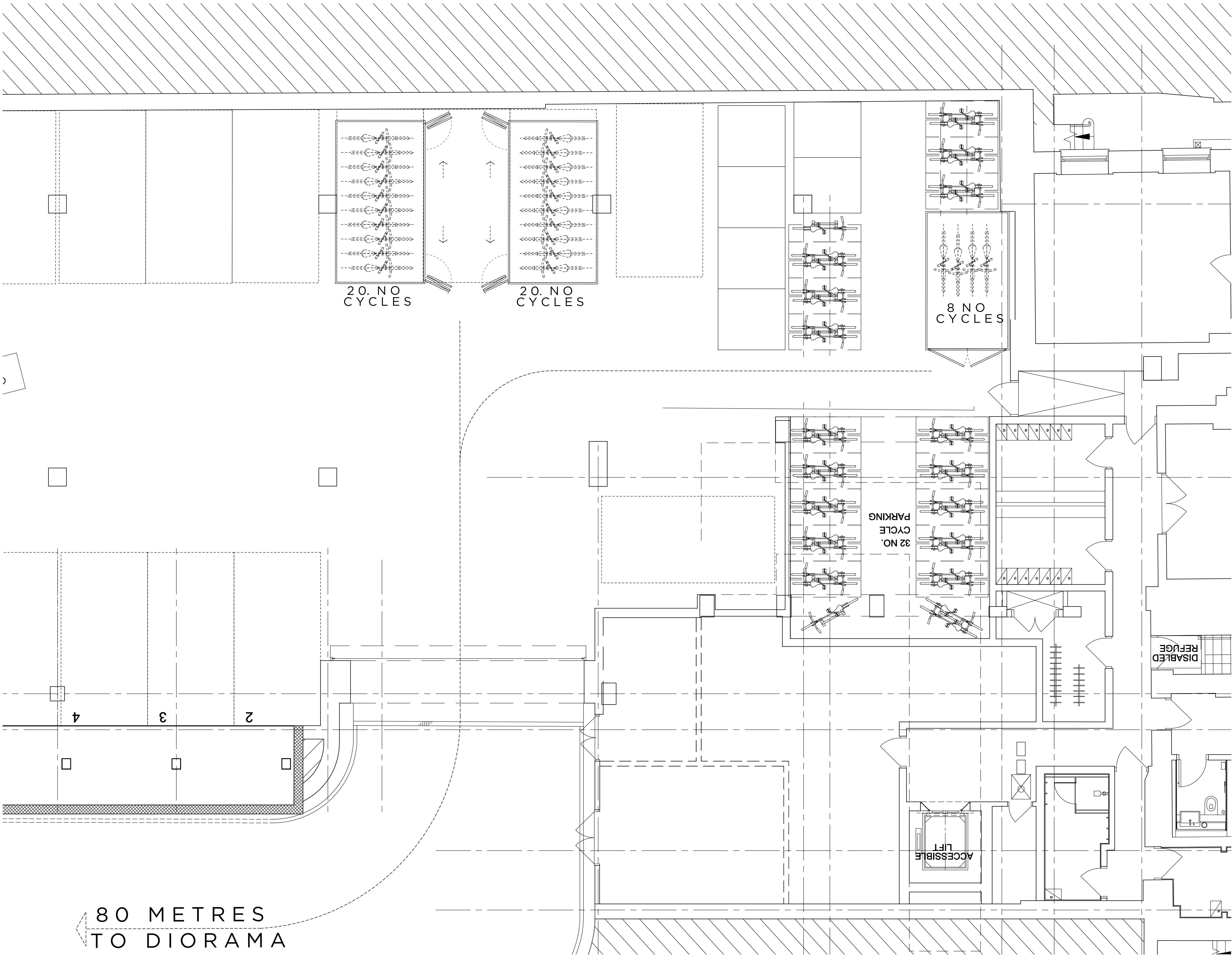




Key Site Plan 1:250

Key:

Existing structure / earth

New structure

Raised flooring system

Specified stone flooring

Specified carpet tile

Specified floor paint

Slate roof

Brickwork in elevation

Specified timber flooring

Specified car matting

Flat roof covering

General Notes:

1. All windows to rear of the Diorama (Peto Place Elevation) to be refurbished and repaired.

2. Internally, secondary glazing will be installed to all windows to the rear of the Diorama (Peto Place Elevations).

3. Existing brickwork to the rear of The Diorama (Peto Place elevations) to be cleaned & repointed. All new brickwork to match existing.

Proposed Notes:

01 New metal entrance gate and stone steps to lower ground floor. Steps and gate to match those at numbers 17 and 19

02 New stone floor to reception area

03 New steps down to ground floor level finished in Portland stone

04 Brass plating used to create markings in the floor redolent of the design and pattern of The Diorama's fulcrum turning mechanism

05 New staircase finished in reconstructed Portland Stone with glass balustrade to wrap around the reinstated Diorama drum and service all floors

06 Proposed glazed lifts to Rotunda

07 Traditionally detailed iron railings to lightwell along Peto Place

08 Free standing polyester powder coated planters with low level box hedging and trees to provide soft landscaping to Peto Place lightwell

09 Timber balustrade and screening

10 Diorama circular 'drum' to be lined with reclaimed London stock brickwork

11 Glazed screens forming the Rotunda volume and separating it from the office space

12 Retained structure that forms rear atrium to be redecorated and painted white

13 Infill floor area within retained rear atrium structure

14 Ceiling to rear atrium to be kept clear with coffer detail illuminated using daylight bulbs. See Design and Access statement for further details

15 Extend existing basement under Rotunda. See structural report for further details

16 Proposed basement under Peto Place with associated steel staircase to house new substation. See structural report for further details

17 Proposed glazed rear entrance doors and metal canopy with Steel 'Diorama' Signage

18 Reinstated first floor over the entrance lobby (redolent of original first floor mezzanine over Diorama entrance)

19 Glazed partitions and doors to enclose newly created room over entrance lobby

20 New plasterboard ceiling applied to underside of existing beams (existing dropped ceiling removed as part of demolition works)

21 Infill existing window opening with reclaimed brickwork in box window style (1x brickwork recessed by 200mm)

22 Proposed lightweight structural independent of existing atrium structure to support proposed floor infill. See structural report for further details

23 Proposed 3rd floor set back from perimeter and constructed from PPC framed glazing and solid paneling as indicated on drawings. Pitched element of roof to be finished in natural slate

24 Proposed plant enclosure with acoustic screening. See acoustic report for further details

25 Proposed roof terrace with timber privacy screens to mitigate overlooking

26 Proposed roof form redolent of original Diorama roof. Glazed perimeter and natural slate

27 Low voltage strip light hidden in decorative pediment to illuminate 'Diorama' sign to front elevation

28 Refurbish existing stone steps and lay new Portland stone

29 Proposed electric vehicle charging point in traditionally detailed cast iron bollard adjacent to accessible car parking space

30 Thermal lining added to the internal face of the rear facade to improve the fabric performance of the existing masonry facade

31 Proposed discrete CCTV camera to existing facade

32 Proposed security point

33 Automatic door (minimum 1.2m wide) to allow access for cycles

Rev - 22.04.2020 Issued for Planning

PLANNING

Project No. 19011

Client The Diorama Estates Ltd.

Date April 2020

Scale 1:50 @ A1/ 1:100 @ A3

Project No. 18 Park Square East, The Diorama, NW1 4LH

Drawing Title: Proposed Cycle Storage Layout - Which? Building

Drawing No. P_33 Rev. -

Drawn SW

Approved TB

Signed AA

Marek Wojciechowski Architects Ltd.

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N

0 1m 2m 4m 6m 8m 10m