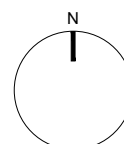
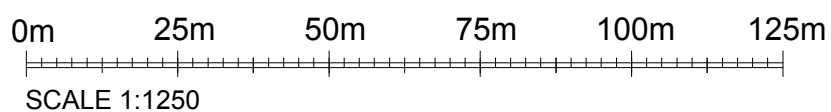




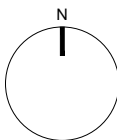
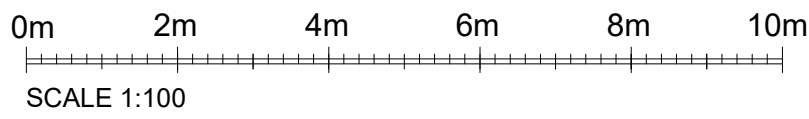
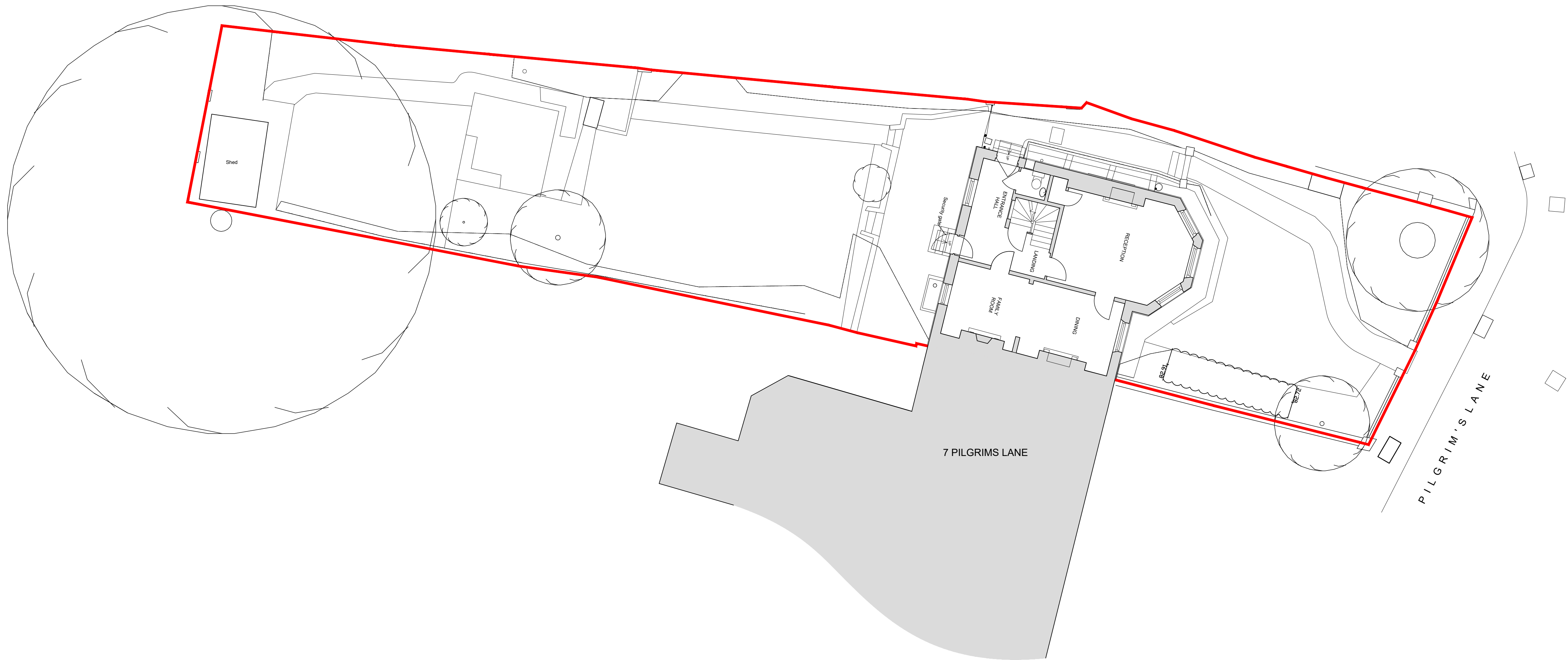
*Application site boundary outlined in red.



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project 9 Pilgrim's Lane, Hampstead, NW7 1SJ	date Nov 19	scale 1:1250	drawn HY
drawing Location Plan	drwg. no FZD_001	rev. -	

Note
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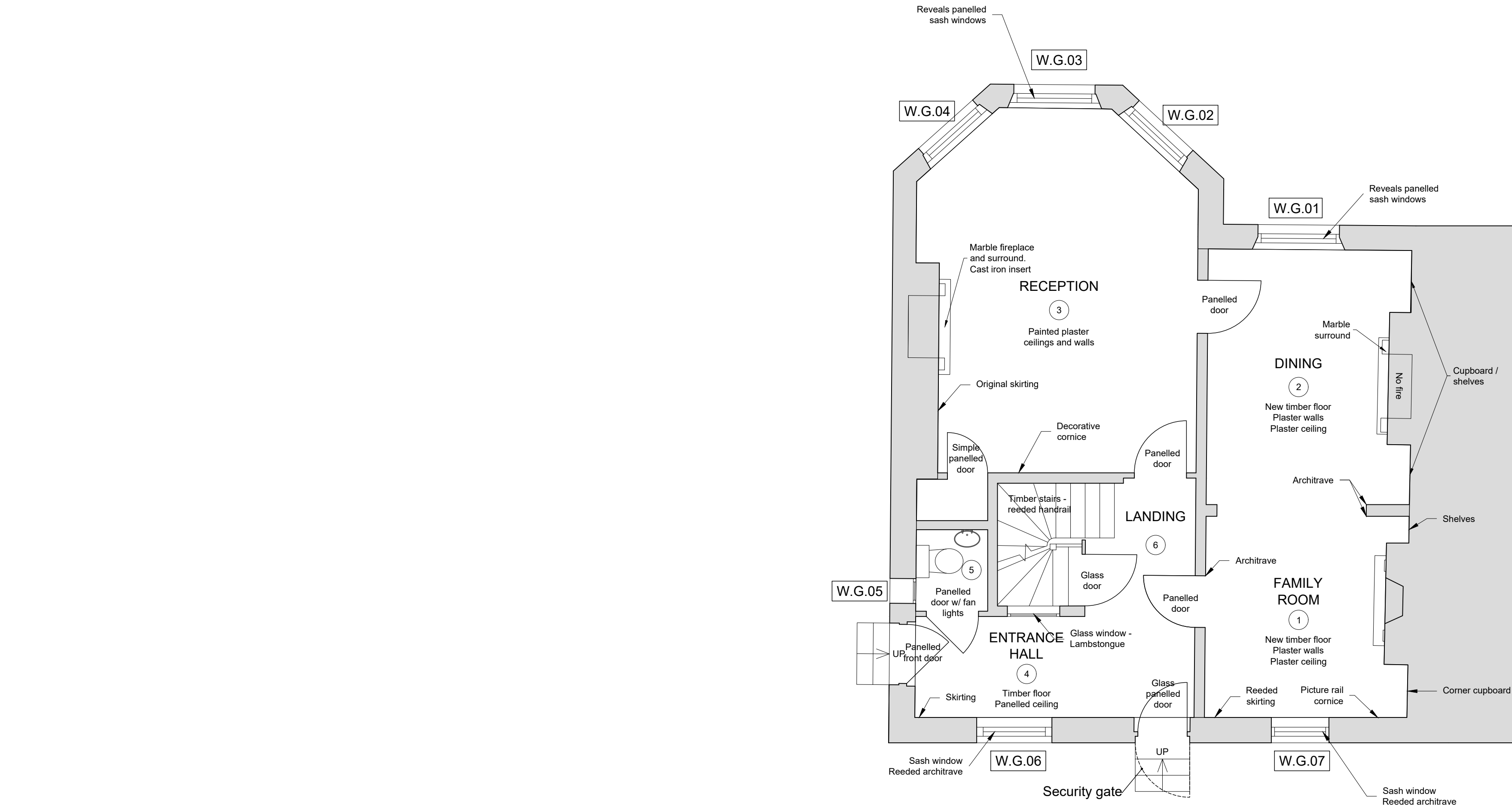
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Tel 020 7336 8555 - e-mail - architect@bbpartnership.co.uk

client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Existing Site Plan Ground Floor		
date Nov 19	scale 1:100	drawn by HY
drg.no. FZD_100	revision -	

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Existing Condition

- Walls: Painted plaster
Ceiling: Painted ceilings (new)
Simple picture rail cornice
Fireplace simple surround
Cast iron grate
Corner cupboard (new)
Panelled doors:
-6 panel
-raised and fielded mouldings
Reeded skirtings / panels / architraves
Windows:
-sash
-single glazed
-Timber reveals / window board
Modern timber floor
Opening to 2.
Treated architrave
Stairs of original
- Walls: Painted plaster
Ceiling: Painted ceilings (new)
Simple picture rail cornice
Fireplace simple surround
No cast iron grate
- Walls: Painted plaster
Ceiling: Painted ceilings (new)
Simple picture rail cornice
Fireplace simple surround
Elaborate cornice
Simple cupboard door
- Walls: Painted plaster
Ceiling: Painted ceilings (new)
Simple picture rail cornice
Panelled ceiling (no cornice)
Glazed panelled doors (W.C. / stairs / garden)
Front door
- Walls: Painted plaster
Ceiling: Painted ceilings (new)
Modern floor
Small fixed window
- Stairs timber: original
Wreathed hardwood handrail

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1 A 103/09/19 1 Note revisions 1HY 1

