



42 Bedford Square

*Application for Listed Building Consent
for alterations to the main house*

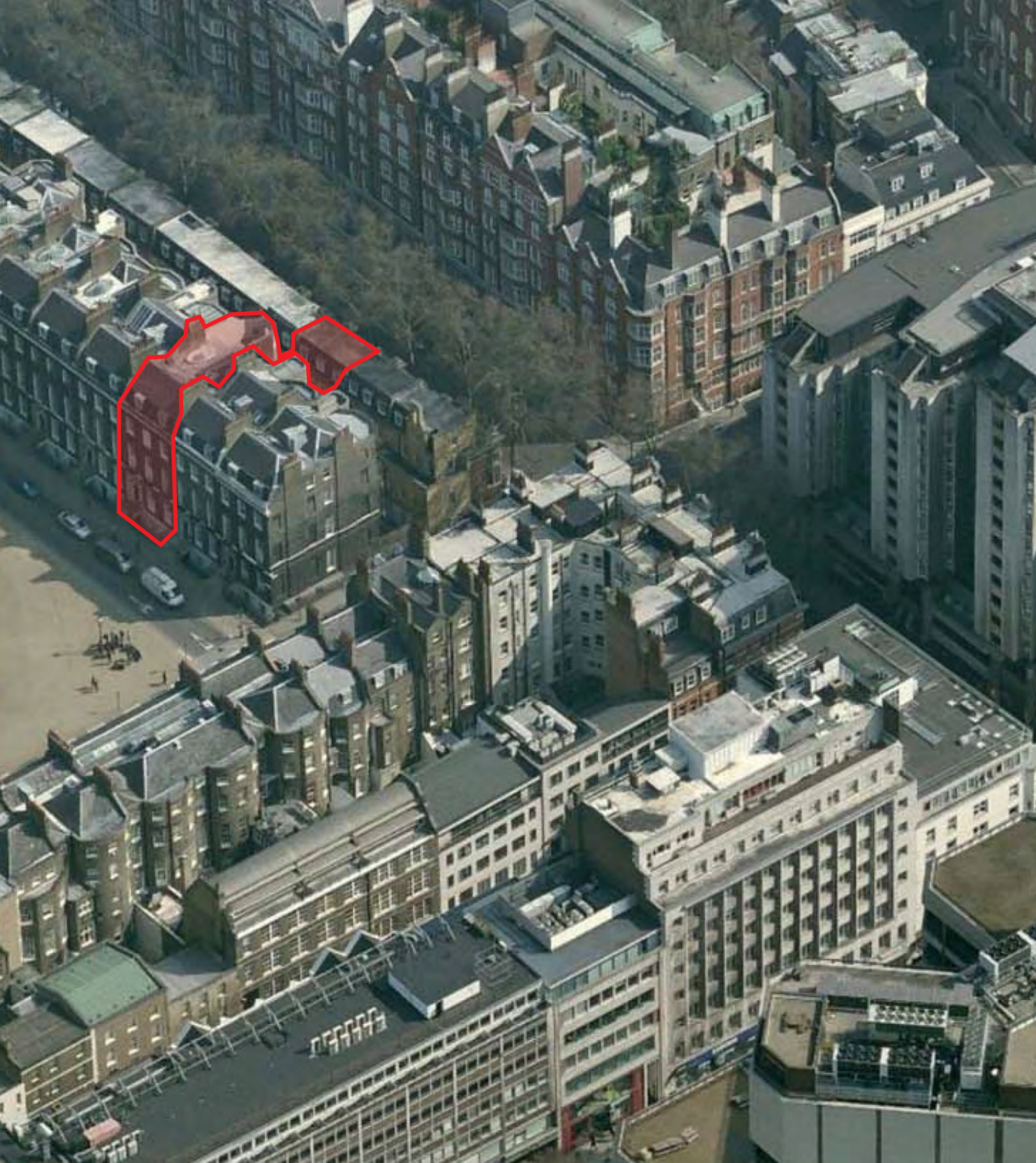
Design and Access Statement

December 2017

LBC_REP(00)A110revA

BDP.





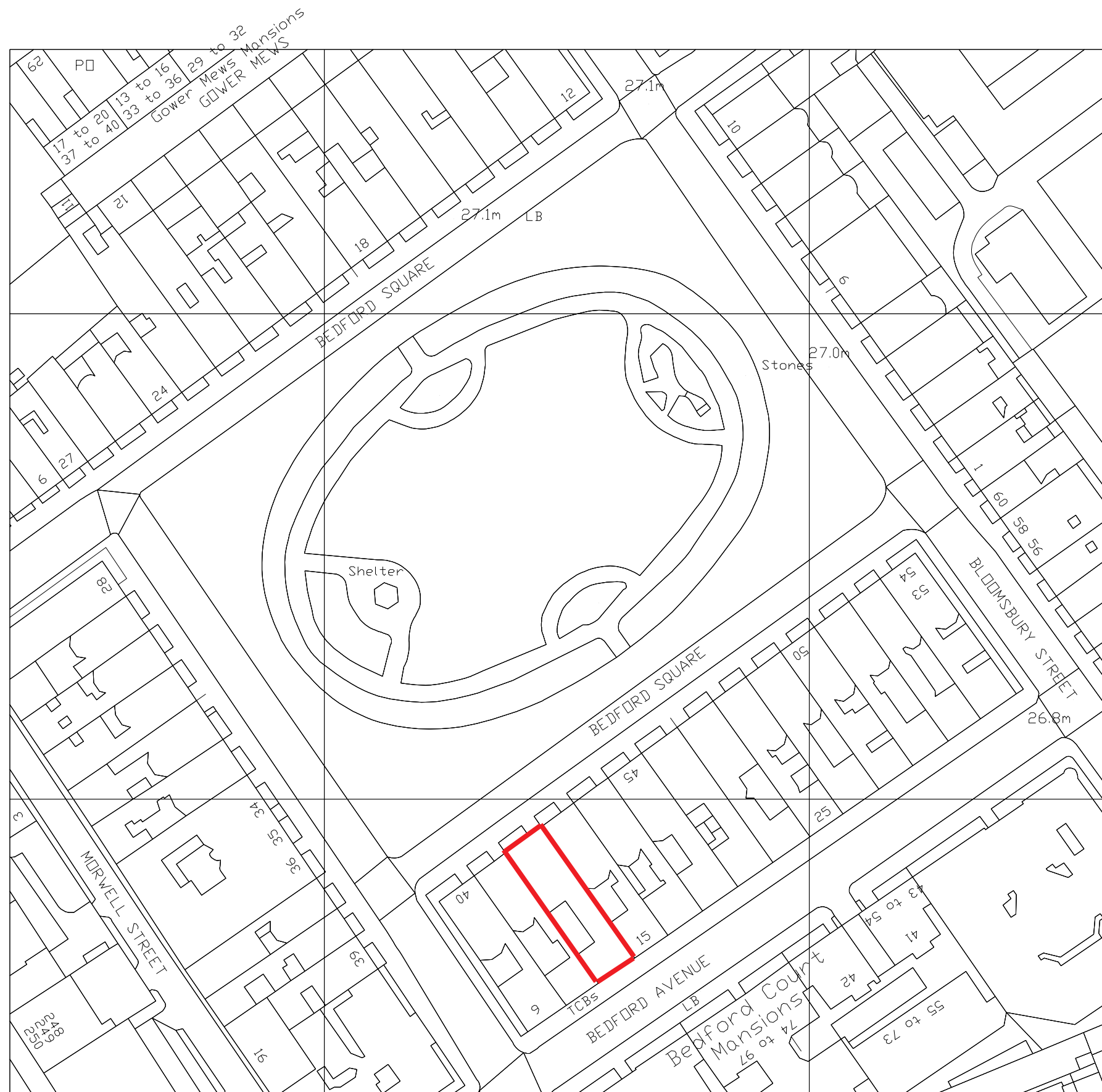
Contents

- 1 Introduction
- 2 Statement of Need
- 3 Historic Context
- 4 42 Bedford Square Today
- 5 Planning Consultation
- 6 Design Proposals
- 7 Furniture Approach
- 8 Services Strategy



Appendices

- a Schedule of drawings
- b General Arrangement drawings - As existing 2011
- c General Arrangement drawings - As consented
- d Initial Audit Plans
- e Application items schedules
- f General Arrangement drawings - As built
- g General Arrangement drawings - As proposed
- h Fan coil unit reduction - technical note
- i Method Statements
- j Building Services Overlay drawings
- k Furniture Approach



1 Introduction

1.1 OVERVIEW

In 2014, BDP were appointed to develop design proposals for the refurbishment and adaptation of the house located in 42 Bedford Square to enable Planning and Listed Building Consent Applications to be submitted.

The building is Grade I listed, located along the south side of Bedford Square. The square was built between 1775 and 1783 to a very consistent standard and quality, and its four sides of palace-fronted terraced houses remain largely intact today - this contributes in making it a very significant piece of surviving Georgian urban design.

The mews house has been redeveloped a number of times in the past - although the external envelope contributes to the setting of Bedford Avenue and the surrounding area, the interiors are of little interest and their historic, cultural and construction value is limited.

At the time BDP was appointed, the historic building was subdivided into a main residence with a separate flat in the lower ground floor. The mews was let as four separate flats. A change of use from offices to residential was approved as part of the Planning and Listed Building Consent approvals relative to a previous scheme.

In September 2014, listed building consent was granted for a scheme that would reconvert the whole building - including historic house and mews - back to a single high quality family house. In the process, the building would be made fully accessible, with provision of a high standard of services, environmental controls, AV and IT infrastructure throughout. Planning consent for the same scheme was granted at appeal in February 2015. Conditions requiring discharge relating to new railings, new doors and windows, front stone steps and details of service runs were approved between June 2015 and January 2016.

Following this approval of the above scheme, the client sought a series of further changes to the consented scheme. These changes included a new opening between the front and rear rooms at the ground floor, the reinstatement of the central vaulted cellar at the lower ground floor, the application of secondary glazing to all rear courtyard facing elevations, and the reinstatement of the original secondary stair location between second and third floor levels. A continued dialogue with the London Borough of Camden was maintained throughout this process which spanned between 2015-2016.

A programme of construction works to implement the scheme has been ongoing since this time. In the summer of 2017, it became evident that whilst a number of elements in the approved scheme have been implemented as intended, a series of alterations and further construction work has also

occurred. BDP have been re-engaged to prepare the necessary application information relating to both reinstatement and to the incorporation of some minor works of alteration to those, already approved.

1.2 DESIGN TEAM

The design proposals have been developed in conjunction with the following external consultants:

- Building Services Engineers: Hoare Lea
- Interior Designers: 1508 London
- Planning Consultants: DP9
- Heritage Consultants: Montagu Evans

In preparing this application information, reference has been made to the Heritage Impact Assessment prepared by Montagu Evans in support of the principal 2014 application.

