be **moderate beneficial** and the proposal will cause **no harm** to the special interest of the listed building or the character and appearance of the conservation area.
20. The proposal is consistent with the spirit of local policies and national conservation principles, including NPPF policy principles guiding the determination of applications for consent relating to all heritage assets.

**Stephen Levrant: Heritage Architecture
Architects and Heritage Asset Consultants**

APPENDIX 1: PLANNING HISTORY POST 2018 APPLICATION (2017/6058/P and 2017/6070/L)

KOKO- PLANNING HISTORY									
2018 TO DATE									
	REF	DATE VALIDATED	DESCRIPTION / PROPOSALS	floor/Room	OUTCOME	PROPOSED	DRAWINGS/ DOCUMENTS	ADDRESS	NOTES
1	2017/6058/P	30/10/2017	Redevelopment involving change of use from offices (Class B1) and erection of 5 storey building at the corner of Bayham Street and Bayham Place to provide pub at ground floor and private members club (Class Sui Generis) on upper floors following demolition of 65 Bayham Place, 1 Bayham Street (façade retained) and 74 Crowndale Road (façades retained), including enlargement of basement and sub-basement, retention of ground floor and basement of Hope & Anchor PH (Class A4), change of use at 1st and 2nd floor from pub (Class A4) to private members club (Class Sui Generis), mansard roof extension to 74 Crowndale Road, creation of terraces at 3rd and 4th floor level, relocation of chillers and air handling unit to 3rd floor plant enclosure with additional plant (5x a/c condensers and 1 cooling unit) at roof level, erection of glazed canopy to Camden High Street and Crowndale Road elevation and erection of 4th floor glazed extension above roof of Koko to provide restaurant and bar to private members club (Sui Generis).FINAL DECISION		Granted Subject to a Section 106 Legal Agreement			KOKO 1A Camden High Street London NW1 7JE	
2	2017/5423/P	02/10/2017	Installation of 1 x telephone kiosk on the pavement.		APPEAL DECIDED			Pavement outside Koko, 1A Camden High Street London NW1 7JE	
3	2017/6070/L	30/10/2017	Erection of 4 storey extension above north west side of 1A Camden High Street (Koko) and erection of 5 storey building to provide pub at ground floor and private members club on upper floors following demolition of 65 Bayham Place, 1 Bayham Street (façade retained) and 74 Crowndale Road (façades retained), including enlargement of basement and sub-basement, mansard roof extension to 74 Crowndale Road, creation of terraces at 3rd and 4th floor level, relocation of chillers and air handling unit to 3rd floor plant enclosure with additional plant at roof level, erection of 4th floor glazed extension above roof of Koko to provide restaurant and bar to private members club, minor reconfiguration to circulation space within Koko, conversion of Koko dome to private bar, erection of glazed canopy to Camden High Street and Crowndale Road elevation and refurbishment and restoration of Koko.		Granted			Koko 1A Camden High Street, Hope & Anchor PH 74 Crowndale Road, 1 Bayham Street and 65 Bayham Place London NW1 7JE	
4	2018/1677/P	24/04/2018	Details of windows and doors, CCTV cameras, landscaping screens to terraces, façade glazing, mechanical ventilation system, air quality monitors, biodiverse roof, photovoltaic cells, piling method statement, soundproofing, air quality measurements, construction method statements and air source heat pumps required by condition 4, 6, 7, 8, 9, 12, 13, 17, 21, 22 and 23 of planning permission 2017/6058/P dated 22/02/2018 for 'Redevelopment involving change of use from offices (Class B1) and erection of 5 storey building at the corner of Bayham Street and Bayham Place to provide pub at ground floor and private members club (Class Sui Generis) on upper floors, mansard roof extension to 74 Crowndale Road, creation of terraces at 3rd and 4th floor level, erection of glazed canopy to Camden High Street and Crowndale Road elevation and erection of 4th floor glazed extension above roof of Koko to provide restaurant and bar to private members club (Sui Generis)'. Installation of retractable acoustic baffles at high level above the stage - A new four-post trussed independent structure will be built over the stage area to support the lighting. The four-post trussed frame will be supported on 4no brick piers, which will be located at sub-basement level in the back of house storage areas. - New air handling unit (AHU) and attenuator overstage. Existing secondary steel beams (non-original) are to be relocated to support the new MEP units.		Granted			Koko 1A Camden High Street, Hope & Anchor PH 74 Crowndale Road, 1 Bayham Street and 65 Bayham Place London NW1 7JE	
5	2018/3086/L	07/08/2018	Installation of retractable acoustic baffles at high level above the stage - A new four-post trussed independent structure will be built over the stage area to support the lighting. The four-post trussed frame will be supported on 4no brick piers, which will be located at sub-basement level in the back of house storage areas. - New air handling unit (AHU) and attenuator overstage. Existing secondary steel beams (non-original) are to be relocated to support the new MEP units.		Granted			KOKO 1A Camden High Street London NW1 7JE	
6	2018/4037/L	15/09/2018	Amendment to previously consented scheme (ref: 2017/6070/L dated 02/05/2018) namely to allow enlargement of basement and sub-basement, 3 fresh air grilles to Crowndale Road elevation, acoustic louvre to ground floor of Bayham Place (to serve plant room below), alteration to door between function room and 'artists gallery' at first floor, replacement of sliding with folding doors to Sky Lobby, alterations to the fourth-floor terrace and other minor alterations.		Granted			KOKO 1A Camden High Street London NW1 7JE	