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client

project
9 Pilgrim's Lane,
Hampstead,
London
NW3 1SJ

drawing
Existing Plan
Ground Floor

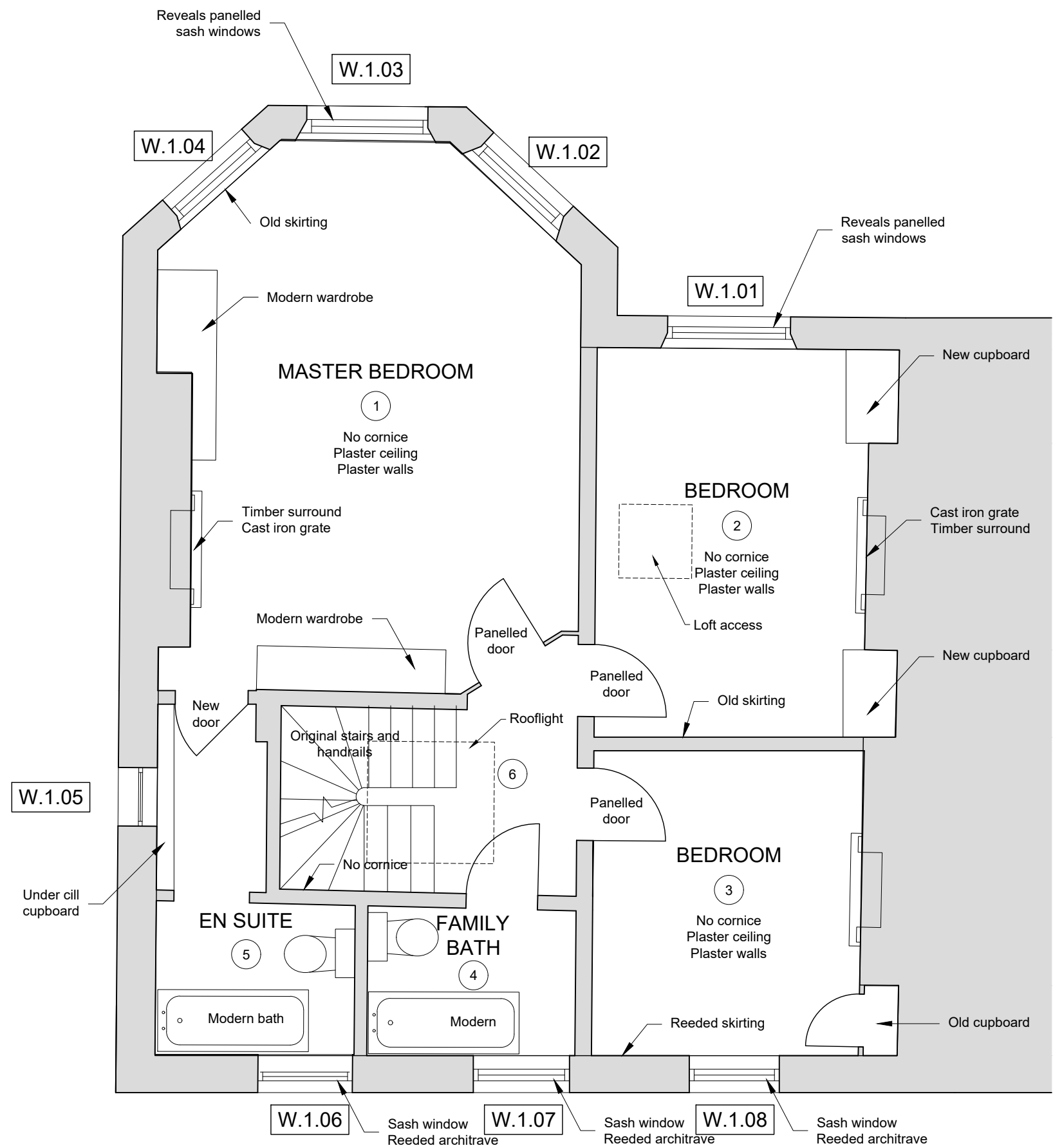
date Nov 19	scale 1:50@A1/1:100@A3	drawn by HY
drg.no. FZD_101	revision A	

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0m 1m 2m 3m 4m 5m
SCALE 1:50

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Existing Condition

- No cornice
Reeded skirting
Panelled door
Timber floor
Modern fitted wardrobe to be removed an replaced with more appropriate furniture
Timber fire surround - cast iron insert
Ceiling repairs required following leak damage
- No cornice
Reeded skirting
Panelled door
Timber floor Loft access
Old reeded skirting
- No cornice
Reeded skirting
Panelled door
Timber floor
Old cupboard
- Bathroom to be renovated.
- To be renovated.
Removal of false ceiling and partition to reinstate original high ceiling.
- Original stairs and handrails
Skylight original?
Panelled doors and skirting

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I A 10/09/19 | Note revisions |HY I

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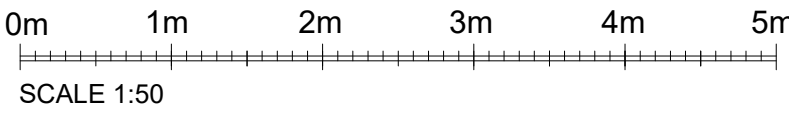
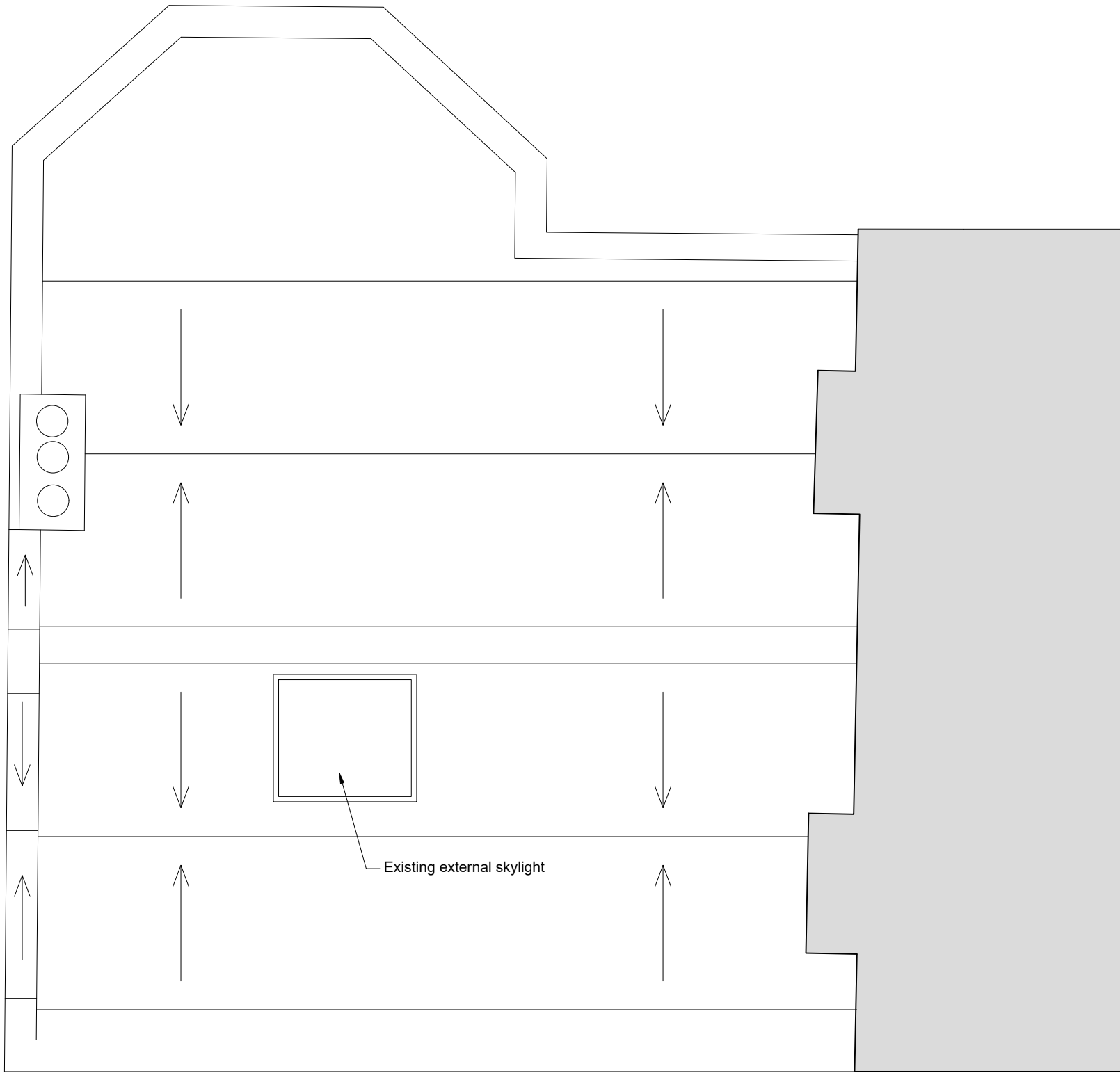
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Tel 020 7336 8555 - e-mail - architect@bbpartnership.co.uk

client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Existing Plan First Floor		
date Nov 19	scale 1:50@A1/1:100@A3	drawn by HY
drg.no. FZD_102	revision -	

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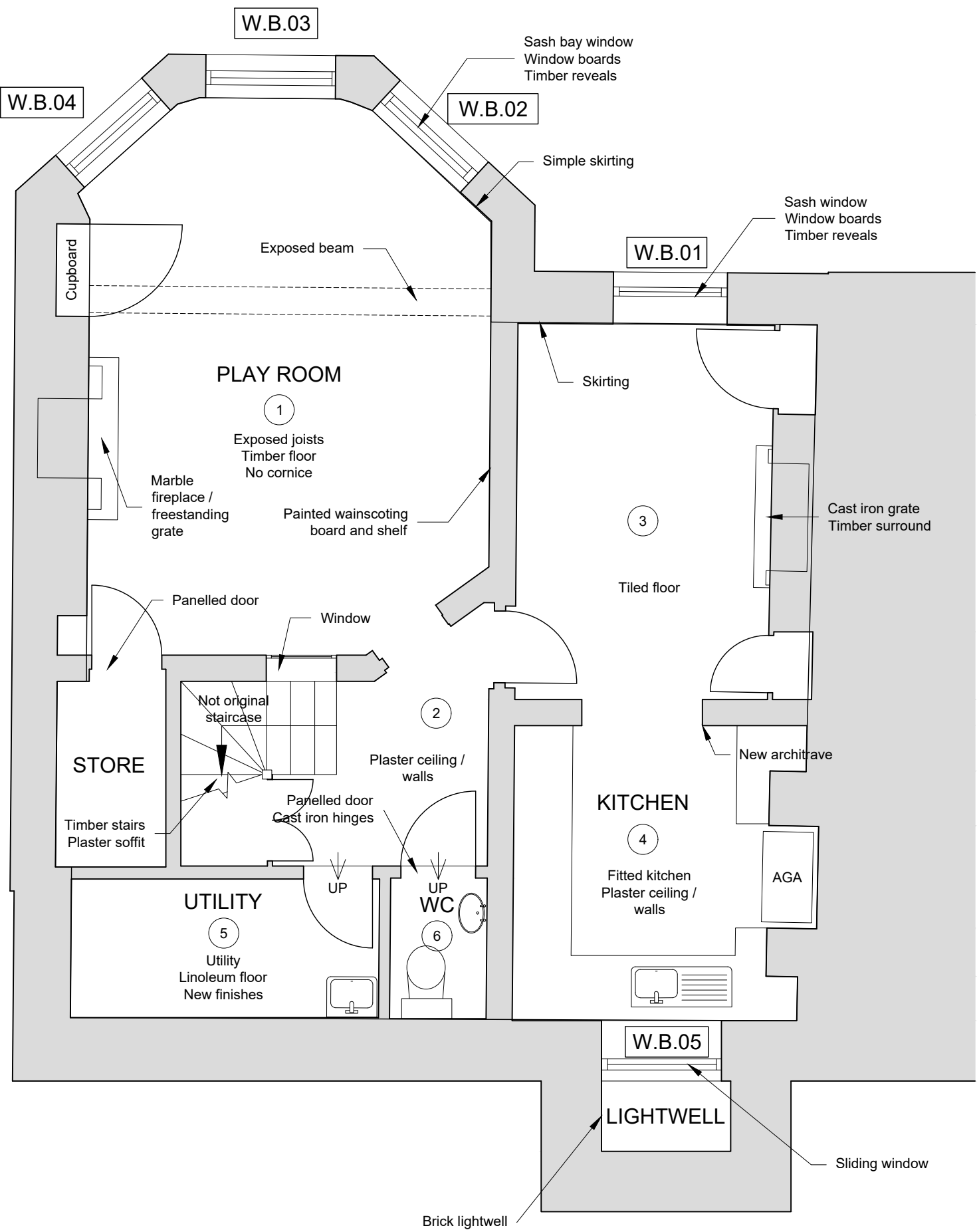
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Tel 020 7336 8555 - e-mail - architect@bbpartnership.co.uk