List of Consents

Lower Ground Floor	2015/3620/L
Ground Floor	2015/3616/L
First Floor	2014/4634/L
First Mezzanine	2014/4634/L
Second Floor	2016/3162/L
Third Floor	2016/3162/L
Roof Plan	2015/6154/L

1.3 SITE LOCATION

The building is located on the south side of Bedford Square, a prominent Georgian square in Bloomsbury, one of the most central and culturally significant areas of London. Gower Street/Bloomsbury Street and Tottenham Court Road enclose it to the east and west and Bedford Avenue to the south.

1.4 ACCESS

The main entrance to the historic house is facing the square, via a short flight of four steps. The mews house faces Bedford Avenue at the rear and has an entrance door directly off the pavement.

1.5 TRANSPORT

Due to its central location, Bedford Square is very well serviced by public transport. The nearest London Underground stations are Tottenham Court Road, located approx. 200m to the south; Goodge Street, located approx. 500m to the northwest and Holborn, located approx. 600m to the east.

The nearest train terminals are Euston to the north and Charing Cross to the south, both within one km distance.

Several, regular bus services can be found on nearby Tottenham Court Road, New Oxford Street and Gower Street.





2 Statement of Need

2.1 OVERVIEW

The focus of this application is to undertake both remedial works and to ensure the implementation of previously consented arrangements with some minor works of alteration. The principal aims set out in the brief for the 2014 application remain relevant in this regard and can be summarised as follows:

- To carry out a sensitive refurbishment and adaptation of the existing buildings to return the property to its original use and proportions, i.e. a full scale single residential accommodation
- To carry out the conversion and refurbishment of the buildings and interiors to high quality standards.
- To plan the internal spaces in a way which preserves the separation and privacy between the master bedroom areas and circulation and those used by others.
- To realise a high standard of residential amenity including appropriate acoustic and environmental standards.
- To sensitively integrate the Client's accommodation needs, including bathrooms within the historic house.

2.2 ACCOMMODATION - PRINCIPAL RESIDENCE

- The residence will be expanded to extend to the whole 5 floors of the main building. The household will comprise the client's family (including wife and four children), staff quarters and guest accommodation.
- A new, DDA compliant lift is required to the principal house. This has been implemented in accordance with the consented scheme.
- Staff rooms should be concentrated in the lower ground floor of the principal house. Some staff rooms should be flexible to double up for guest rooms if required (i.e. provide ensuite bathrooms where possible.) Incomplete works suggest that this is being implemented in line with the consented scheme.
- Family rooms to be located on upper floors - children bedrooms to have en suites and be located on attic floor.
- Roof to be reinstated above rear decked terrace to extend existing accommodation on the third floor - flat roof above to be reinstated. This work has been implemented.
- Link building with mews house to be extended to assist circulation and space efficiency. Although incomplete, the new link building has been constructed, offering this connection between Main and Mews houses as consented.
- Fireplaces to be restored for live smokeless fire use. Whilst existing fireplaces have been removed from the walls at ground and first floor levels, they are in safe storage and will be reinstated as part of these application proposals.
- Cigar store required, preferably in the basement. Appropriate environmental control to be considered.
- Wine cellar to be located in historic vault.
- Reduced height spaces off stair mezzanines to be re-used where suitable.
- Every bedroom to be fitted with sink and desk.
- Every bedroom to have ensuite bathroom.
- Staircase between 2nd and 3rd floors to be reinstated to a suitable design. This has been implemented in the location of the original secondary stair.

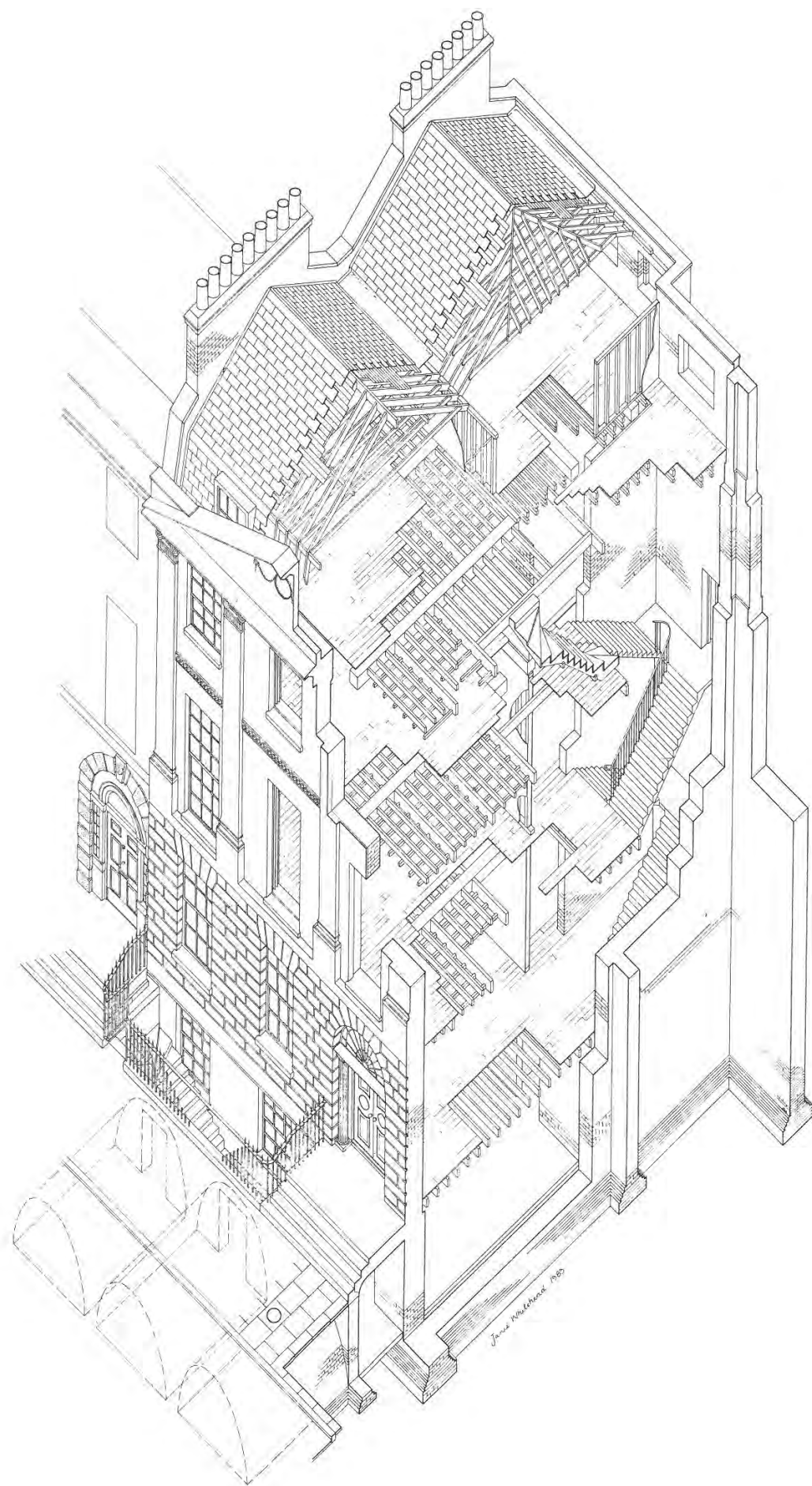
2.3 FABRIC ISSUES

- Existing uneven surfaces of the historic wall plaster are acceptable, subject to condition survey and repair requirements.
- Windows thermal and acoustic upgrade required. It is intended that the consented secondary glazing proposals to all rear facing windows will be implemented.
- All bedrooms require full blackout with additional curtains affording a level of blackout.
- Finishes to be of high quality.

2.4 BUILDING SERVICES

- Natural ventilation is acceptable to rooms throughout however some spaces may require mechanical fresh air such as the Chinese kitchen in the modern link building.
- Comfort cooling required to all bedrooms inc. staff.
- Plant space generally located in vaults under street level with rising services consolidated in the secondary rear bay space.
- Roof plant is required and has been located in between pitched roof elements to minimise visual impact.
- Underfloor heating and under window heating required (radiators) to minimise downdraft in larger windows.





3 Historic Context

3.1 SIGNIFICANCE

42 Bedford Square is a Grade I listed building, located along the south terrace of the square and greatly contributing to its character and uniformity. Bedford Square was built between 1775 and 1783 and its four sides of palace-fronted terraced houses with stucco faced pedimented centres remain largely intact today; “It remains without any doubt the most handsome of London squares, preserved completely on all sides.”¹. Also “its chief importance lies in the fact that it was the first example in London of a square with such consistent uniformity.”²

The architect of the square is not known but some suggestions have been put forward by Andrew Byrne. It may be the work of Robert Palmer, a surveyor who was employed by the Bedford Estate for various surveying duties in the 1760s and 1770s. Otherwise it may have been designed by the master builders of the square, William Scott (brick-maker) and Robert Grews (carpenter), who “as successful builders (...) would have been quite capable of coming up with the designs for Bedford Square.”² The notable late XVIII century architect, Thomas Leverton, was engaged in the overall design of number 1 Bedford Square and reportedly in the interiors of a number of others.

Although Bedford Square eventually established itself as the prime London address of the professional and upper middle classes, at first “occupants included many lawyers, attracted by its nearness to the Inns of Court.”¹. Notable inhabitants of no. 42 over the years include Dr Henry Revell Reynolds, physician extraordinary to George III; Sir John Bayley, judge of the King’s Bench, baronet and member of the Privy Council; and the architect of note, William Butterfield, who died here on 23 February 1900.

The decline of Bedford Square as a residential quarter began with the 1890 Act of Parliament authorising the London County Council to take down the five gates on the Duke of Bedford’s Bloomsbury estate. These gates had been closed to certain traffic such as omnibuses and trucks and closed to all traffic between 11pm-7am. Their removal (and the subsequent removal three years later of all City gates) changed Bloomsbury “from being a secluded, almost private neighbourhood to a busy thoroughfare for all West End traffic...”² This started to reflect quickly in the uses of the buildings facing the square: by 1913 eight houses were converted to offices, by 1913 this had increased to 26 and by 1939 “there were just 6 private houses left”². The last office occupier of number 42 was Gardiner & Theobald, an international construction project management company who vacated the property in 2006.

The mews house has been redeveloped a number of times in the past - although the external envelope contributes to the setting of Bedford Avenue and the surrounding area, it is recognised that the interiors are of little interest and their historic, cultural and construction significance is limited.

For further information on the significance of the building please refer to the Heritage Impact Assessment, prepared by Montagu Evans and forming part of the present Planning and Listed Building Consent application.