7	2018/4035/P	17/09/2018	Variation of condition 3 (approved plans) of planning permission 2017/6058/P dated 02/05/2018 (for redevelopment involving change of use from offices (Class B1) and erection of 5 storey building at the corner of Bayham Street and Bayham Place to provide pub at ground floor and private members club (Class SG) on upper floors following demolition of 65 Bayham Place, 1 Bayham Street, and 74 Crowndale Road (façades retained), including enlargement of basement / sub-basement, mansard roof extension (74 Crowndale Road), creation of terraces and erection of 4th floor glazed extension above roof of Koko to provide restaurant and bar to private members club (SG)), namely to allow enlargement of basement and sub-basement, 3 fresh air grilles to Crowndale Road elevation, acoustic louvre to ground floor of Bayham Place (to serve plant room below) and other minor external alterations.		Granted			Koko 1A Camden High Street, Hope & Anchor PH 74 Crowndale Road, 1 Bayham Street and 65 Bayham Place London NW1 7JE	
8	2018/5200/A	26/11/2018	Temporary display of shroud with 1 x externally illuminated commercial advertisement (using 13 x spotlights) on Camden High Street elevation until 31/12/2019.		REFUSED			KOKO 1A Camden High Street London NW1 7JE	
9	2018/5201/INV ALID	17/09/2018	LBC NOT REQUIRED - Temporary installation of a shroud with an externally illuminated commercial advertisement on Camden High Street elevation until 31/12/2019		Withdrawn Decision			KOKO 1A Camden High Street London NW1 7JE	
10	2019/4009/L	05/09/2019	Installation of replacement dome roof truss and removal of temporary propping, installation of additional PFC steel posts to the piers between first floor and roof level, replacement of copper cladding to the dome and associated works.		Granted			KOKO 1A Camden High Street London NW1 7JE	
11	2019/3219/A	30-07-2019	Temporary display of scaffold shroud (with replica of building façade) to front and side elevation including non-illuminated advertisement panel 9m x 4.4m to front elevation for a period of 12 months.		Granted			KOKO 1A Camden High Street London NW1 7JE	
12	2019/2296/P	31/05/2019	Non-material amendment to planning permission 2017/6058/P dated 02/05/2018 (as amended by 2018/4035/P dated 08/03/2019) for 'redevelopment involving change of use from offices (Class B1) and erection of 5 storey building at the corner of Bayham Street and Bayham Place to provide pub at ground floor and private members club (Class SG) on upper floors following demolition of 65 Bayham Place, 1 Bayham Street, and 74 Crowndale Road (façades retained), including enlargement of basement / sub-basement, mansard roof extension (74 Crowndale Road), creation of terraces and erection of 4th floor glazed extension above roof of Koko to provide restaurant and bar to private members club (SG)' approved; namely: installation of new smoke outlet vent to Bayham Street pavement and repurposing of pavement light to Crowndale Road for smoke ventilation		Granted			KOKO 1A Camden High Street London NW1 7JE	
13	2019/0695/L		Temporary propping works. Retrospective erection of temporary propping to existing roof truss".						