client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Existing Plan Roof		
date Nov 19	scale 1:50	drawn by HY
drg.no. FZD_103		revision -

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0m 1m 2m 3m 4m 5m
SCALE 1:50



Existing Condition

- Exposed ceiling joists / beam
Plaster wall
Timber floor
Marble fireplace / freestanding grate
Internal window
Bay Window
Panelled doors / cupboard doors
Simple skirtings
- Not original staircase
Plaster walls / ceilings
Panelled doors
Hinges on W.C. door
No cornices
Stairs not original?
No handrail
- 3 & 4. Horizontal sash windows
Tiled floor
kitchen ventilation
Cast iron grate and timber surround
Opening between rooms
Modern architraves
Brick lightwell?
- Utility
Modern throughout
- W.C.
Modern throughout

General notes:
Damage caused by damp to be repaired throughout

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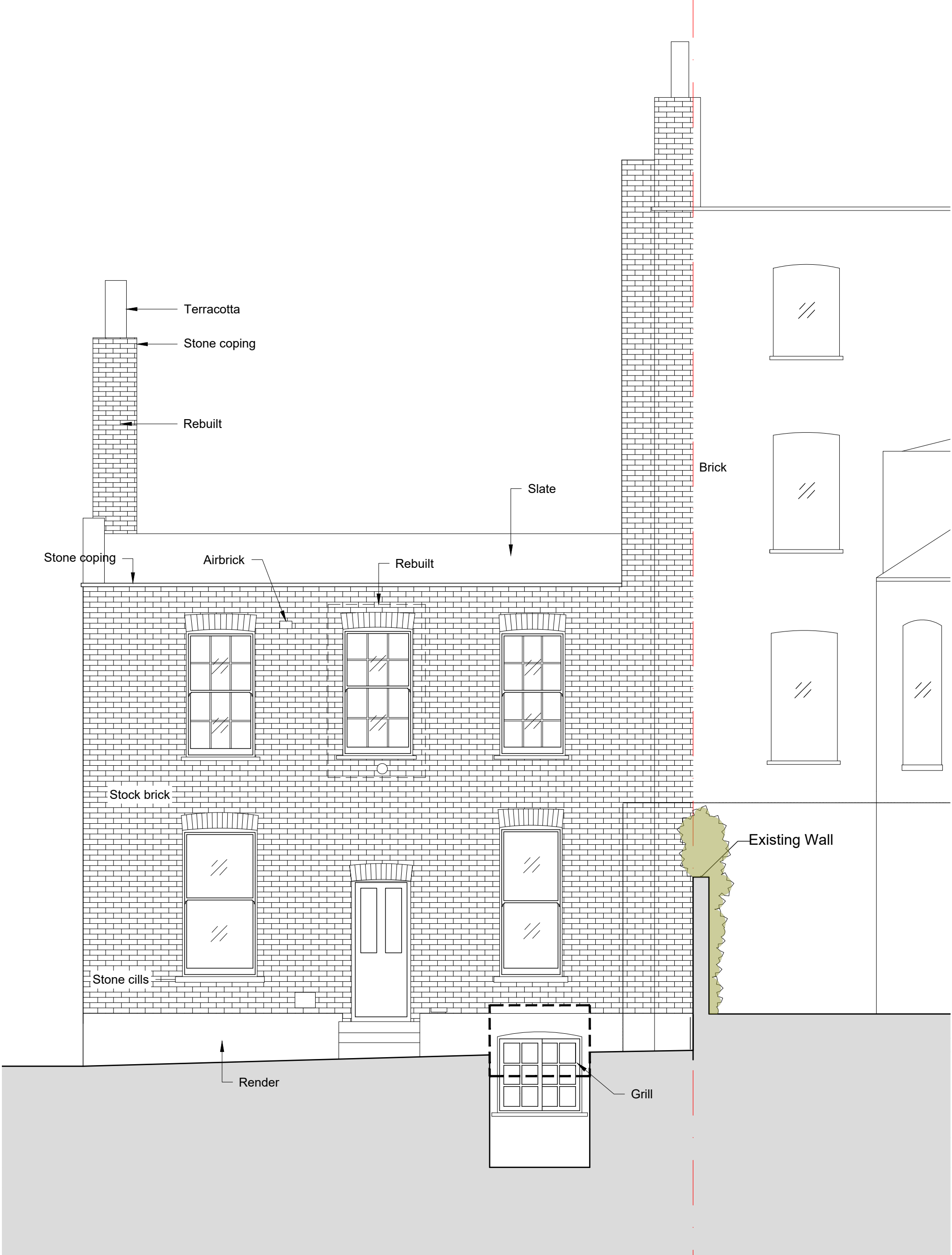
client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Existing Plan Lower Ground Floor		
date Nov 19	scale 1:50@A1/1:100@A3	drawn by HY
drg.no. FZD_104	revision A	

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EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION

0m 1m 2m 3m 4m 5m
SCALE 1:50

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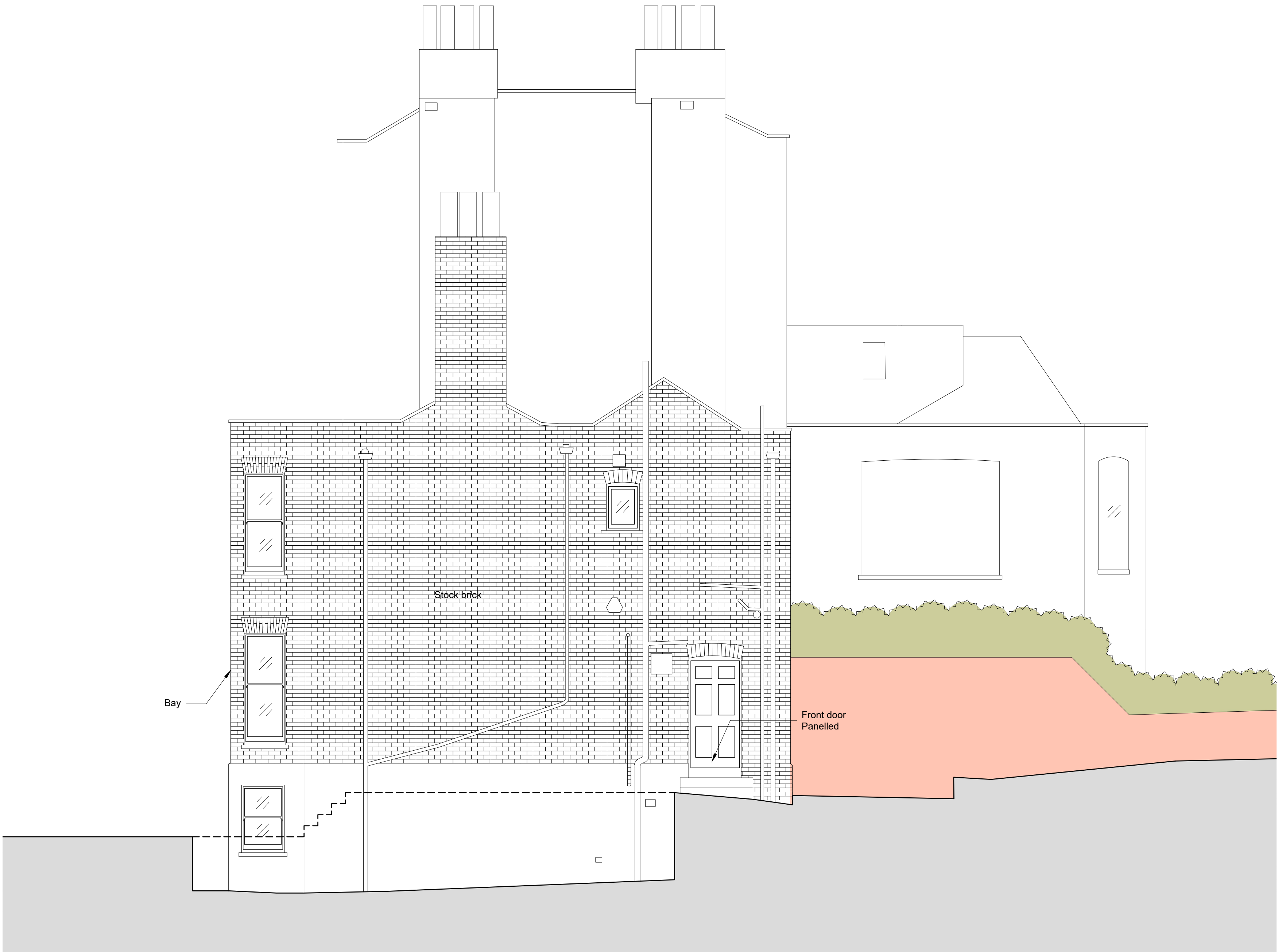
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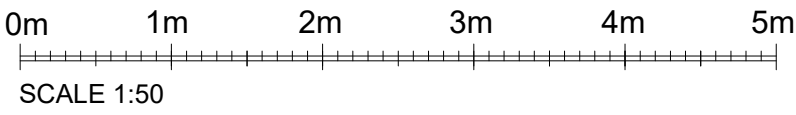
client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Existing Elevation Front and Rear Elevations		
date Nov 19	scale 1:50	drawn by HY
drg.no. FZD_110	revision -	