3.2 ORIGINAL CONSTRUCTION

The following is an account of the construction methods typical of the Georgian period and adopted in the development of Bedford Square, as illustrated in Andrew Byrne’s *Bedford Square: An Architectural Study*. The intrusive surveys have confirmed that most apply closely to number 42;

- Terraces generally built on made-up ground, which was an inadequate base and led to structural problems and failures over the years.
- Stepped brick footings were stiffened with long timbers placed within the thickness of the foundations - due to rot, several instances of underpinning works have been recorded in the past.
- All basement walls were erected in brick - front, rear and party walls are 22^{1/2} or 27 inches thick, those dividing the staircase area from the rooms are 18 inches thick and vault walls are 13^{1/2} inches thick.
- On cross section the vault is H shaped, the upstands rising to ground floor to support the spine wall dividing the front and rear rooms on the floors above. As the brickwork rises it is reduced further.
- Basement floors laid in stone flags.
- Upper floors in timber, except for the entrance and staircase halls which were finished in stone slabs laid on a base of ash or sand over a timber boarding fixed to timber joists.
- Because of the excessive width of the ground floor rooms which could not be spanned by joists, a 12x12 inches main beam was customarily introduced, running front to back roughly down the middle.
- Timber joists 9x3 inches were notched into this beam, running to the party wall on one side and to the wall dividing from staircase or entrance halls on the other.
- The stair and entrance halls were joisted separately, running across to the opposite party wall (7 to 10 feet depending on the plan).
- From the ground floor up, all internal walls were built in timber except for those forming the staircase compartment where brickwork was continued up - this was because of structural system of the cantilevered stone staircase.
- Balustrading was always iron, occasionally cast but often wrought, topped by a moulded mahogany handrail.
- The floor structure of the front room on first floor would be supported by two main beams running parallel to the party walls, supported by the external walls (between the windows) and, opposite, by the staircase compartment and the spine wall itself, reinforced by a large timber lintol above the doorway to the rear room.
- In the rear room, a large beam would continue the line of the previous one to the rear external wall, or two beams would run

- perpendicular to the party wall either side of the chimney breast.
- On this floor, the main beams would be notched to support the joists - but different from the ground floor, here floor joists 6x3 inches taking the timber boarding would be paired up with ceiling joists 3x2 inches supporting the lath & plaster ceiling. The underside of the ceiling joists would line up with the underside of the main beams.
- The main staircase terminated at second floor and a separate, simple wooden right-angle or dog-leg flight rose to the third floor usually (but not always) against the same party wall as the main stair.
- Structure and plan of the second floor usually duplicates the first, except the front room which would be divided by a partition two-thirds back from the party wall containing the fireplace.
- On the third floor, perimeter walls would be taken up in brickwork except the front wall which was formed as a mansard containing two dormer windows; the parapet at the front would be coped in Portland stone.
- The rear wall continued straight and finished as a parapet above the third floor ceiling level, also coped in Portland stone.
- The typical roof has five slopes parallel to the front and rear walls - double pitched (four slopes) above the third floor ceiling with the fifth slope visible from the street and containing the two dormer windows. Under the building agreement all roofs were to be covered with slates.
- External walls would be made up of two skins. The outer skin was the facework - good quality regular bricks with flush pointing, often scored. Half a brick thick, it fronted the inner bulk of place brickwork, generally irregular and of poor quality, which carried the structural loads imposed by floors and roof. Bonding between the two skins was often irregular and determined by time and expense.
- Timbers would be inserted in the brickwork as it was carried up - these performed essential purposes such as carrying the immediate loads of beams and joists and spreading it evenly throughout the structure, reinforcing lime-mortar brickwork allowing a faster rate of construction, providing fixing grounds for internal joinery such as dado rails and skirting boards.
- Facing brickwork generally in London yellow and brown stock, laid in Flemish bond - alternate headers and stretchers in each course - typical of the Georgian era. The facework would be later finished in tuck pointing.
- Semi-circular opening doorways framed by large vermiculated blocks and voussoirs, imposts and keystones all of which are Coade stone.

References:
1: Bridget Cherry and Nikolaus Pevsner, *The Buildings of England: London 4 North*, Penguin 1998.
2: Andrew Byrne, *Bedford Square: An Architectural Study*, The Athlone Press 1990.
3: English Heritage, *London Terrace Houses 1660-1860*, English Heritage 1996.
4: John Summerson, *Georgian London*, Yale University Press 1988

4 42 Bedford Square Today

Construction works associated with the implementation of the 2014 scheme at 42 Bedford Square have ceased. Each space is incomplete.

Key elements of the consented scheme have been implemented. For example, the new passenger lift is present within the rear bay area. The consented layouts at the third, and lower ground floor levels are evident. A programme of repair and redecoration has been implemented across the Bedford Square facing elevation, where new tuck pointing is evident, and the balcony railings at first floor level have been refurbished. New services provision has been installed to route within the floor voids as intended.

A series of further construction works have also occurred. This includes but is not limited to:

- The removal of sections of walls
- The removal of fire surrounds, doors and architraves
- The punching of holes into lath and plaster ceiling construction
- The addition of modern partitions and ceilings

The adjacent photographs illustrate examples of this. Further information on a room by room basis is contained within chapter 6 of this report which focuses on the Design Proposals. In addition, 'As built' application drawings including plans, sections, elevations and reflected ceiling plans are intended to capture each of these items, with the 'as proposed' drawings referencing the intended remedial action.



Holes created in lath and plaster ceiling at ground floor level



Modern 'coffer' ceiling arrangement at the second floor level



Existing fireplace removed from wall at first floor reception room. Fireplace in safe storage.



Modern plaster repairs throughout stair well to be replaced with lime plaster to match existing.



Section of masonry wall removed and excessive scale of fan coil unit.



Existing door opening enlarged. Making good of opening in modern materials..



Enlargement and relocation of existing door openings at first floor level



High level socket outlet locations adjacent to windows at first floor. Holes in decorative ceiling



Modern 'coffer' ceiling at third floor rear bedroom.



Roof timbers remain exposed with new conservation rooflight in existing opening.



Modern ceilings and partitions at second floor master bedroom

5 Planning Consultation

- Following BDP's re-engagement, an audit of the works has been carried out to identify those areas where works have occurred beyond that approved in 2014. A set of audit plans was shared with the London Borough of Camden in anticipation of a site walk on the 2nd August 2017 and enabled discussion on an item by item basis as to the manner in which remedial or further alteration work could occur.
- Following this initial meeting on site, a series of applications for listed building consent were made on the basis of separating the less sensitive and historically significant Mews House from the Main House as well as a series of applications for the Main house on a floor by floor basis. 5 applications were registered on the planning portal on the 22nd September 2017.
- On the 4th October 2017, a second site visit took place with the London Borough of Camden and Historic England. The Council and Historic England subsequently confirmed that a single application to combine all elements of the main house would be most suitable to enable a holistic consideration of the proposed works to the building. This single application, combining information from the floor by floor applications should also provide:
- 1) Drawings illustrating the layout of the house before the recent commencement of works
- 2) The existing layout (as built) marked up in order to show the authorised and unauthorised alterations that have been carried out. This should include internal elevations and ceiling plans where necessary.
- 3) The proposed drawings as standard.
- This guidance has been taken on board and this single application for the main house includes the above.
- The initial audit plans have been appended to this document for



Ground floor living room existing fireplace as existing in 2011.

6 Design Proposals

6.1 DESIGN PRINCIPLES

The following pages respond to the current as built condition of the property on a floor by floor basis they make reference to both the existing condition prior to the commencement of current works and the relevant consented plans for each floor level. The catagorisation of significance of the listed building refers to the Heritage Impact Assessment prepared by Montagu Evans.

6.2 DESIGN RESPONSE TO THE STATEMENT OF NEED

The proposals have been developed with regards to the significance of the listed building. Works of reinstatement are proposed where considered necessary whilst other works of alteration are set out

The project represents a unique opportunity to reconvert the whole building - including historic house and mews - back to a single high quality family house. In the process, the building will be made fully accessible, with provision of high standards of services, environmental controls, AV and IT infrastructure throughout.

No changes are proposed to the scale and massing of the existing buildings and the external or internal courtyard landscaping.

The layouts respond to the quality, significance and character of the listed building, with the following indicative spatial subdivision;

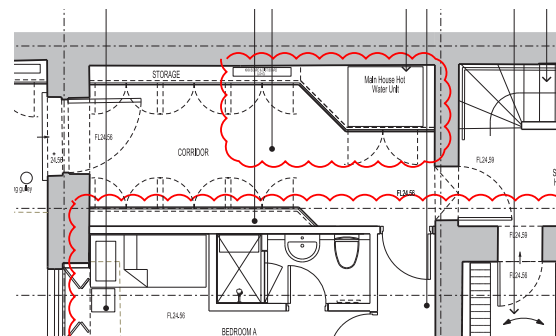
- Lower ground floor: staff bedrooms, technical and storage spaces, kitchen
- Ground floor: reception spaces, ancillary spaces and chinese kitchen
- First floor: reception and library, study
- Second floor: master suite including bedroom, sitting room, bathroom and second bedroom with en suite facility in the rear bay
- Third floor: children's bedrooms, en suite bathrooms and sitting room.

6.3 ADDITIONAL BENEFITS TO THE LISTED BUILDING

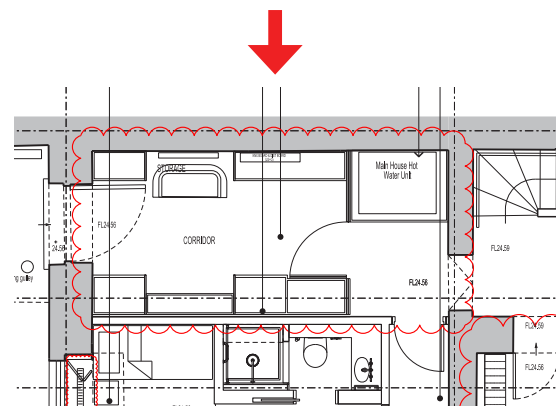
The proposals in this application seek to address those works of alteration not benefitting from listed building consent and deemed harmful alongside those works for which listed building consent exists. The overall product will result in a refurbishment of this prominent listed building that repairs and reinstates a number of elements that have been lost in the past. These include;

- Reinstatement of stone steps to principal entrance, in matching York stone;
- Refurbishment of the tuck pointing to the principal facade (complete);
- Reinstatement of existing cantilevered stone staircase linking lower ground to ground floor;
- Reinstatement of historic fireplaces where these will be required, on ground and first floors;
- Reinstatement of internal mirrors between front windows on the first floor;
- Reinstatement of stone hearths where damaged;
- Reinstatement of suspended ceilings to third floor rooms;
- Reinstatement of flat lead roof to rear of historic house (complete);
- Removal of roof lights and localised reinstatement of slate roof in matching materials





Lower Ground Level Entrance Hall Consented Layout



Lower Ground Level Entrance Hall Proposed Layout

The proposed design provides a more regular rectilinear hall with the benefit of providing a draught lobby before reaching the entrance to bedrooms.