APPENDIX 2: C. HASSALL, PAINT ANALYSIS (EXTERIOR) - REPORT NO.C519, MARCH 2020

KOKO – EXTERIOR PAINT

Paint samples were taken as listed on p.4 These were examined as cross-sections and pigments identified. A chemical test for lead was carried out on key sections.

Lead paint

This was only found on the walls at ground floor level. Only one area was examined – the west entrance – but it is likely that other ground floor walls were treated the same.

Lead paint was used on the windows, doors, rain pipes and on the iron grilles in the third floor windows.

Original decoration of the walls

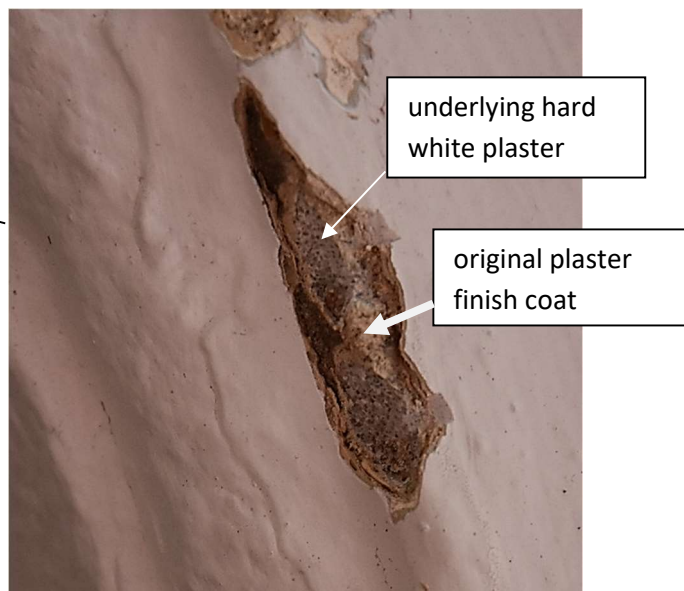
The façade was constructed with a variety of materials, including stone [e.g. the west elevation pilasters] grey cement [e.g. the flat walls, the west elevation columns, the south elevation windows surrounds and string courses] and a hard, white, grit-filled plaster [the surrounds of the 3rd floor circular windows].

At ground floor level the walls were painted with a stone-coloured oil paint based on lead white and a little ochre.

At the front of the building, above ground floor level, a very thin coat of cream or stone-coloured plaster was applied to all surfaces to create a uniform finish. It was also applied to the cement window surrounds and string courses on the south elevation.

The surface of the plaster was sealed with some kind of clear organic coating.

This plaster finish was left untouched until the second half of the twentieth century



Later finishes

First half of C20th

At ground floor level the walls were repeatedly painted with stone-coloured oil paints.

The upper floor walls were left untouched. Only doors, windows and rain pipes were painted.

Second half of C20th

By the mid twentieth century the plaster finish on the upper floors had become thickly coated with dirt, and in some areas it had flaked off, revealing the underlying cement.

Some scraping down took place and then a sealing coat was applied. This was a light brown in colour. The whole façade was then painted with a buff-coloured, textured masonry paint.

Remains of that paint can be seen today on parts of the south string course



Since then the front part of the building has been painted at least seven times with masonry paints. On the upper floors, these paints were always shades of cream or off-white, but on the ground floor dark coloured blue, green and brown gloss paints were used

Recent cement and plaster skim coats

At some point in the recent past, earlier layers were partly scraped off, and then a thin skim coat of cement was applied to some flat areas of walls. It was not applied mouldings such as those around the circular windows.