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EXISTING SIDE (EAST) ELEVATION



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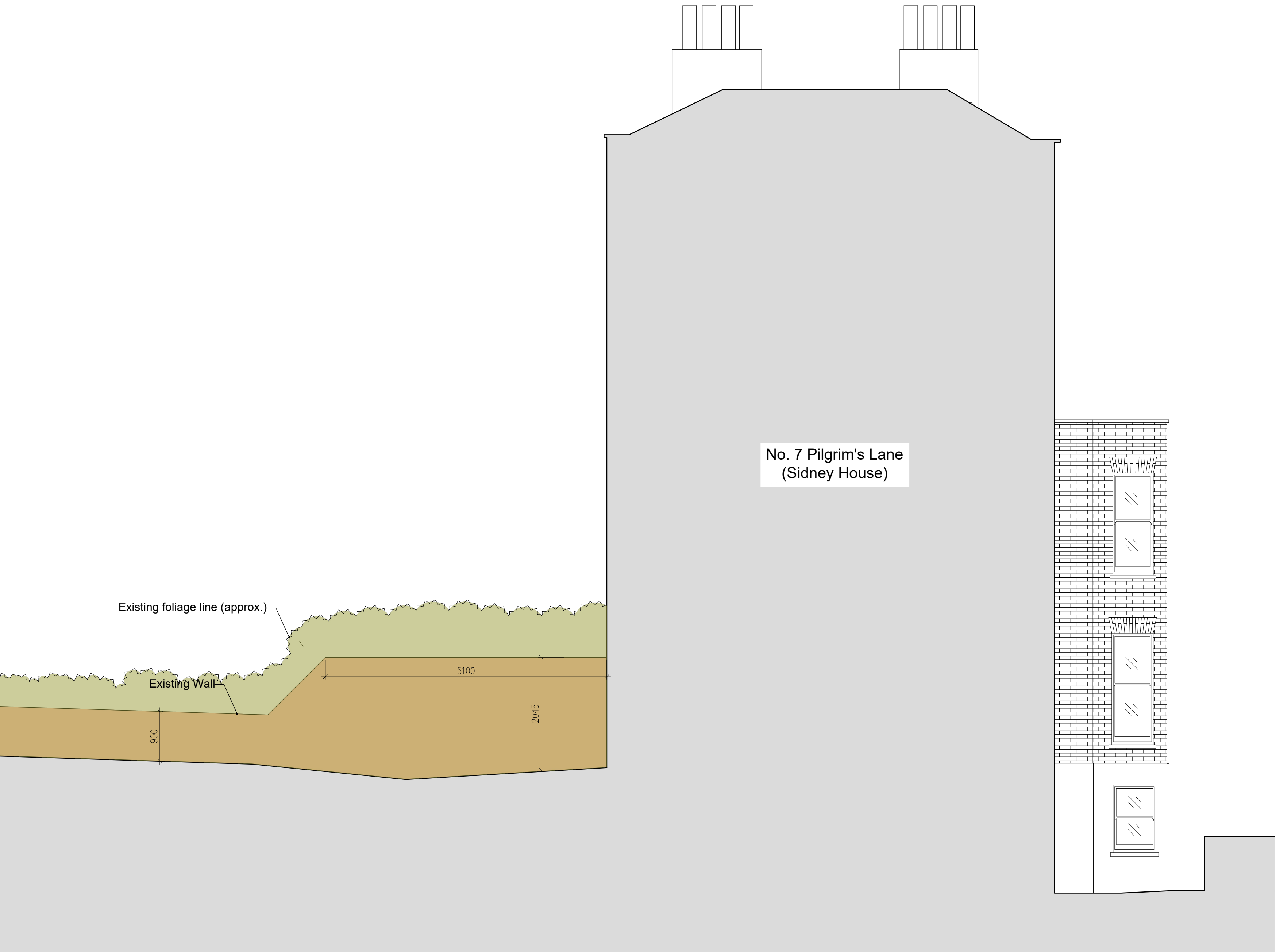
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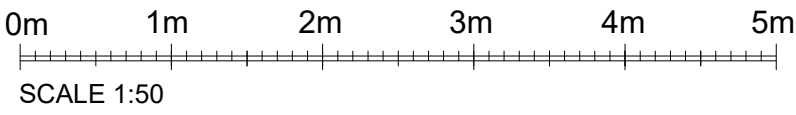
client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Existing Elevation Side (East) Elevation		
date Nov 19	scale 1:50	drawn by HY
drg.no. FZD_111	revision -	

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EXISTING SIDE (WEST) ELEVATION



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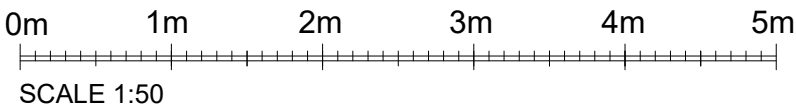
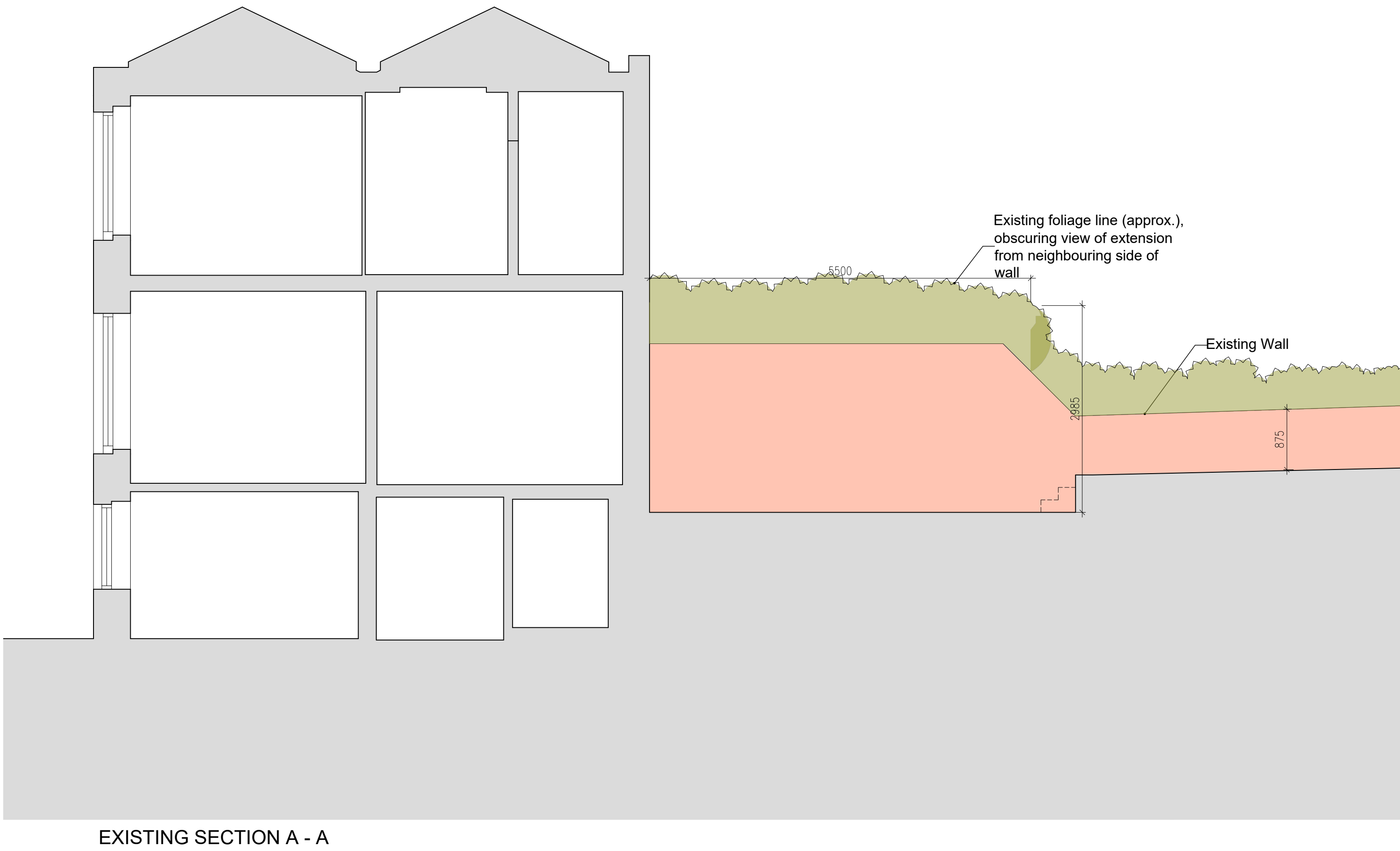
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client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Existing Elevation Side (Westt) Elevation		
date Nov 19	scale 1:50	drawn by HY
drg.no. FZD_112	revision -	

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client		
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drawing Existing Section A - A		
date Aug 19	scale 1:50	drawn by HY
drg.no. FZD_120	revision -	

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FOR PLANNING

I D 19/05/20 | Plan revision | HY |
I C 07/04/20 | Plan revision - proposed extension reduced | HY |
I B 06/11/19 | Plan revision - vegetation added | HY |
I A 23/10/19 | Plan revision | HY |

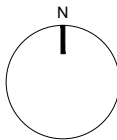
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Tel 020 7336 8555 - e-mail - architect@bbpartnership.co.uk

client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Proposed Site Plan		
date May 20	scale 1:100	drawn by HY
drg.no. FZD_200	revision D	

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0m 2m 4m 6m 8m 10m
SCALE 1:100



Note

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Proposed works

- Family Room**
Fireplace to be refurbished and reinstated.
Laminate flooring to be replaced with more appropriate timber flooring.
- Dining Room**
Fireplace to be refurbished and reinstated.
Existing cupboard/shelves to be replaced with more appropriate joinery.
Laminate flooring to be replaced with more appropriate timber flooring.
- Reception**
Marble fireplace surround to be refurbished.
Laminate flooring to be replaced with more appropriate timber flooring.
Alcove to be reopened.
- Hall**
-
- WC**
Sanitary ware to be repositioned.
- Landing**
-

General notes:
Chimneys to be relined and all fireplaces to be brought back to usable condition.