6.4 The Lower Ground Floor

Consented plan in Appendix C - application ref: 2015/3620/L

Prior to the current programme of construction works, the lower ground floor had been divorced from the main house in an arrangement that prevented a reading of the building's original layout and plan form. This arrangement was detrimental to the lower ground floor itself, which was only accessible from the front light well. In addition, the lower ground floor has undergone significant alteration and retains little of its original character. Works had included the insertion of a modern kitchen, new doors and plaster walls throughout, and the introduction of bathrooms within the central vaulted space.

The consented scheme (ref:2015/3620/L) has therefore been developed to re-integrate the lower ground floor with the main house as a single dwelling and reintroduce functions to serve the primary spaces on the upper floors as originally intended.

In response to pre-application advice given in 2013 and the findings of the significance drawings presented in the Heritage Impact Assessment by Montagu Evans at this time, the lower ground floor was identified as one of the main areas of the building which can sustain sensitive and appropriate alteration in order to facilitate the use of this building as a single family dwelling. The proposals at the lower ground floor level have therefore been specifically drawn up to contain the services and functions as required to support the original intended use of this eighteenth century townhouse.



Images provided by the Contractor taken from within the wine cellar vault. Note the inconsistency of the brickwork and mortar and existing paint and gauze finishes. It is noted that with the exception of the outer facing brickwork to Bedford Square, the inner bulk of place brick work is generally irregular and of poor quality.

Proposed Alteration

Following BDP's re-engagement, an audit of the consented/non-consented works has been carried out and this has identified a number of departures from the approved scheme. These internal alterations at the lower ground floor level include:

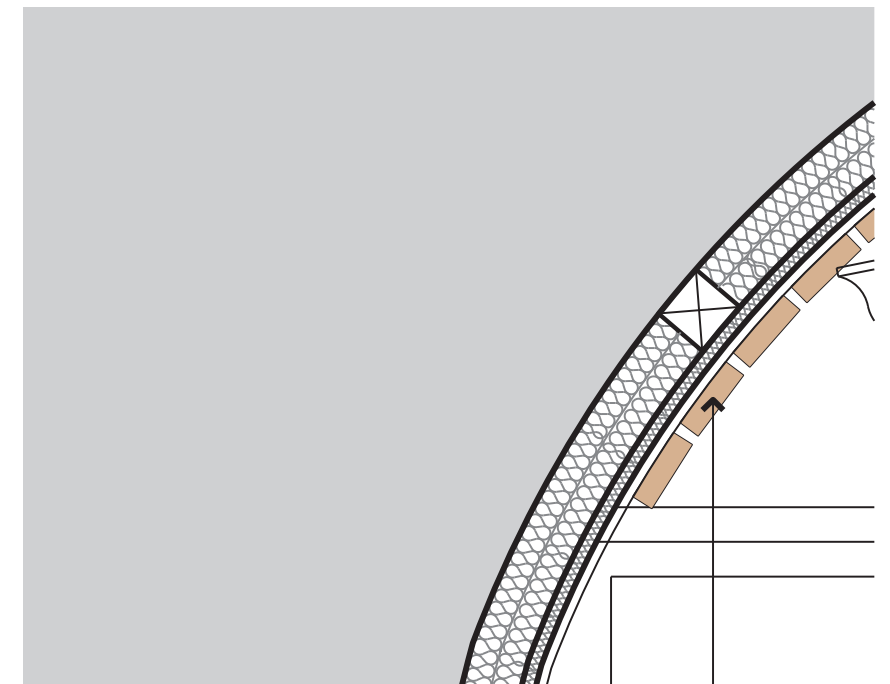
- 1) Entrance hall design development
- 2) Alternative wine cellar internal finishes proposals
- 3) Layout alterations to courtyard facing rooms
- 4) Alteration of below stair store

Entrance Hall design development

It is noted that the existing entrance hall contained a modern kitchen and related poorly to the entrance door from the light well.

The consented layout arrangement indicates banks of fitted joinery either side of the entrance corridor, enabling a direct route from the entrance door. The main house hot water unit tank is located behind a deeper cupboard on the left hand side. The face of the joinery chamfers to incorporate this volume and directs towards the existing opening that leads to the stair hall.

The design of this entrance hall has been modified to provide space for furniture and to ensure more regular rectilinear spaces. It is proposed that a door is introduced as part of this proposed joinery to provide an entrance lobby area that prevents unwanted draughts reaching as far as the entrance to the front bedroom spaces. A new door that was intended to be fitted within the existing opening between the entrance and stair halls would no longer be required.



Extract of proposed vaulted cellar lining detail

All of the newly installed internal doors at this level were modern off the shelf sets. The replacement doors will be in alignment with approved details that formed part of the discharge of condition 4b in conjunction with application 2014/4634/L.

Whilst the detail of the doors remains as agreed in the above, it is proposed that the doors to the approved bathroom layouts in the front bedroom spaces operate in a sliding fashion to save space that is used by a conventional door swing. It is noted that this construction is all modern and it is considered that this space saving tactic will improve the quality of the spaces it relates to.

Vaulted wine cellar

This vaulted space located centrally at the lower ground floor level was previously sub-divided to house two bathrooms. To facilitate these uses, the brick arched vault structure had been covered with a plasterboard ceiling lining and modern tiled walls.

In the consented plan drawings the vault is to be converted into a wine cellar in line with the original intention for this space and with the aspiration to expose and paint the brickwork.

'The vault served for storage, generally wine' (Andrew Byrne: 1990 pg 59)

As the current construction works commenced and the modern partitions, wall finishes and ceilings were carefully removed from this area, the condition of the brickwork was revealed. Unfortunately, what was discovered was that the brickwork and mortar joints are inconsistent and provide a messy



Image taken within the lower ground floor courtyard facing room prior to the 2014 application. Note the modern finishes throughout, low plasterboard ceilings and bulkhead arrangement on the far wall.

appearance that does not suggest an intended finished appearance. In addition, the brickwork is already painted and was covered in a metal gauze that it is assumed help form the substrate for previous plasterboard linings.

Existing voids in the fabric were uncovered at high level adjacent to the party wall which had been utilised for bathroom extract in the previous arrangement and are re-used for the same purpose in the proposed scheme.

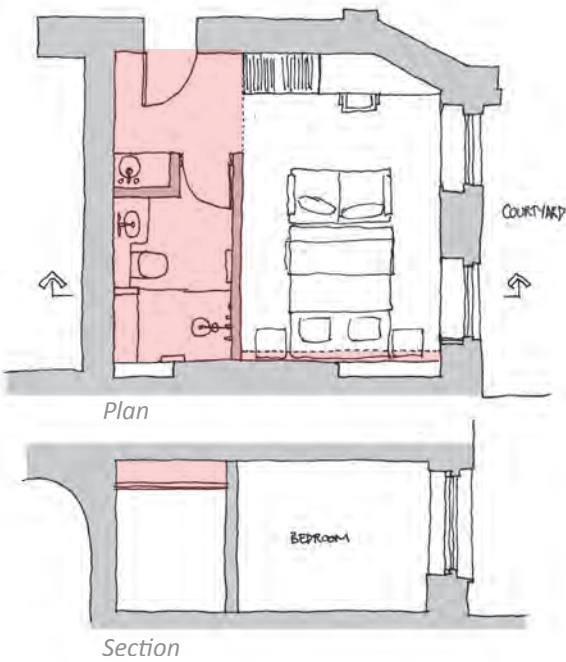
The images, p14, illustrate the condition of the brick structure. It is proposed that the brick work is concealed once again. This provides the opportunity to create an insulated space suitable for wine cellar storage as well as ensuring a uniform finish that is fully reversible.

The desired internal finish will follow the arch of the vault and comprise oak battens that match the dimensions of the brick courses behind, with shadow gaps in between representing the mortar joints. An extract from the construction detail is included on p14.

Layout Alterations to Courtyard Facing Rooms

The 2014 and 2015 consented layouts at lower ground floor show this rear volume between the central vaulted space and the courtyard subdivided into two bedroom spaces, a bathroom and corridor space.

This proposal seeks to reduce that level of subdivision to provide a single guest suite with bathroom.



Proposed courtyard facing rooms layout with suspended ceiling zones shaded in red to clarify services routes.

The strategy for extracting from the bathroom will follow the details approved in the discharge of condition 4d of the principal 2014 listed building consent and follow a route at high level adjacent to the party wall to the external courtyard. It is noted that a similar arrangement existed previously.

It is acknowledged that a large ceiling mounted fan coil unit currently occupies an area in relatively close proximity to the courtyard facing windows. This unit will be removed, reduced in scale and relocated to suspended ceiling areas above the bathroom area to ensure that the new ceiling can be installed above the existing window head height as illustrated in the proposed section drawing.

Alteration of Below Stair Store

The exposure and re-use of this stair was identified as a significant enhancement opportunity as part of the overall application to bring 42 Bedford Square and 13 Bedford Avenue back into use as a single family dwelling. The consented proposals sought to line the area below the stair with storage cupboards, primarily to conceal plant that serves the rest of the main house.

The proposals in this application seek to increase the depth of a part of this storage (see key plan on following page) It is noted that the central spine circulation route remains intact and that the construction, like all of that at the lower ground floor level is modern, lightweight and reversible. The proposals do not result in any loss of detail or fabric.



Image taken within the lower ground stair hall prior to the 2014 application. Note the modern finishes throughout, low plasterboard ceilings and the uncharacteristic open space beneath the boarded up cantilevered stone stair intended to connect the lower ground and ground floor levels.