On the SW corner of the building, attempts appear to have been made to remove this coating.

The penultimate time the building was decorated a white plaster skim coat was applied to flat parts of the walls.



Location of samples

Ground floor

- 3 pilaster to right of entrance door
- 4 entrance door



First floor

- 1 pilaster to right of north door to 1.14
- 2 moulding to left of pilaster

Second floor

- 5 keystone
- 6 string course
- 7&26 column
- 8 column base
- 9 pilaster



- 27 wall below upper windows – early layers
- 28 layers over first scheme
- 29 first scheme



- 10 layers on curved corner



South side

- 12 string course
13 wooden window
14 rain pipe
15 window surround



Third floor, west

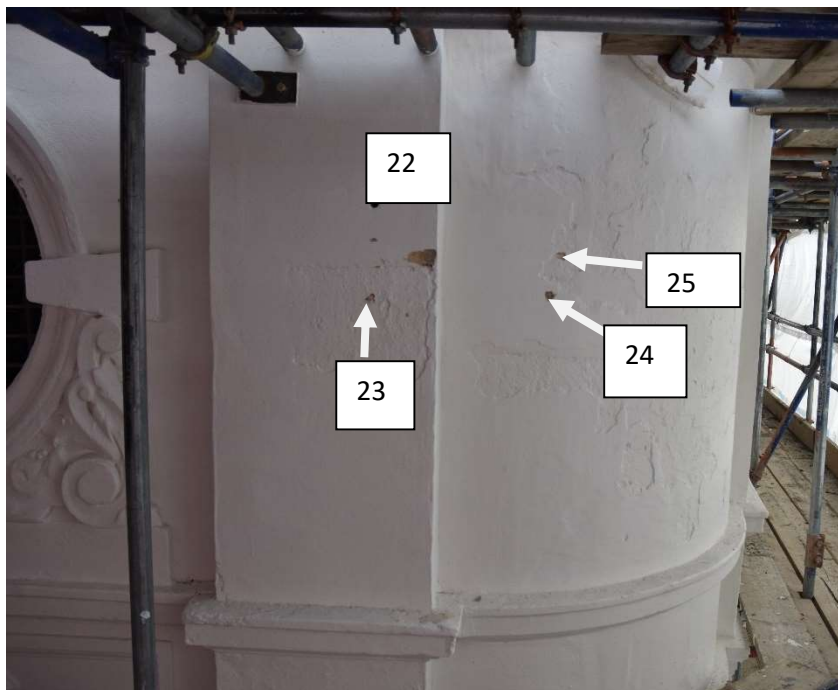
- 16 iron grille
17&18 circular border

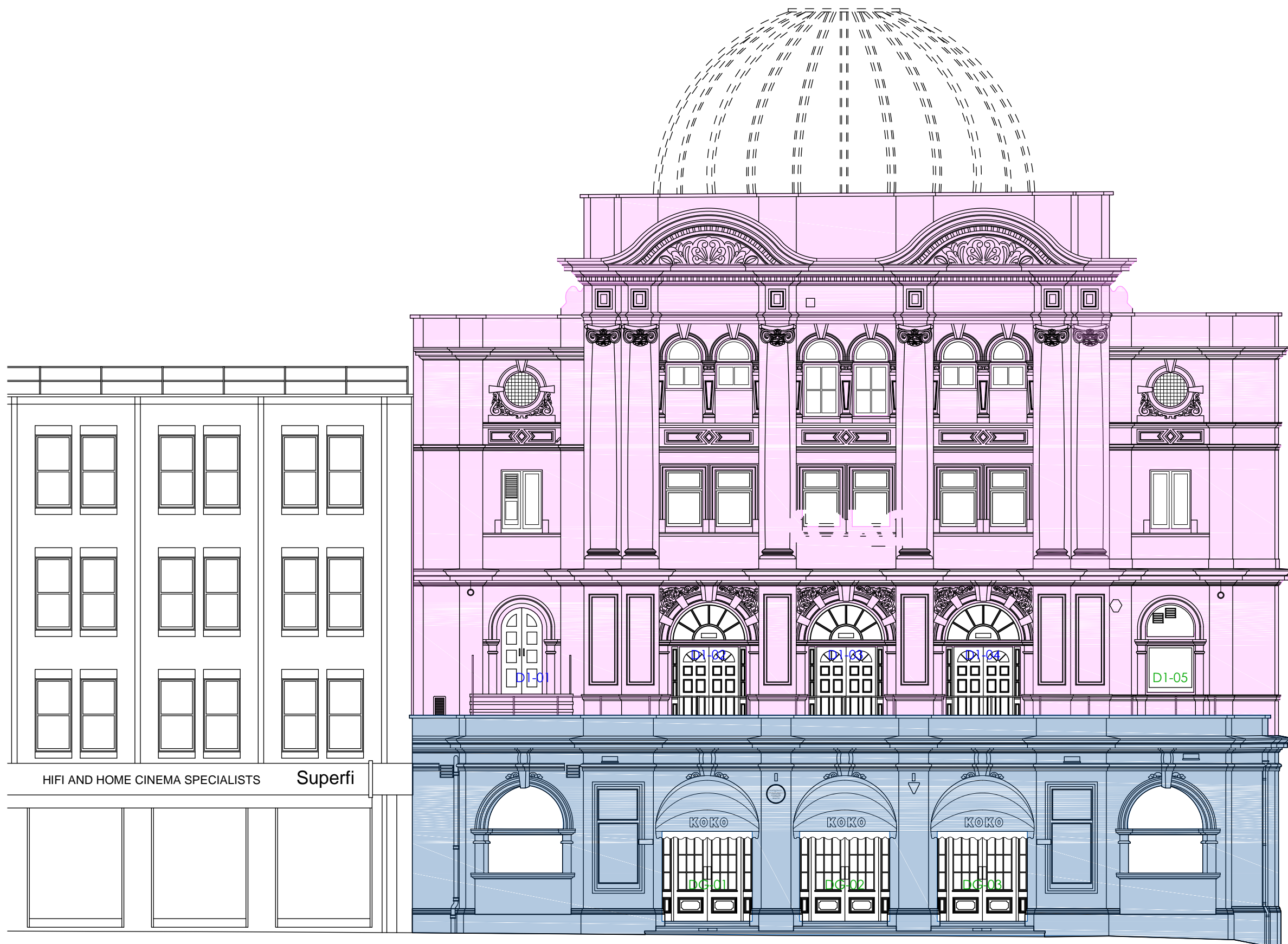
scroll moulding
19&20 intermediate layers revealed by scraping
21 original scheme



Third floor SW corner

- 22 cement skim on pilaster
- 23 layers below cement skim
- 24 white plaster over cement skim
- 25 original plaster





WEST ELEVATION (FACING CAMDEN HIGH STREET)

(CAMDEN HIGH STREET)
△ 20.00m A.O.D

- Paint removal (upper floors)
- Paint removal (ground floor)