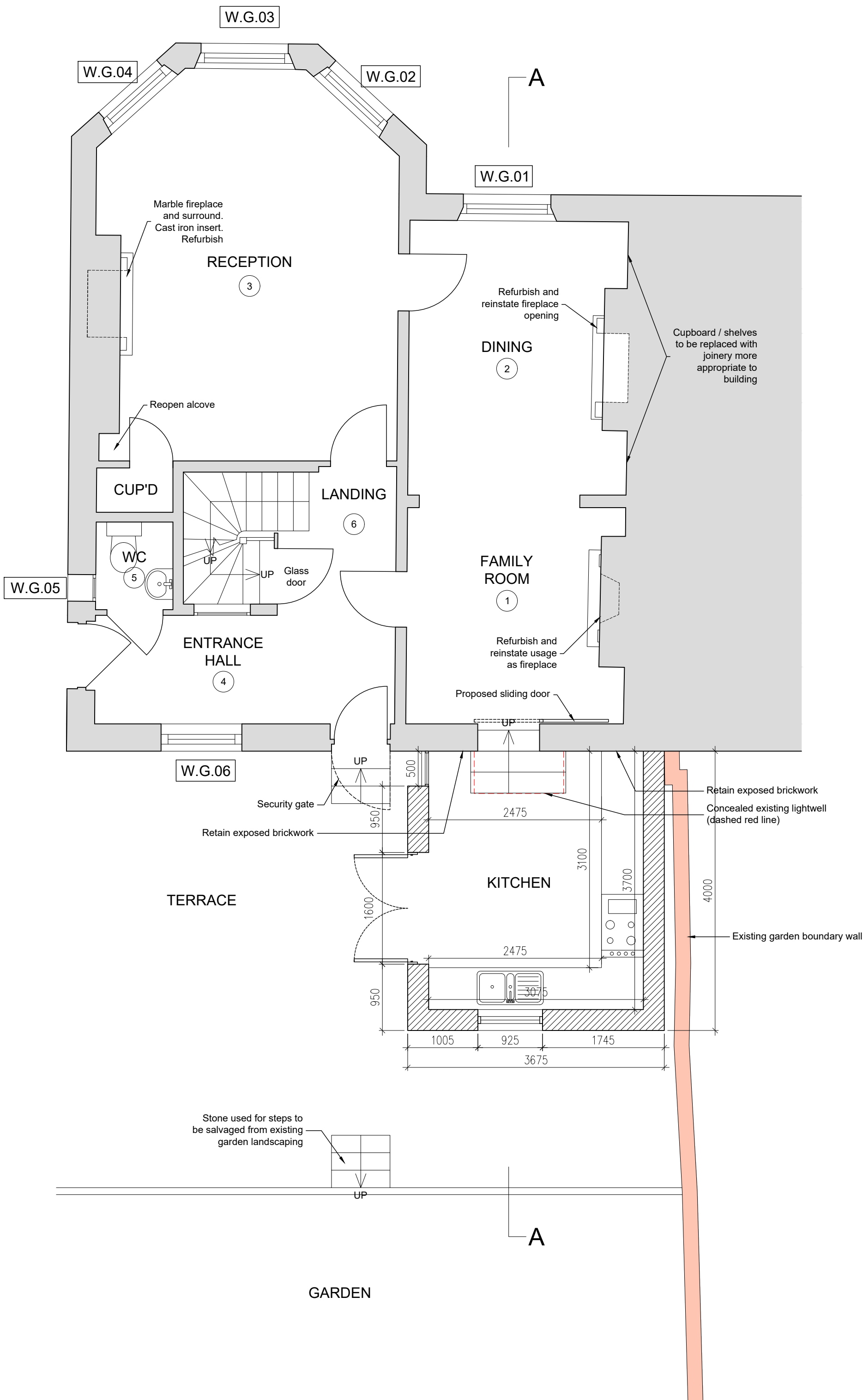
Existing laminate flooring to be replaced with more appropriate herringbone wood or reclaimed oak wood panel flooring.

All windows to be refurbished and repaired where necessary (Please refer to Design and Access Statement for full details of proposed works).

All internal doors to be refurbished and repaired where necessary.

Damage caused by damp to be repaired throughout.

All radiators to be replaced by more stylistically appropriate heating system.



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& PLANNERS COMMENT

FOR PLANNING

I	K 01/06/20	I	Window reference numbers added	IHY	I
I	J 07/04/20	I	Plan revisions	IHY	I
I	I 30/03/20	I	Rear extension length reduced	IHY	I
I	H 06/11/19	I	Terrace revisions	IHY	I
I	G 06/11/19	I	Terrace revisions	IHY	I
I	F 23/10/19	I	Plan and label revisions	IHY	I
I	E 15/10/19	I	Plan revisions	IHY	I
I	D 14/10/19	I	Plan revisions	IHY	I
I	C 08/10/19	I	Plan revisions	IHY	I
I	B 07/10/19	I	Plan revisions	IHY	I
I	A 03/09/19	I	Plan revisions	IHY	I

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client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Proposed Plan Ground Floor		
date Jun 20	scale 1:50@A1/1:100@A3	drawn by HY
drg.no. FZD_201	revision K	

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SCALE 1:50

Note

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Proposed Works

- Master Bedroom**
Laminate flooring to be replaced with more appropriate timber flooring.
Modern fitted wardrobe to be removed and replaced with more appropriate furniture.
Ceiling and roof repairs required following leak damage
- Bedroom**
Laminate flooring to be replaced with more appropriate timber flooring.
- Bedroom**
Laminate flooring to be replaced with more appropriate timber flooring.
- Family Bath**
To be renovated.
Laminate flooring to be replaced with appropriate floor tiles.
- Master Bedroom: En Suite**
To be renovated.
Removal of false ceiling and partition to reinstate original high ceiling.
Laminate flooring to be replaced with appropriate floor tiles.
- Landing**
Laminate flooring to be replaced with more appropriate timber flooring.

General notes:
Chimneys to be relined.

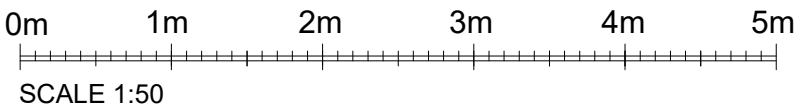
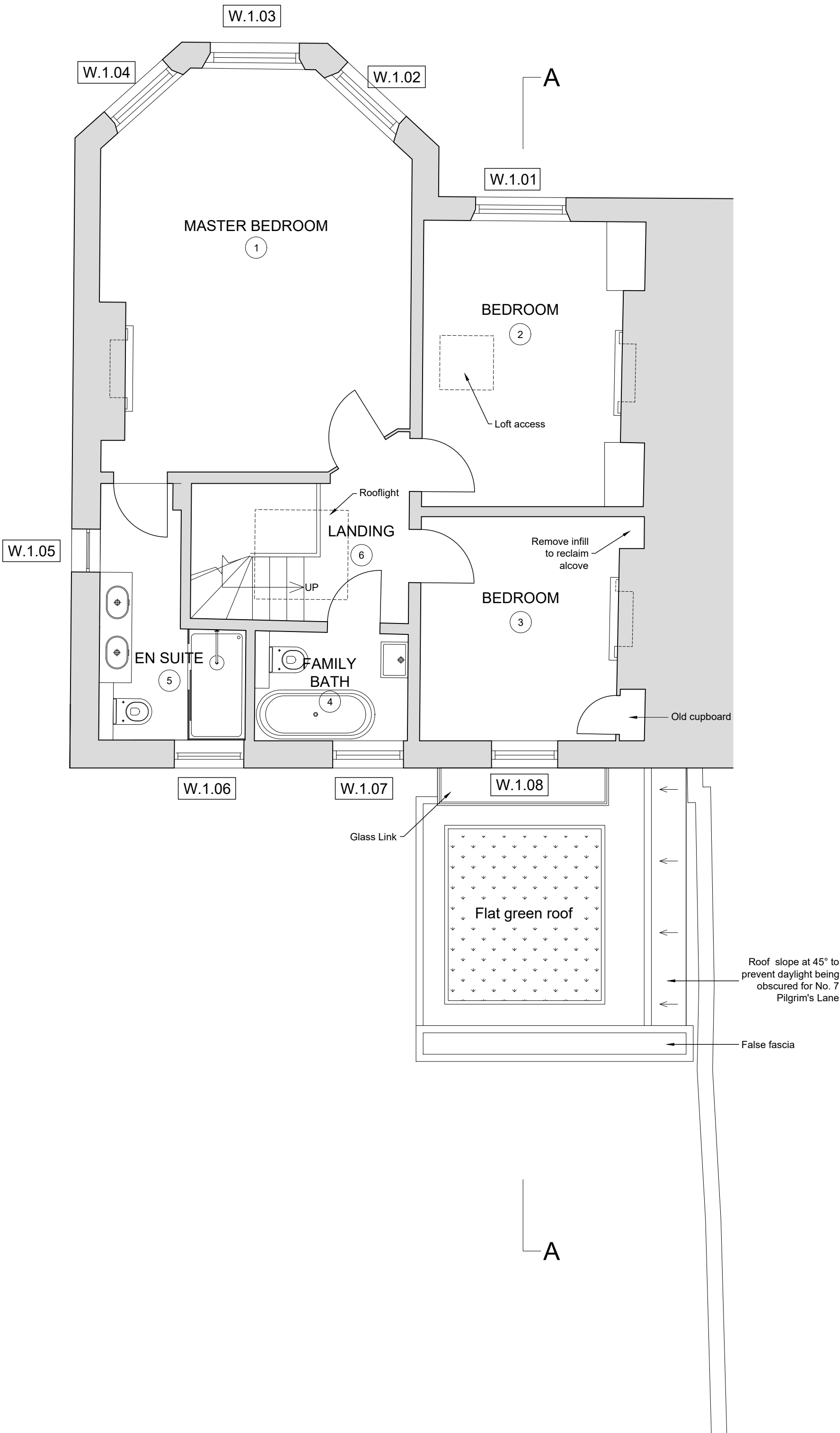
All windows to be refurbished and repaired where necessary (Please refer to Design and Access Statement for full details of proposed works).