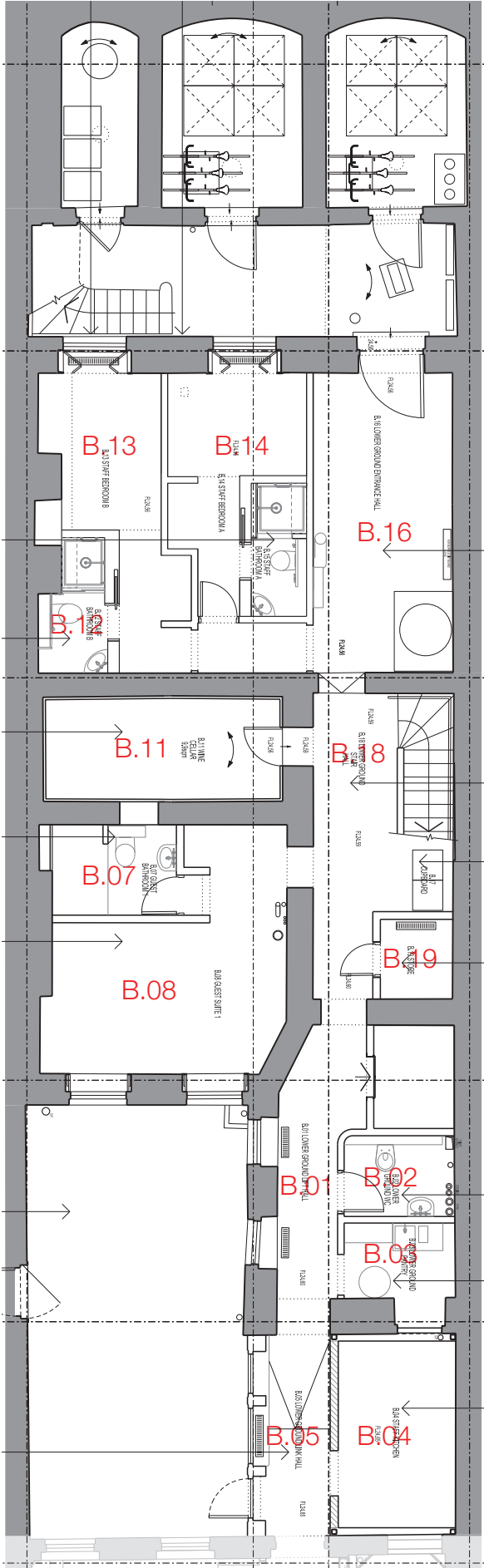
Summary

The lower ground floor level has been subject to a series of modern alterations in recent times and retains little original character.

The lower ground floor was identified as one of the main areas of the building which can sustain sensitive and appropriate alteration in order to facilitate the use of this building as a single family dwelling.

The principal features of the consented layouts at the lower ground floor remain within the current proposals, including the reinstatement and refurbishment of the cantilevered stone stair linking the lower ground and ground floor levels.

The proposed alterations described in this report relate to areas of secondary or little historic significance and comprise fully reversible solutions.



Proposed Lower Ground Floor Key Plan



B.01. Ceiling to be reinstated above window architrave.

Lower Ground Floor

Consented plan in Appendix C - application ref: 2015/3620/L

The following information has been set out to clarify proposals on a room by room basis and should be read in conjunction with the application drawings:

B.01 Lower Ground Lift Hall

High level services, routed below the ground floor structure to prevent loss of fabric, to be raised sufficiently to enable the reinstatement of the ceiling level above the courtyard facing window architraves. Stone floor finish and skirting to be installed. Final fix and decoration required.

B.02 Lower Ground WC

Install proposed sanitary fittings and finishes. Riser wall to be installed to conceal services. Complete and decorate.

B.03 Lower ground Pantry

Install consented pantry arrangement.

B.04 Staff Kitchen

Consented staff kitchen arrangement to be implemented.



B.08. High level fan coil unit to be reduced and relocated. Ceiling to be reinstated above window architrave.

B.05 Lower Ground Hall

New suspended ceilings to modern link building required to conceal service routes. Area to receive finishes and decoration.

B.07 Guest Bathroom 1

As built arrangement to rear courtyard facing room to be retained to provide guest bedroom and bathroom. Install bathroom arrangement as the proposed plans. Suspended ceiling to be installed to conceal high level services as was intended in the consented proposals.

B.08 Guest Suite 1

General_
Modify services installation to ensure ceiling height finishes above the architrave of the courtyard facing windows.

Ceilings_
Remove extensive attenuation from ceiling mounted fan coil unit and relocate above suspended ceiling area in bathroom space. Ceiling height to be reinstated above window architraves. Bulkhead to be installed against party wall to facilitate consented duct work route for the extract of bathrooms at this level.

Fixtures and Fittings_
Underfloor heating manifold located adjacent to the room entrance door to be located above suspended ceiling area. Pipework to be routed within a proposed nib wall.



B.11. Ply lining over poor quality brickwork to be painted black and new timber battens installed.

B.11 Wine Cellar

General_
Brickwork discovered to be in poor condition has been lined with an insulation and plywood in a similar fashion to the as existing situation. Oak timber batten proposals to line the arched vault.

B.12 Staff Bathroom B

Install proposed bathroom fittings and decorated.

B.13 Staff Bedroom B

Space to be finished as consented. Refer to external envelope section for reference to external wall and replacement sash windows.

B.14 Staff Bedroom A

As above.

B.15 Staff Bathroom A

Install consented layout.

B.16 Lower Ground Entrance Hall

Services installation to be completed to remove excessive cabling. Proposed furniture enclosures to be installed to conceal all services. New suspended ceiling to be installed to the heights in the consented section drawings.



B.18. Cupboard doors to be installed below secondary stone stair. Projecting volume to be retained.

B.18 Lower Ground Stair Hall

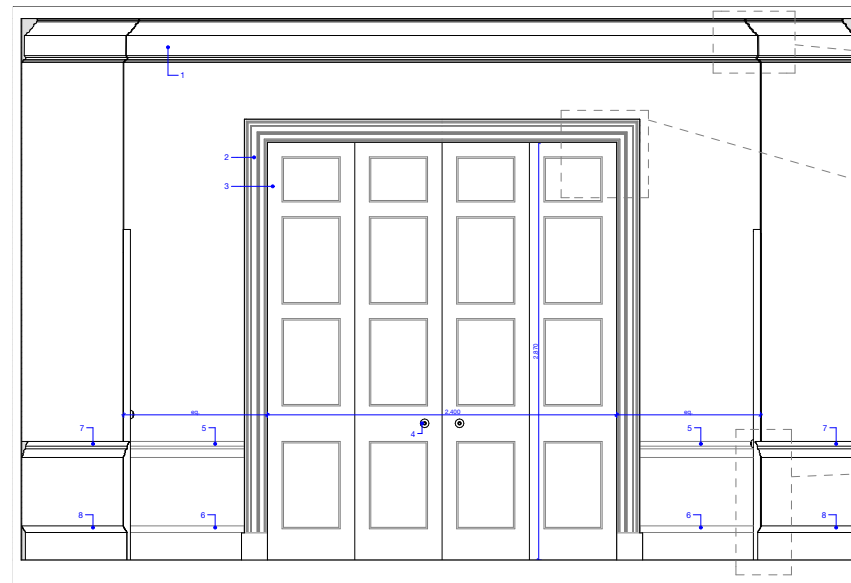
High level services to be concealed above suspended ceiling at consented height.
Below stair cupboard doors to be installed.
Stone floor finish and skirting to be implemented and space decorated. 4 panelled timber doors to be installed to all rooms at lower ground floor in accordance with discharge of condition 4 of the 2014/4634/L application.

B.19 Store

Projecting volume to be retained.



Image taken within the ground floor front room prior to the 2014 application. Note the existing door openings either side of the now removed modern fitted kitchen installation.



Consented opening between front and rear rooms with folding timber doors.



Image of an intrusive investigation in the rear room at the ground floor taken prior to the 2015 application revealing lath and plaster construction on timber stud partition.

6.5 The Ground Floor

Consented plan in Appendix C - application ref: 2015/3616/L

The ground floor of 42 Bedford Square is of high architectural significance and comprises the main entrance hall, stair hall, and principal rooms at the front and rear of the property.

It is noted that the rear bay area has been severely compromised over time, with a previous passenger lift installed in the 1970's, subsequently removed and now a new passenger lift installed in an alternative location. The historic significance of this area is therefore secondary to that of the aforementioned principal spaces.

The consented works at the ground floor are largely concerned with the refurbishment of the existing materials within the principal rooms. The proposals therefore seek to retain the historic floor plan whilst the existing historic fabric, which contributes to the significance of the rooms at this floor level, would be enhanced as part of the refurbishment works.

There is consent for a new opening between the front living and rear dining rooms. These proposals offer increased connectivity whilst maintaining the capacity for each room to be read as separate spaces through the implementation of folding timber doors.

Existing Fabric

A series of agreed intrusive investigations twinned with further research into the typical construction at Bedford Square has provided some confirmation of the existing materials and construction methods used throughout this floor level.

From the ground floor up, all internal walls were built in timber except for those forming the main staircase compartment where the walls continued in brickwork. This was to provide support from the grand central stone cantilevered staircase. The central spine wall separating the principal front and rear rooms from the main stair hall has proven to be of masonry construction at number 42.

Masonry walls are finished in a haired lime plaster which appears to be of 3 coat work. Timber stud partitions are completed with lath and plaster construction.

The ground floor ceilings at Bedford Square are more often than not of a plain design, with the first floor being saved for decorative plasterwork designs being the 'entertaining' rooms on which a larger portion of the finishing budget was spent. This is the case at 42. The plain ceilings were formed in two plaster coats; a thick first coat applied to timber laths which are nailed to the ceiling joists followed by a much thinner finishing coat floated over the base coat.

Despite evidence to suggest that the skirting boards are a modern addition at this level, (most likely replaced or planted over existing boards during previous office conversion work along with replacement floorings) detail of mouldings was captured as part of the consented application to ensure that any requirement for new decorative joinery will match the existing.

As part of the application for a new opening between the principal front and rear rooms, the timber stud and lath and plaster finishes were recognised and suitable method statement provided to ensure that any making good was carried out in the same fashion and with the appropriate materials.

Proposed Reinstatement

This application seeks listed building consent to carefully remove and reinstate a number of features within the principal front and rear rooms. These elements are captured in the application plan, section and elevation drawings and supporting method statements are provided. The reinstatement work can be split into the following categories:

Modern Additions

Modern additions are illustrated in the 'as built' application drawings. A pair of modern nib wall partitions have been erected to create a central zone between the front and rear rooms. This layout has taken advantage of the existing cupboard arrangement that is situated opposite the front room entrance door to provide a symmetrical form and includes a downstand so as to appear like an opening within a full partition. Replica cornice to match the existing adjacent has been produced to continue the design of the front room.



Image of the plain ceiling to the front living room at the ground floor taken prior to the 2015 application. Note the two pendant light fitting locations.

A contemporary feature ceiling design has been installed within this central zone and conceals the existing cornice which remains intact above.

It is proposed that all of this modern construction (partitions and ceilings) is carefully removed in its entirety. Repairs to adjacent fabric are to be carried out in materials to match the existing.

Enlargement of openings

In association with the above additions, existing door openings from the main stair hall to the front room and the opposite cupboard to the west elevation of the front room have been enlarged in width and height. The opening to the front room has been formed within a masonry wall as part of the main stair enclosure. The cupboard door is within timber stud construction.