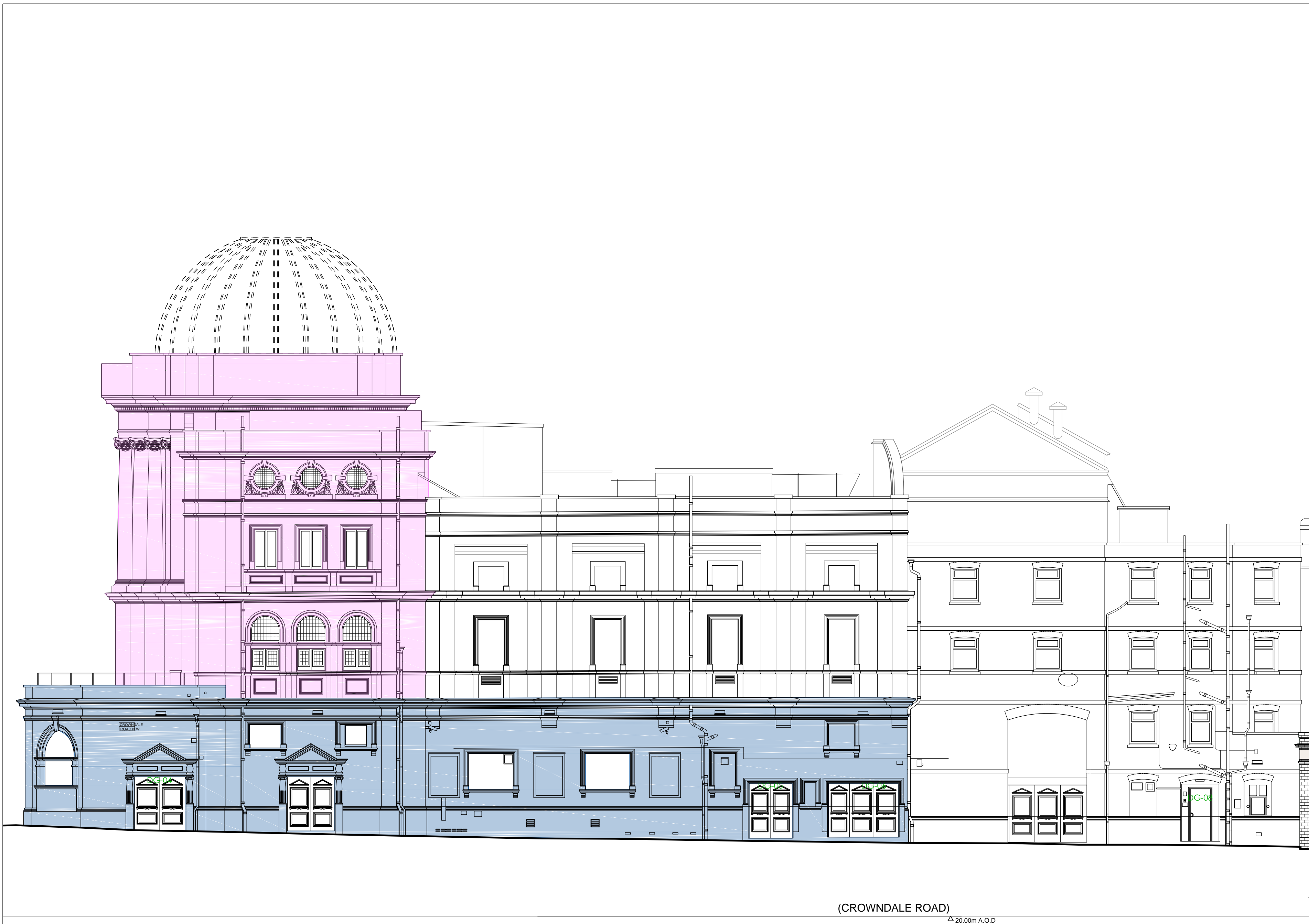
Please note that information used to produce these drawing is based on measured survey supplied by others; Heritage Architecture can not be held responsible for any inaccuracies that may exist. Please do not scale from the drawings. All dimensions should be verified on site. Any inconsistencies should be reported to the project architect.

JOB TITLE		JOB No X0936
KOKO Camden		
DRAWING TITLE		
Strip out Phase 2 - Paint Removal		
DWG No 99_8	Location West Elevation	REV A
DRAWN BY	SCALE 1:100 @ A2	DATE 21/05/20

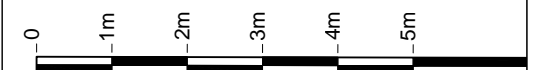
STEPHEN LEVRANT
HERITAGE ARCHITECTURE



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T: 020 8748 5501



- Paint removal (upper floors)
- Paint removal (ground floor)



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JOB TITLE
KOKO
Camden

JOB No
X0936

DRAWING TITLE
Strip out Phase 2 - Paint Removal

DWG No
99_9

Location
South Elevation

REV

DRAWN BY
SCALE
1:100 @ A2

DATE
21/05/20

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SOUTH ELEVATION (CROWNDALE ROAD ELEVATION)