All internal doors to be refurbished and repaired where necessary.

All radiators to be replaced by more stylistically appropriate heating system.

Ceiling spotlighting to be replaced with more appropriate central and wall lighting.

Damage caused by damp to be repaired throughout.



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FOR PLANNING

I	I	01/06/20	I	Window reference numbers added	IHY	I
I	H	13/03/20	I	Rear extension length reduced	IHY	I
I	G	06/11/19	I	Plan revisions	IHY	I
I	F	23/10/19	I	Plan and label revisions	IHY	I
I	E	15/10/19	I	Plan revisions	IHY	I
I	D	14/10/19	I	Plan revisions	IHY	I
I	C	08/10/19	I	Plan revisions	IHY	I
I	B	07/10/19	I	Plan revisions	IHY	I
I	A	03/09/19	I	Plan revisions	IHY	I

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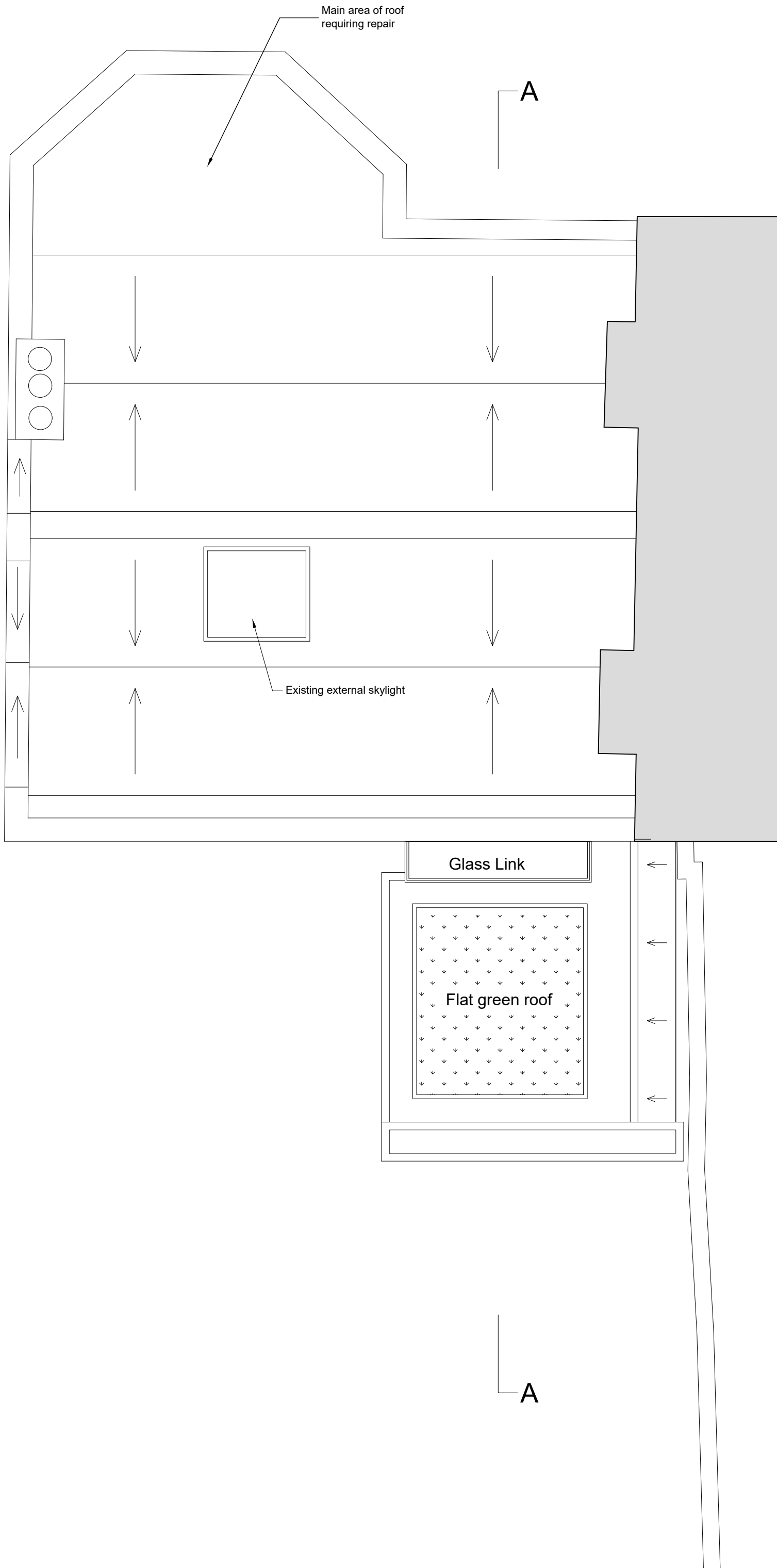
client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Proposed Plan First Floor		
date Jun 20	scale 1:50@A1/1:100@A3	drawn by HY
drg.no. FZD_202	revision 1	

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Proposed Works

- General notes:
- Roof repairs where needed, in order to prevent further water leakages into rooms below.
 - Like-for-like replacement of tiles and material where straightforward repair and retention of existing building fabric is not possible.
 - Installation of TV satellite dish (location to be determined, hidden from street view).



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I G 13/03/20	I Rear extension length reduced	IHY I
I F 10/11/19	I Plan revisions	IHY I
I E 23/10/19	I Plan and label revisions	IHY I
I D 14/10/19	I Plan revisions	IHY I
I C 10/10/19	I Plan revisions	IHY I
I B 10/10/19	I Plan revisions	IHY I
I A 10/09/19	I Plan revisions	IHY I

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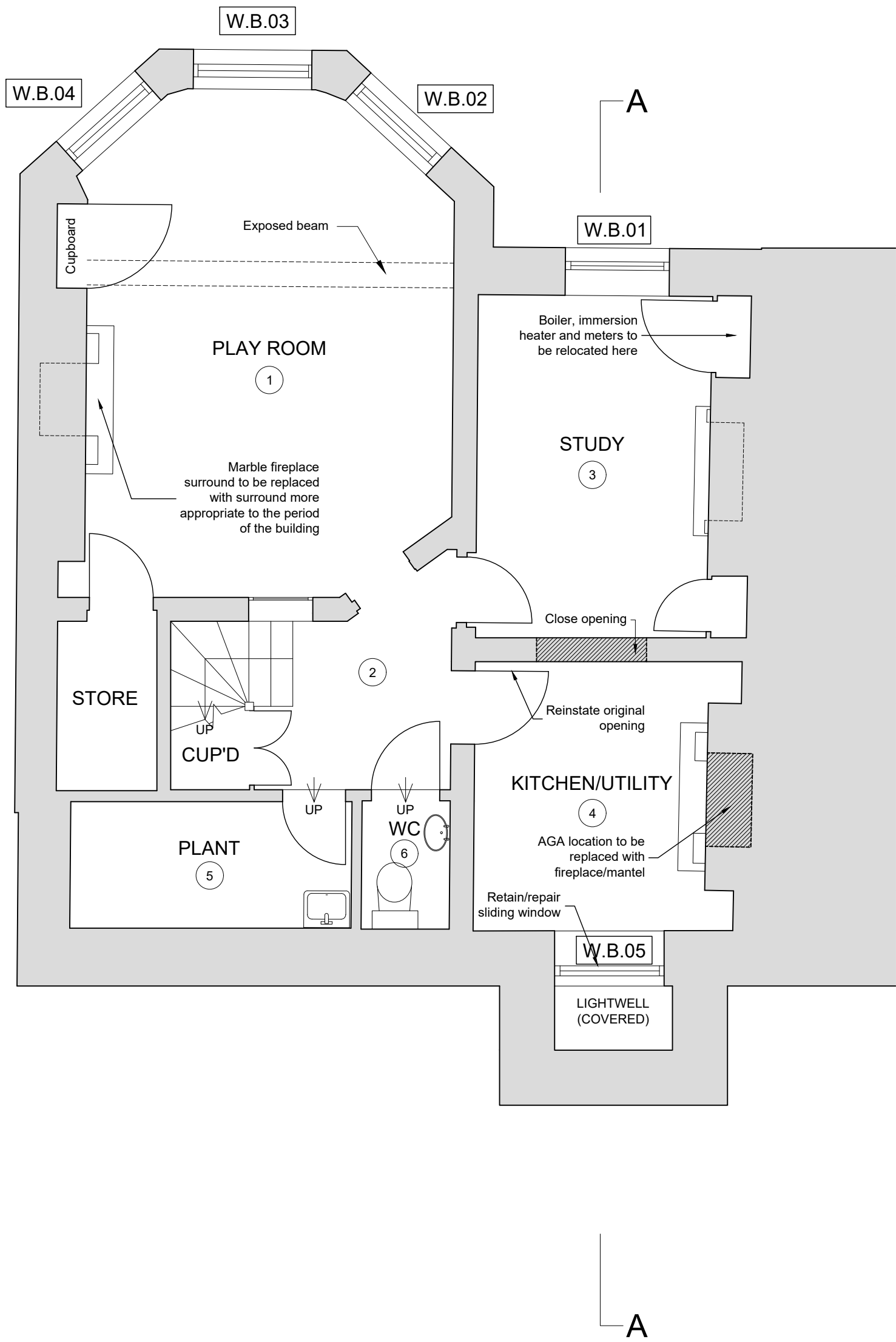
client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Proposed Plan Roof		
date Mar 20	scale 1:50@A1/1:100@A3	drawn by HY
drg.no. FZD_203	revision G	

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SCALE 1:50

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Proposed Works

- Playroom**
Marble fireplace surround to be replaced.
Laminate flooring to be replaced with more appropriate timber flooring.
- Hall**
Laminate flooring to be replaced with more appropriate timber flooring.
- Study**
Remove modern ceiling lighting and replace with more traditional wall lights and lamps.
- Kitchen/Utility**
Remove modern ceiling lighting and replace with more traditional wall lights and lamps.
- Plant Room**
Remove modern fluorescent lighting and replace with more traditional wall lights.
Boiler and immersion heater to be relocated to plant room from existing location of store room.
- WC**
-

General:
Damage caused by damp to be repaired throughout.

All windows to be refurbished and repaired where necessary (Please refer to Design and Access Statement for full details of proposed works).

All internal doors to be refurbished and repaired where necessary.

All radiators to be replaced by more stylistically appropriate heating system.