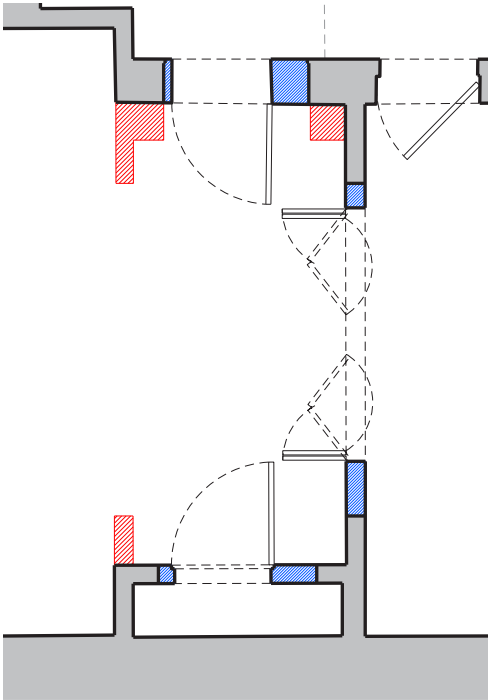
It is proposed that these openings are infilled using the appropriate materials and methods to provide openings back in line with the approved position.

The doors to these areas have been retained and are in protected storage. They are to be refurbished and reinstated.

Ceiling penetrations

A number of penetrations for recessed downlights have been formed within the plain lath and plaster ceilings to both the front and rear rooms.

It is proposed that these openings are made good using lath and lime plaster techniques. The pre-existing central ceiling light locations are to be utilised in the future.



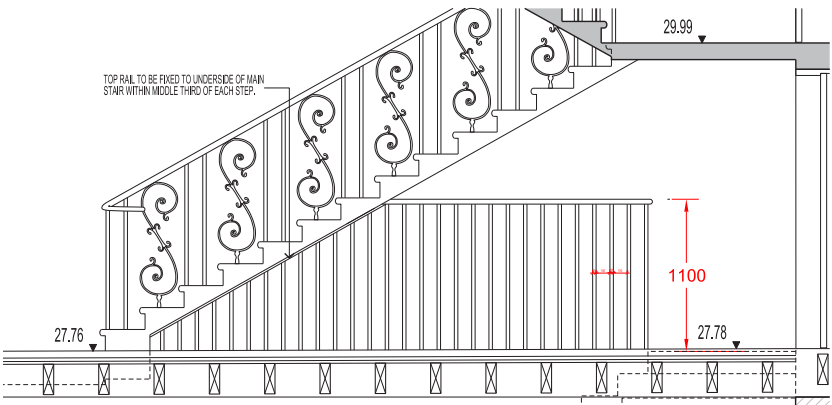
Extract from proposed plan illustrating central zone between the front and back room. Red hatch indicates modern partitions to be carefully removed. Blue hatch indicates areas of reinstatement.

Proposed Minor Alterations

In addition to the proposed reinstatement work, a small number of minor internal alterations are proposed. These include slight modification to the new proposed WC and kitchen layouts as well as the reversal or mirroring of a number of door swings. These alterations are evident in the proposed application drawings.

A modern ply panelled partition has been identified below the main stair. On careful removal of this modern panelling, marks to the underside of the main stair suggest that a railing design had previously occupied this space. A simple railing design with vertical balusters and hardwood handrail is proposed in this location, for which details are provided as part of this application.

Information relating to the ground floor mezzanine (located at the first half landing of the main stair) was not provided during the primary application to reinstate 42 Bedford Square and 13 Bedford Avenue as a single family dwelling in 2014. It is proposed that the simple cupboard arrangement is extended to provide a discreet location for electrical plant. This location is central to the main house, immediately adjacent to the consented services riser in the rear bay, and is out of sight, eliminating visual harm within principal spaces. It has been noted earlier in this report that the rear bay has been heavily compromised over the course of the building's various adaptations, and all floor construction is new.



Plan and elevation drawings to illustrate proposals for the removal of a modern partition below the main stair and the addition of a new simple railing.

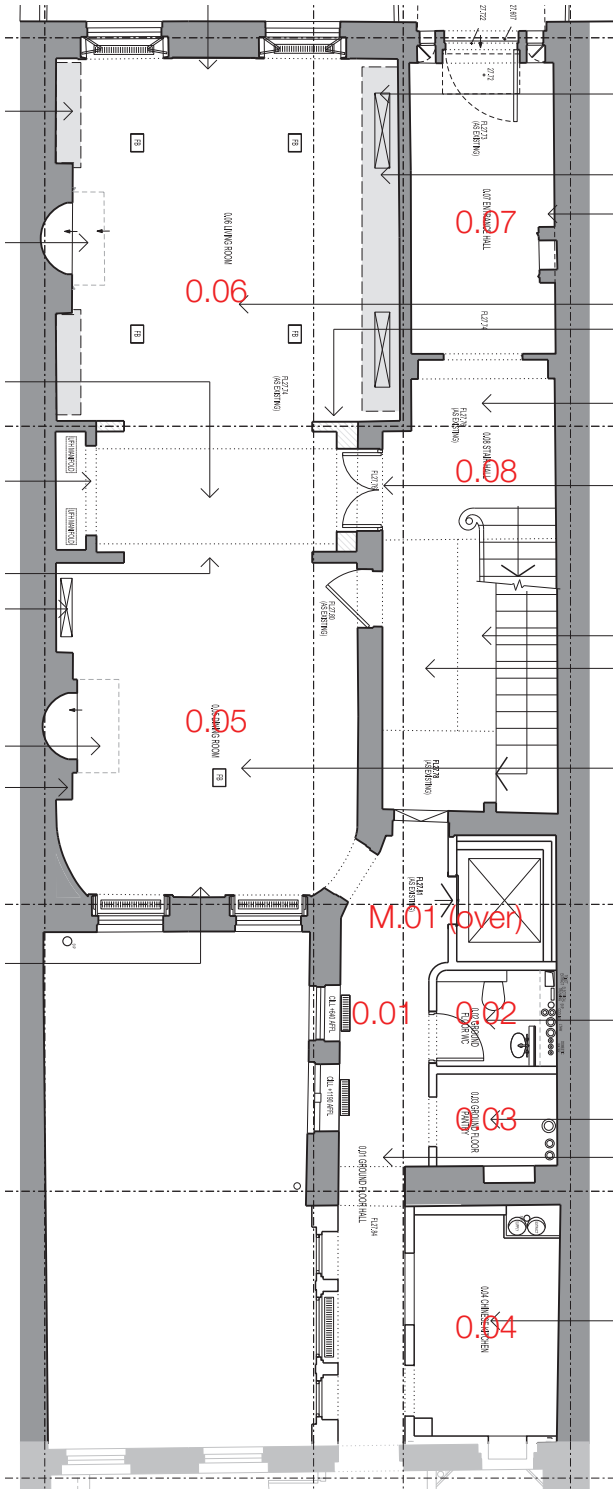
Summary

It is recognised that the interiors of the ground floor in the Main House are of primary historic significance.

In 2015, proposals were approved to create a new opening between the principal front and rear rooms.

A number of elements in the approved schemes have been implemented as intended. A series of alterations to the room layouts and further construction work has also occurred.

This application seeks to reinstate the significant features throughout the principal rooms at this floor level, ensure the implementation of previously consented arrangements and to incorporate some minor works of alteration.



Proposed Ground Floor Key Plan



0.01. Missing window architrave to be reinstated



0.05. Newly formed opening to be reduced to match details of the consented scheme.

GROUND FLOOR

Consented plan in Appendix C - application ref: 2015/3616/L

The following information has been set out to clarify proposals throughout the ground floor on a room by room basis:

0.01 Ground Floor Hall

General_
Missing window architrave to be reinstated. Area to be finished and decorated.

0.02 Ground Floor WC

General_
WC fittings and finishes to be installed in accordance with proposals and room decorated.

0.03 Ground Floor Pantry

General_
Room to be completed in accordance with the consented proposals. Door swing to be reversed to open into corridor.

0.04 Chinese Kitchen

General_
Room to be completed in current arrangement.

0.05 Dining Room

General_
Reduce newly formed opening between dining room and living room to match consented scheme. Reduce scale of fan coil unit. Repair and redecorate throughout.

Ceilings_
Carry out careful removal works to all new ceiling penetrations for recessed light fittings. Implement repair works to lath and plaster ceiling in accordance with drawings and methodologies. Rely on central location only for ceiling mounted lighting. Redecorate.

Internal walls_
Carry out repair works to damaged plasterwork in materials and methodology to match the existing adjacent. High level socket outlets adjacent to windows to be carefully removed and made good. Socket outlets above fireplace on chimney breast to be removed.

Floors_
New hardwood timber floor installed as consented. Modify as necessary to accommodate new stone hearth to fireplace.

Doors_
2no. existing and retained 6 panel timber doors currently in storage to be repaired, reinstated and redecorated. Swing of door between dining room and ground floor hall to be reversed within existing frame. Consented design for folding timber panelled doors to new opening between living and dining room to be installed.



Image of Dining Room Fireplace elevation illustrating fan coil unit to be reduced, ceiling penetrations to be repaired and socket outlets above fireplace to be removed.



0.06 Image of Living Room Fireplace elevation illustrating socket outlets above fireplace to be removed and example of current furniture design overlapping chimney breast feature.



0.06 Image of central area of Living Room illustrating enlarged openings, modern nib partitions and modern suspended ceiling area all to be carefully removed and reinstated.

Windows_
Existing windows have been refurbished and redecorated. Consented secondary glazing to be installed. Any existing damage to surrounding joinery to be made good and redecorated.

Joinery_
Existing skirting, dado and architrave to be retained and redecorated.

Fixtures and Fittings_
Fan coil unit located adjacent to fireplace as opposed to consented location on opposite wall. Position to be maintained to minimise further service route disruption but scale to be significantly reduced and unit to become floor mounted and concealed within furniture item. Modern radiators to be concealed behind furniture enclosures within the window reveals. Scholarly reproduction of original fireplace to match photographic evidence.

0.06 Living Room

General_
Enlarged door opening between living room and stair hall and cupboard door opposite to be returned to their original opening sizes and existing retained doors and surrounding joinery to be reinstated. Modern nib walls and central suspended ceiling to be carefully removed. Reduce scale of fan coil units. Adapt furniture design. Repair and redecorate throughout.

Ceilings_
Carry out careful removal works to all new ceiling penetrations for recessed light fittings. Implement repair works to lath and plaster ceiling in accordance with drawings and methodologies. Rely on two centralised locations for

ceiling mounted lighting. Redecorate. Modern suspended ceiling in 'coffer' arrangement to be carefully removed and adjacent fabric repaired and redecorated as necessary.

Internal Walls_
Carry out repair works to damaged plasterwork in materials and methodology to match the existing adjacent. High level socket outlets adjacent to windows to be carefully removed and made good. Socket outlets above fireplace on chimney breast to be removed.

Floors_
New hardwood timber floor as consented. Modify as necessary to accommodate new stone hearth to fireplace.

Doors_
2no. existing and retained 6 panel timber doors currently in storage to be repaired, reinstated and redecorated. Refer to Dining Room for implementation of consented folding timber panelled doors to central opening.