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FOR PLANNING

I G 01/06/20	I Label revisions	IHY I
I F 06/11/19	I Label revisions	IHY I
I E 23/10/19	I Plan and label revisions	IHY I
I D 15/10/19	I Labels updated	IHY I
I C 14/10/19	I Plan revisions	IHY I
I B 08/10/19	I Plan revisions	IHY I
I A 03/09/19	I Plan revisions	IHY I

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client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Proposed Plan Lower Ground Floor		
date Jun 20	scale 1:50@A1/1:100@A3	drawn by HY
drg.no. FZD_204	revision G	

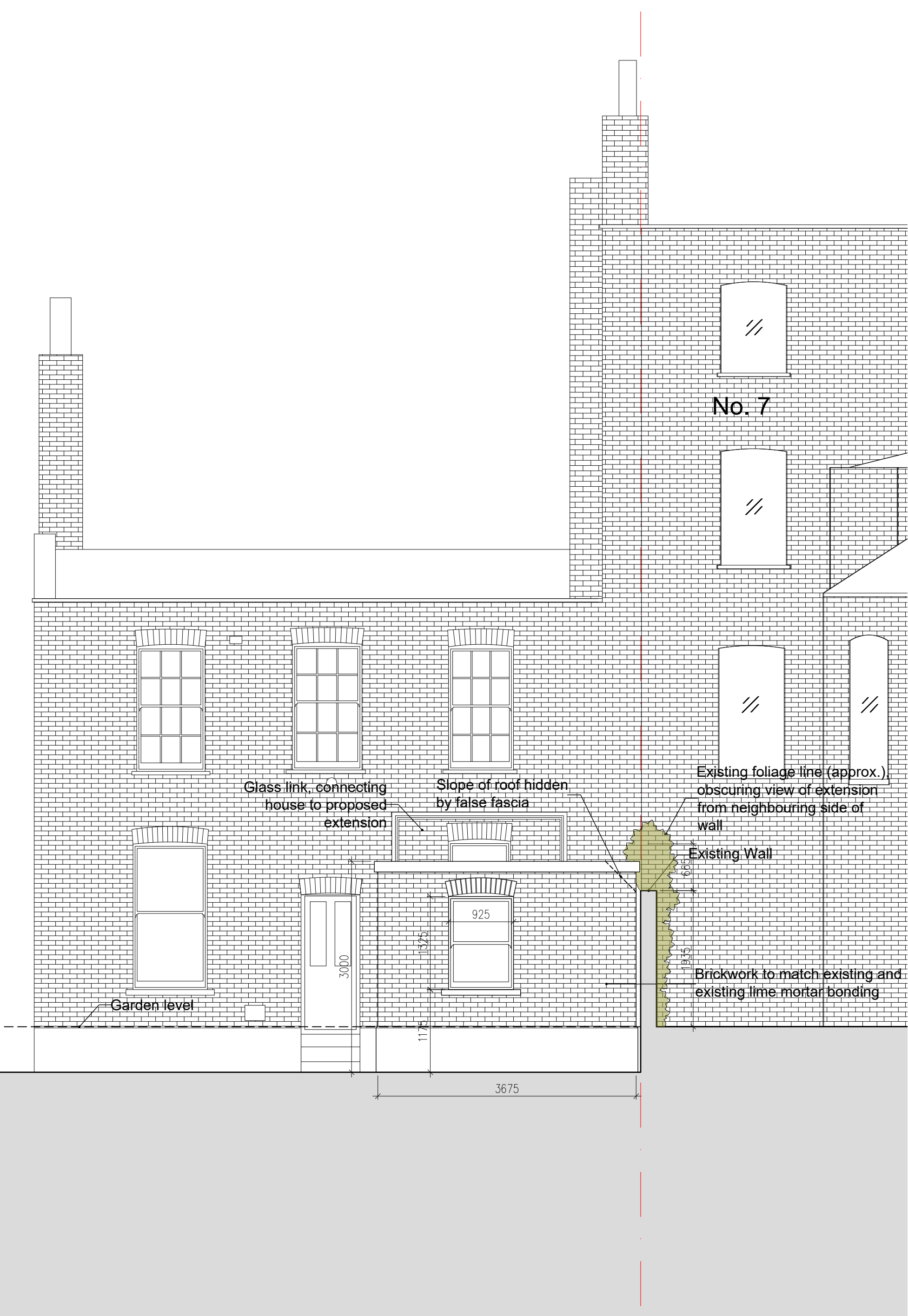
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DO NOT SCALE - CHECK ALL DIMENSIONS ON SITE

0m 1m 2m 3m 4m 5m
SCALE 1:50

Note
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PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

ALL DIMENSIONS APPROXIMATE

SCHEME DESIGN SUBJECT TO
STRUCTURAL ENGINEER /SERVICES ENGINEER,
& PLANNERS COMMENT

FOR PLANNING

I J 19/05/20	I Front wall revisions	IHY I
I I 07/04/20	I Rear extension design revised	IHY I
I H 06/11/19	I Vegetation revised	IHY I
I G 01/11/19	I Front wall railing revision	IHY I
I F 23/10/19	I Elevation and label revisions	IHY I
I E 15/10/19	I Elevation revisions	IHY I
I D 14/10/19	I Elevation revisions	IHY I
I C 08/10/19	I Elevation revisions	IHY I
I B 07/10/19	I Elevation revisions	IHY I
I A 03/09/19	I Elevation revisions	IHY I

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Tel 020 7336 8555 - e-mail - architect@bbpartnership.co.uk

client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Proposed Elevation Front and Rear Elevations		
date May 20	scale 1:50@A1/1:100@A3	drawn by HY
drg.no. FZD_210	revision J	

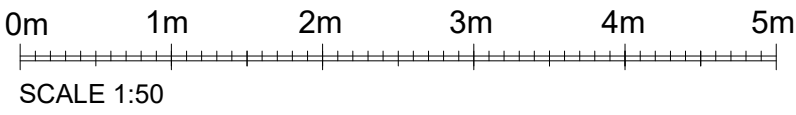
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SCALE 1:50

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PROPOSED SIDE (EAST) ELEVATION



ALL DIMENSIONS APPROXIMATE

SCHEME DESIGN SUBJECT TO
STRUCTURAL ENGINEER / SERVICES ENGINEER,
& PLANNERS COMMENT

FOR PLANNING

G 10/04/20 | Rear extension length reduced | IHY |
F 12/10/19 | Elevation revisions | IHY |
E 15/10/19 | Elevation revisions | IHY |
D 14/10/19 | Elevation revisions | IHY |
C 08/10/19 | Elevation revisions | IHY |
B 07/10/19 | Elevation revisions | IHY |
A 03/09/19 | Elevation revisions | IHY |

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client

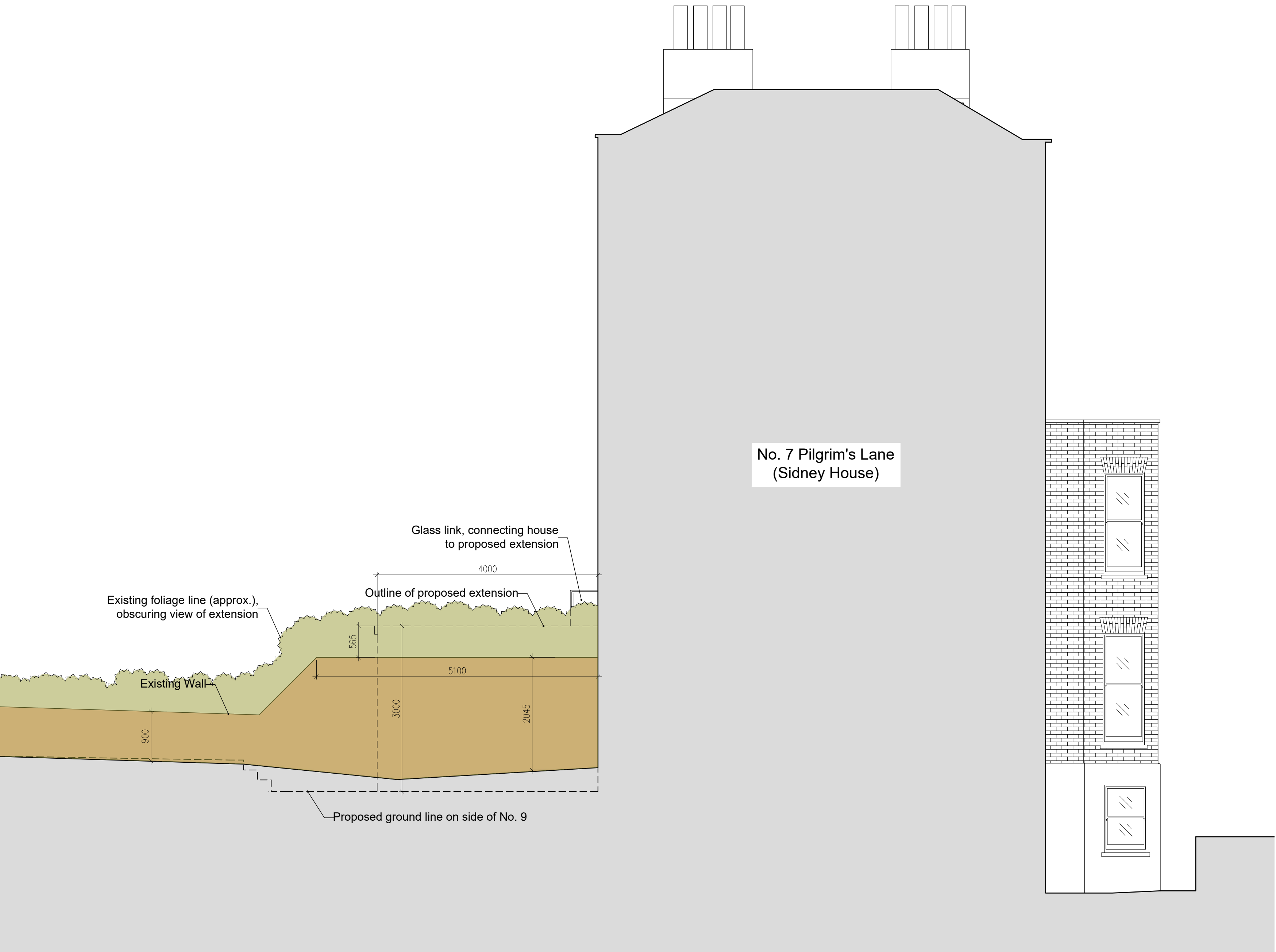
project
9 Pilgrim's Lane,
Hampstead,
London
NW3 1SJ

drawing
Proposed Elevation
Side (East) Elevation

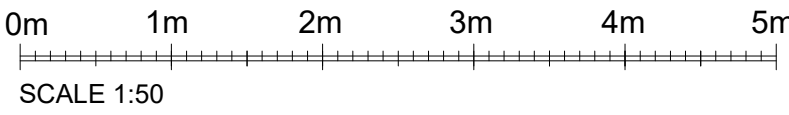
date Apr 20	scale 1:50@A1/1:100@A3	drawn by HY
drg.no. FZD_211	revision G	