Windows_
Refurbishment and redecoration work has been carried out.

Joinery_
Existing skirtings, dados and architraves to be retained and redecorated.

Fixtures and Fittings_
Additional fan coil unit located in north east corner of room. Unit to be retained to minimise further service route disruption. Scale of both fan coil

units to be reduced and become floor standing. Modern radiators to be concealed behind furniture enclosures within the window reveals. Existing fireplace currently in safe storage to be carefully repaired and reinstated. Furniture elements to be modified where pieces overlap the chimney breast or conceal existing cornice at high level.

0.07 Entrance Hall

General_
Damaged plasterwork to internal walls to be repaired with specified lime plaster. Ceiling penetrations for light fittings to be carefully repaired. Area to be completed in accordance with the proposed drawings.

0.08 Stair Hall

General_
New simple vertical railing design with hardwood handrail to be installed below main stair. All modern plasterwork forming chased electrical services routes to be carefully removed and repaired in lime plaster.

M.01 Mezzanine Store

General_
Reinstate jib door at half landing. Finish and decorate as installed.



Image taken of the decorative plaster ceiling to the front room of the first floor prior to the 2014 application.



Image taken of the damaged decorative plaster ceiling to the rear room of the first floor prior to the 2014 application.



Image of intrusive investigation taken within the first floor front room prior to the 2014 application. Illustrating the timber stud and brick infill construction of the partition dividing the front and rear rooms.

6.6 The First Floor

Consented plan in Appendix C - application ref: 2014/4634/L

The first floor of 42 Bedford Square contains two rooms of high architectural significance, including the principal room to the front of the building with decorative plaster cornice, decorative ceiling and over mantel. The large sash windows retain their original shutters and open onto cast iron balconies.

The principal change at this level within the consented plans is the introduction of a new passenger lift to the rear closet wing. It has been accepted that this rear bay area is of less historic significance, being ancillary to the principal rooms and having been physically compromised through a series of significant structural alterations over time. With the exception of this, minimal works were proposed in order to preserve the historic interest of these principal rooms.

A full programme of refurbishment to all windows and shutters was proposed as well as repairs to the damaged decorative ceiling in the rear room where the plasterwork was damaged and in a deteriorating condition.

Existing Fabric

A series of agreed intrusive investigations were carried out prior to the latest construction works to determine existing floor, wall and ceiling make-up and to identify existing fabric voids to be re-used.

Although any trace of original flooring had been lost with the exception of the stone main stair hall, these investigations confirmed that all internal walls

were built in timber except for those forming the main staircase compartment where the walls continued in brickwork. This was to provide support from the grand central stone cantilevered staircase.

At the first floor level, the partition separating the front and rear principal rooms has proven to be of timber stud work with brick infill. This is illustrated in the photograph on this page.

These walls are finished in a haired lime plaster which appears to be of 3 coat work.

Commensurate with the typical approach at Bedford Square, the first floor was saved for decorative plasterwork designs being the 'entertaining' rooms on which a larger portion of the finishing budget was spent. The ceilings are formed in two plaster coats; a thick first coat applied to timber laths which are nailed to the ceiling joists followed by a much thinner finishing coat floated over the base coat. The decorative elements were formed by applying pre-cast mouldings and motifs set onto wet plaster. There was no free-hand plasterwork in Bedford Square of the type associated with the earlier Georgian period.

The decorative plaster ceiling to the front room comprises scrolled arabesques, trophied panels and swags. The room behind has a decorative ceiling of swags and putti. Prior on site it was noticed in the rear room that delamination of the plasterwork from the laths had manifested itself in a series of cracks across the ceiling and large sections of the plasterwork were sagging, requiring urgent remedial action.

The detail of existing mouldings for skirting, dado, architrave and cornice was captured as part of the discharge of condition 4b) as part of the consent

referenced at the start of this report. The intention was to refurbish the existing and if damaged, piece in new sections matching the existing in terms of material and profile.

Proposed Reinstatement

This application seeks listed building consent to carefully remove and reinstate a number of alterations that have been made within the principal front and rear rooms. These elements are captured in application plan, section and elevation drawings as well as supporting method statements. The reinstatement work can be split into the following categories:

Enlargement of openings

The two existing openings that link the principal front room with the main stair hall and the rear room have been modified to form a symmetrical arrangement from the front room side. The supporting application information includes plan and internal elevation drawings that illustrate the as built condition and the works required to reinstate the original openings.

This will include reinstating timber stud work to match the existing arrangement as well as brick infill panels in an appropriately selected reclaimed or second hand brick that matches the existing as closely as possible.

The proposed plaster finishes will be a lime plaster applied in three coats as the existing. Specifications are included in separate method statements that are appended to this document.



Image of the existing opening between front and rear rooms at the first floor taken prior to the 2014 application.

Ceiling Penetrations

The ceiling to the rear room has undergone a programme of repair and consolidation to address the areas of delaminating plasterwork and to ensure the retention of the original design. This work has been carried out by a reputable specialist, George Jackson.

This application seeks consent to reinstate penetrations that have been made since this repair work in both the front and rear rooms. It appears that these openings have been made to house an arrangement of recessed down light fittings. Proposals are to reinstate the ceilings and revert to the existing and intended lighting strategy of utilising the existing central pendant fitting location.

The application drawings associated with this work locate the penetrations on reflected ceiling plans and a detailed methodology for reinstatement is appended to this report.

Reinstatement of wall damage

Within the rear room, an opening has been made at high level in the chimney breast. In addition, a section of timber panelling in the corner of the room has been cut out to provide access to the fabric void behind to install services. An internal elevation is provided as part of this application to identify these areas and provide methodology for reinstatement. A series of exposed pipes above floor level in the rear room will be relocated to the less sensitive rear bay where rising services and primary service routes are consolidated.

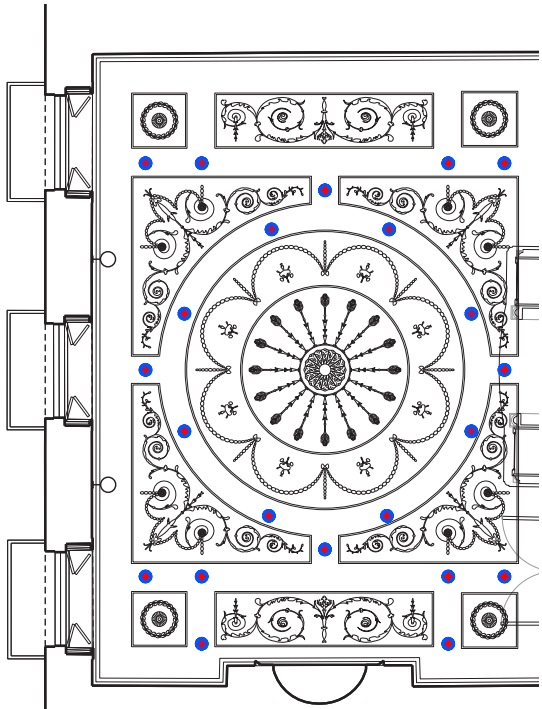


Ceiling to front room illustrating the redecorated and refurbished ceiling and further works requiring reinstatement.

Proposed Minor Alterations

In addition to the proposed reinstatement work, there are a series of minor adjustments that this application seeks listed building consent for. This is limited to the reverse of door swings and the minor adjustment of a new door location within a consented new partition at the rear bay.

These changes have been identified to ensure that the door swings are safer, more space efficient and more conducive to circulation routes into the principal rear room. The changes involve mirroring the door swing in the same direction and will therefore not require modification works to the existing timber frames, rather a re-hanging of the doors.



Proposed front room ceiling plan illustrating lighting to be removed in red and areas of reinstatement work in blue.

Summary

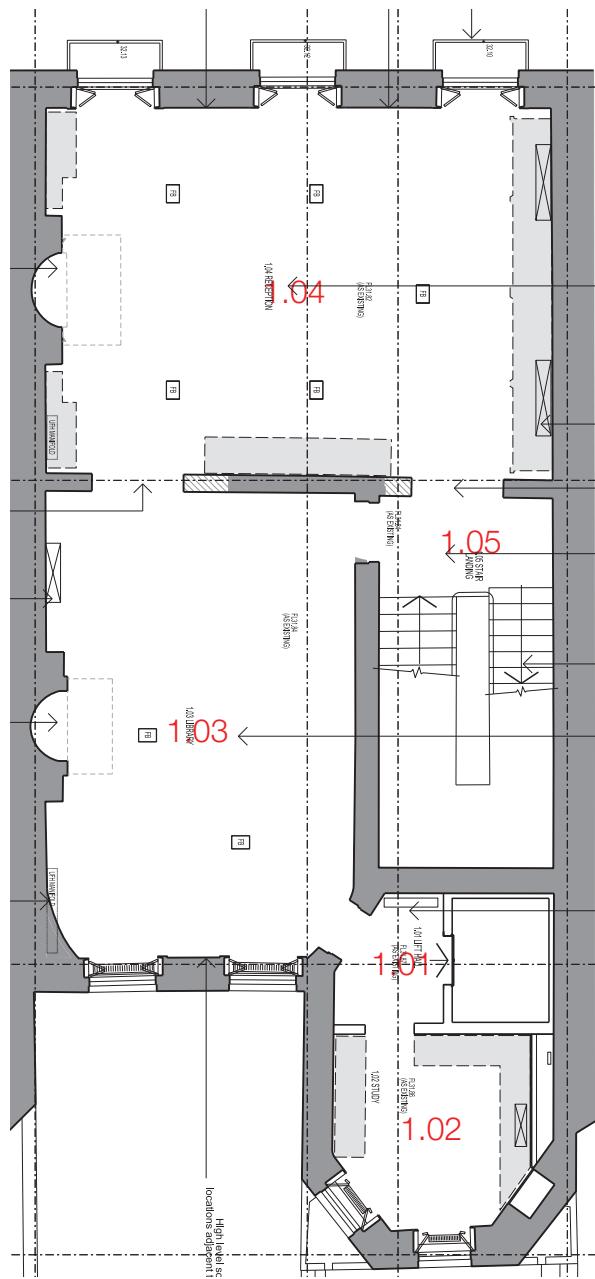
The first floor contains two principal rooms of primary historic significance.

The rooms each boast decorative plaster ceilings.

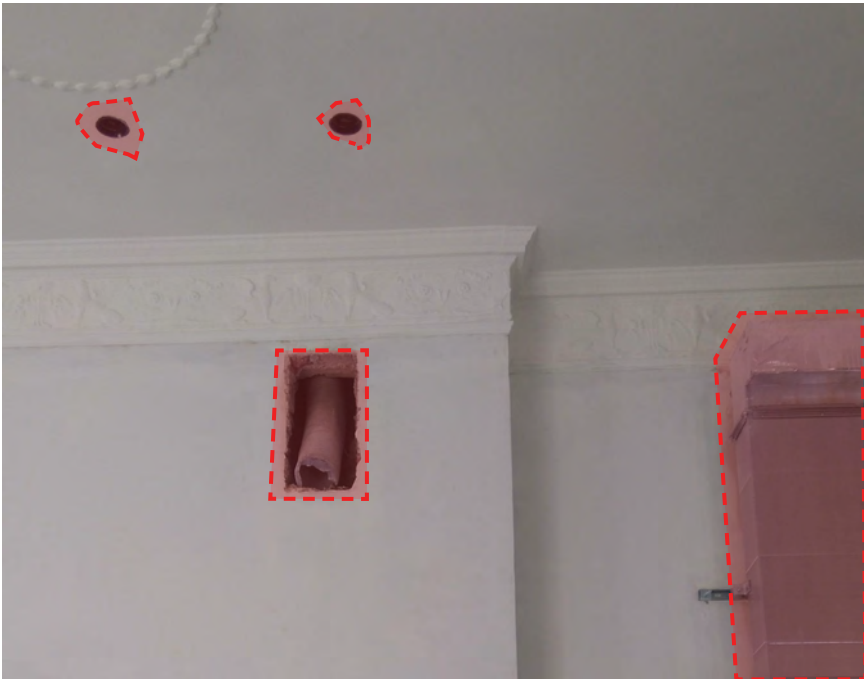
Works have been carried out to consolidate the deteriorating ceiling to the rear room.

A series of alterations and further works have also occurred.

This application seeks to reinstate the significant features throughout the principal rooms at this floor level, ensure the implementation of previously consented arrangements and to incorporate some minor works of alteration.



Proposed First Floor Key Plan



1.03. Penetrations in ceiling and chimney breast to be repaired. Fan coil unit to be significantly reduced in scale.



1.03. Underfloor heating manifold to be relocated to concealed location in rear bay lift hall. Timber panel to be reinstated.

FIRST FLOOR

Consented plan in Appendix C - application ref: 2014/4634/L

The following information has been set out to clarify proposals throughout the first floor on a room by room basis:

1.01 First Floor Lift Hall

Install furniture enclosures to conceal rising services adjacent and opposite new passenger lift. Finish and decorate.

1.02 Study

Complete furniture installation, finish and decorate.

1.03 Library

General_

Repair ceiling penetrations, reduce scale of wall mounted fan coil unit to provide reduced scale floor standing unit. Relocate underfloor heating manifold.

Ceilings_

Carry out careful removal works to all new ceiling penetrations for recessed light fittings. Implement repair works to lath and plaster ceiling in accordance with drawings and methodologies. Rely on central location only for ceiling mounted lighting. Redecorate.

Internal Walls_

Carry out repair works to damaged plasterwork in materials and methodology

to match the existing adjacent. High level socket outlets adjacent to windows to be carefully removed and made good. Opening in masonry containing flue liner at high level of chimney breast to be reinstated in brick to match existing and new lime plaster finishes and decoration to tie in with the adjacent. Relocated opening between front and rear rooms to be reinstated in original position and to original opening size. Materials to match existing as recorded in method statements.

Floors_

New hardwood timber floor as consented. Modify as necessary to accommodate new stone hearth to fireplace.

Doors_

Retained 6 panel timber door currently in storage to be repaired and reinstated in position between library and main stair hall and redecorated.

Windows_

Existing windows have been refurbished and redecorated. Consented secondary glazing to be installed. Any existing damage to surrounding joinery to be made good and redecorated.

Joinery_

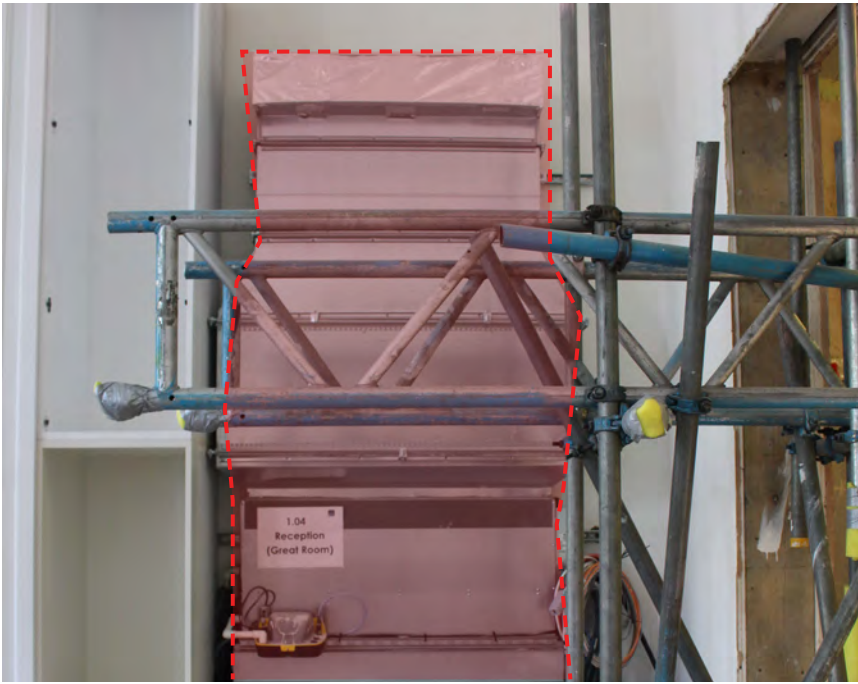
Existing skirting, dado and architrave to be retained and redecorated. Where damaged or lost, replace with new in material and profile to match existing.

Fixtures and Fittings_

Fan coil unit located adjacent to fireplace on alternative side as to that consented. Position to be maintained to minimise further service route disruption and interference with curved feature wall but scale to be significantly reduced and unit to become floor mounted and concealed



1.04. Relocated and enlarged openings to be reinstated to match original locations and scale



1.04. Scale of fan coil units to be reduced and to become floor mounted.

within a furniture item. Underfloor heating manifold and associated pipework installed in south west corner of room to be carefully relocated within existing fabric void. Modern radiators to be concealed behind furniture enclosures within the window reveals. Scholarly reproduction of original fireplace to match photographic evidence.

1.04 Reception

General_

Repair ceiling penetrations, reduce scale of wall mounted fan coil units to provide reduced scale floor standing units. Reinstall original door opening locations. Reinstall stored fireplace.

Ceilings_

Carry out careful removal works to all new ceiling penetrations for recessed light fittings. Implement repair works to lath and plaster ceiling in accordance with drawings and methodologies. Rely on central location only for ceiling mounted lighting. Redecorate.

Internal Walls_

High level socket outlets adjacent to windows to be carefully removed and made good. Relocated opening between front and rear rooms to be reinstated in original position and to original opening size. Relocated and enlarged opening between reception room and main stair hall to be reinstated in original position and to original opening size. Materials to match existing as recorded in method statements. New mirrors in design to match retained mirror in library to be installed to the two wall panels between Bedford Square facing windows.

Floors_

New hardwood timber floor as consented. Modify as necessary to accommodate new stone hearth to fireplace.

Doors_

Retained 6 panel timber door currently in storage to be repaired, reinstated in position between reception and main stair hall and redecorated.

Windows_

Existing windows have been refurbished and redecorated. Modern appearing lower sashes installed as part of previous works and recorded in previous conservation plan document.

Joinery_

Existing skirting, dado and architrave to be retained and redecorated. Where damaged or lost, replace with new in material and profile to match existing.

Fixtures and Fittings_

Fan coil unit located adjacent to main stair hall is on opposite side of the room to the consented position. Position to be maintained to minimise further service route disruption and approximation to the chimney breast but scale of both units to be significantly reduced and to become floor mounted and concealed within furniture item. Modern low level radiators to be concealed behind joinery enclosures within the window reveals. Original fireplace currently in storage to be reinstated in original location and any damage made good in accordance with drawings and method statements.

1.05 First Floor Stair Landing

Penetrations to underside of stair landing to be repaired in two coat lime plaster to match existing ceiling finishes. All modern plasterwork forming chased electrical services routes to be carefully removed and repaired in lime plaster.

M.02 Study

New services to be concealed in furniture to be finished and decorated. As built arrangement to be retained.



Image taken within the second floor front master sitting room prior to the 2014 application.



Image taken within the second floor rear bathroom prior to the 2014 application. Note the modern door opening, lighting, lack of fireplace and concrete hearth construction.



Image of intrusive investigation taken within the second floor front room prior to the 2014 application. Illustrating the partial survival of timber stud construction between the front rooms but modern plasterboard linings and timber structure.

6.7 The Second Floor

Consented plan in Appendix C - application ref: 2016/3162/L

The second floor level has been subject to a series of physical alterations since 1974 that have compromised the original layout and the significance of the spaces. In particular the secondary stair has been relocated to the centre of the plan between front and rear rooms in a number of alternative formats. Unfortunately, this has resulted in the loss of historic fabric in the creation of new voids for the stairs to rise through and in the replacement of ceiling and floor fabric in modern construction.

Prior to the current programme of works, the rear room had been utilised as a master bathroom area, with a large shower/sauna volume within the room and service routes above the finished floor level.

Consented Arrangement

The layout consented by application 2016/3162/L sought to reinstate the secondary staircase that links the second and third floor within its original location. This location is evidenced by record drawings from 1974 which can be accessed via the planning portal ref: HB767.

In addition, the creation of a master bathroom within the footprint of formerly

approved stair and closet volumes in the centre of the plan was permitted. This layout enables the creation of a rear bedroom space at the second floor.

In order for this arrangement to work technically, and in coordination with the bathroom locations on the floor above, a services bulkhead arrangement (also consented in previous schemes) runs at high level in both the front and rear bedroom spaces.

Existing Fabric

As noted above, a series of alterations had occurred at this level prior to the current scheme. These had resulted in some loss of historic fabric. Throughout the floor, existing chimney breast features are without fire surrounds and the hearths are constructed from modern concrete slabs.

In addition, the ceiling construction to the rear rooms is of modern plasterboard construction. Recessed down lights feature throughout.

The retained section of partition separating the front master sitting room from the master bedroom, although containing some historic timber studs, is clad

in modern plasterboard, and skirting boards also appear to be a modern addition.

Proposed Reinstatement

This application seeks listed building consent to carefully remove and reinstate a number of unauthorised alterations that have been made within the front and rear rooms. These elements are captured in application plan and section drawings. The reinstatement work can be split into the following categories:

Modern suspended ceilings

A series of contemporary feature 'coffer' type ceilings have been installed within the two front rooms and the rear bedroom space. It is proposed that these are carefully removed and the adjacent fabric repaired if necessary in accordance with the method statement which supplements this application.

Additional subdivision of Master Bedroom Area