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PROPOSED SIDE (WEST) ELEVATION



ALL DIMENSIONS APPROXIMATE

SCHEME DESIGN SUBJECT TO
STRUCTURAL ENGINEER / SERVICES ENGINEER,
& PLANNERS COMMENT

FOR PLANNING

I D 07/04/20 | Rear extension length reduced | IHY |
I C 12/10/19 | Elevation revisions | IHY |
I B 14/10/19 | Elevation revisions | IHY |
I A 03/09/19 | Elevation revisions | IHY |

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Tel 020 7336 8555 - e-mail - architect@bbpartnership.co.uk

client

project
9 Pilgrim's Lane,
Hampstead,
London
NW3 1SJ

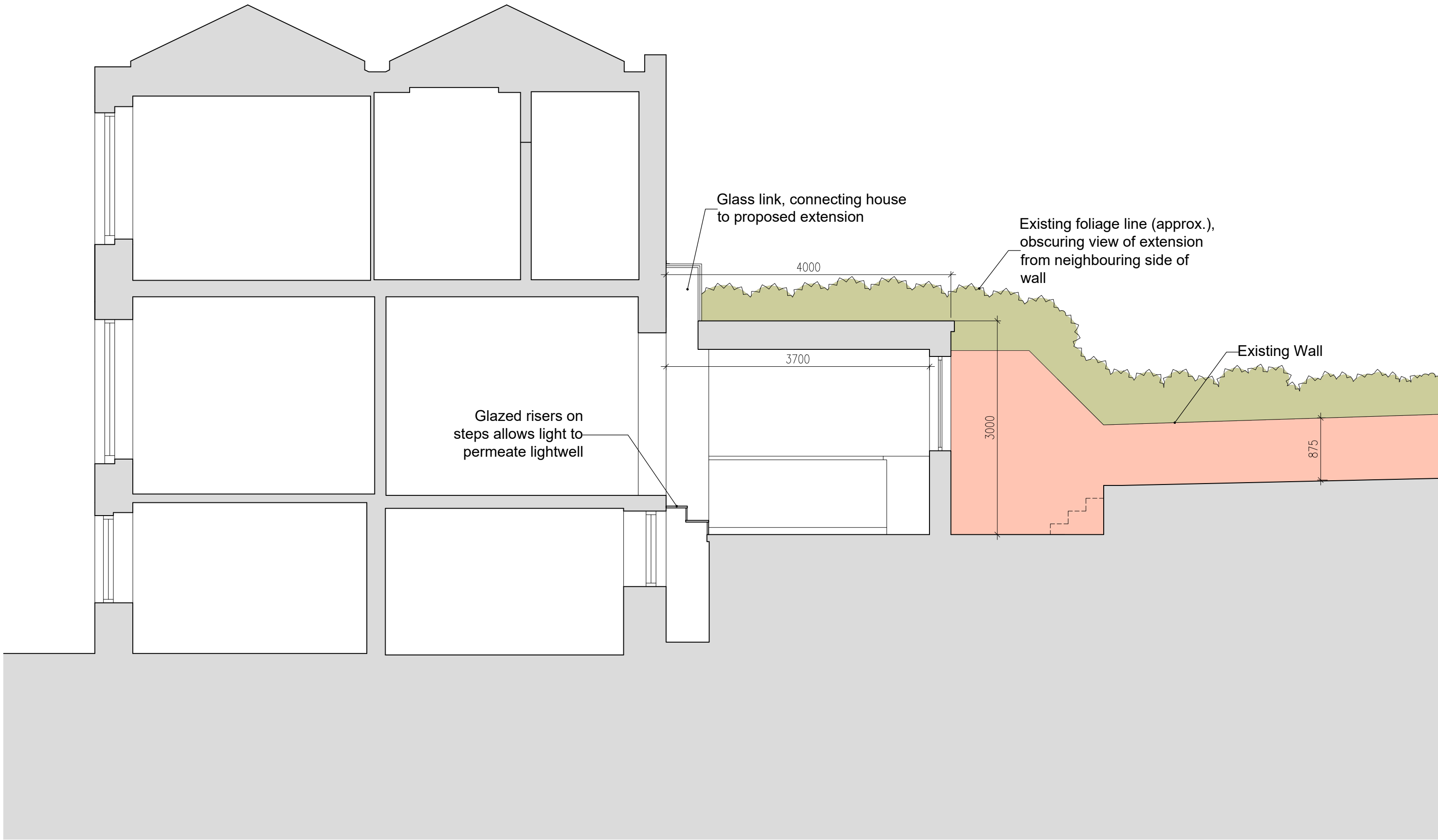
drawing
Proposed Elevation
Side (Westt) Elevation

date Apr 20	scale 1:50@A1/1:100@A3	drawn by HY
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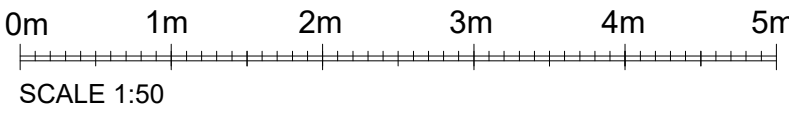
drg.no. FZD_212	revision D
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PROPOSED SECTION A - A



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& PLANNERS COMMENT

FOR PLANNING

| B | 04/06/20 | Section revisions | HY |
| A | 03/09/19 | Section revisions | HY |

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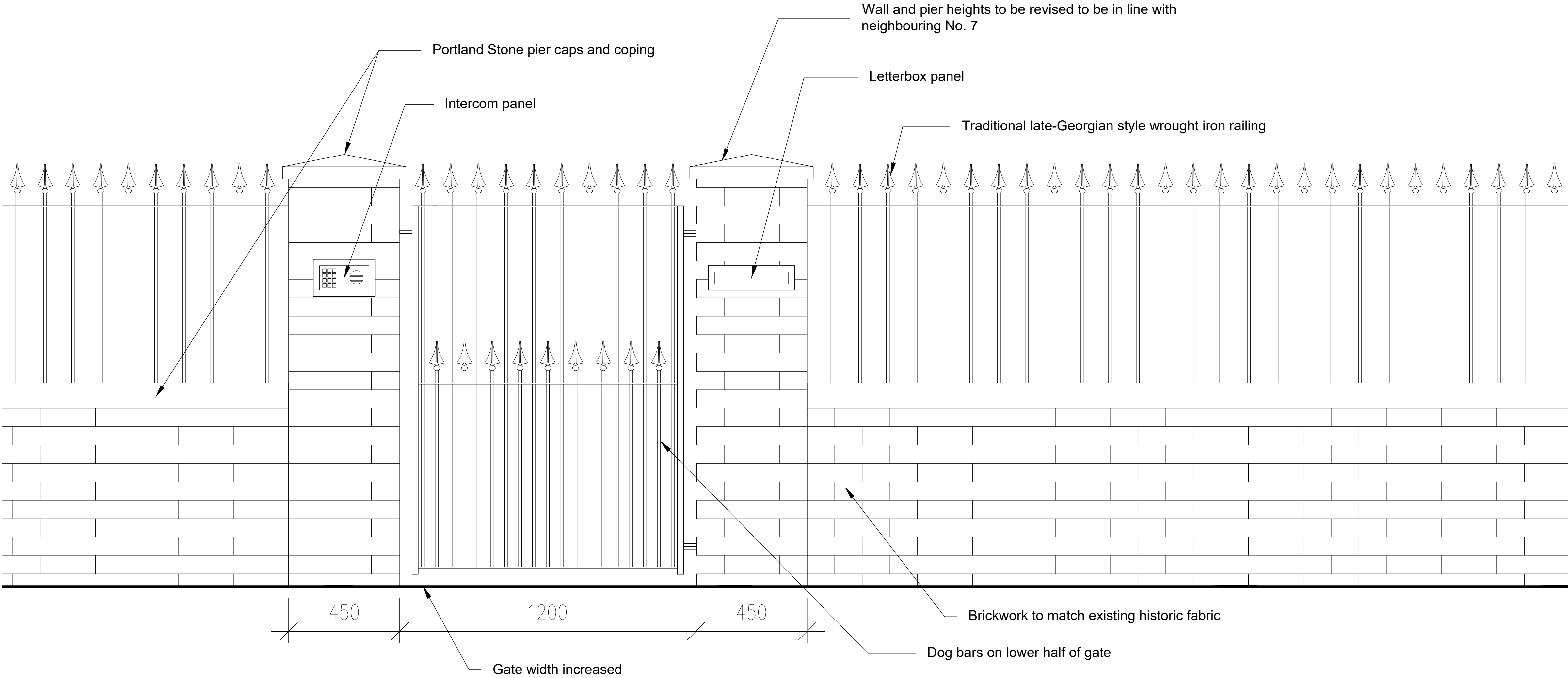
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Tel 020 7336 8555 - e-mail - architect@bbpartnership.co.uk

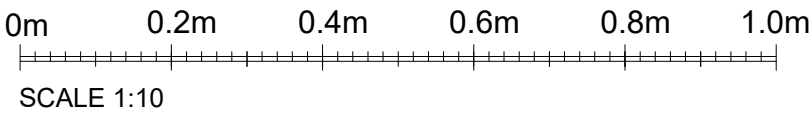
client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Proposed Section A - A		
date Jun 20	scale 1:50@A1/1:100@A3	drawn by HY
drg.no. FZD_220	revision B	

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PROPOSED FRONT WALL REVISIONS



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& PLANNERS COMMENT

FOR PLANNING

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Tel 020 7336 8555 - e-mail - architect@bbpartnership.co.uk

client		
project 9 Pilgrim's Lane, Hampstead, London NW3 1SJ		
drawing Proposed Front Wall Revision		
date May 20	scale 1:10@A1/1:20@A3	drawn by HY
drg.no. FZD_210	revision -	

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