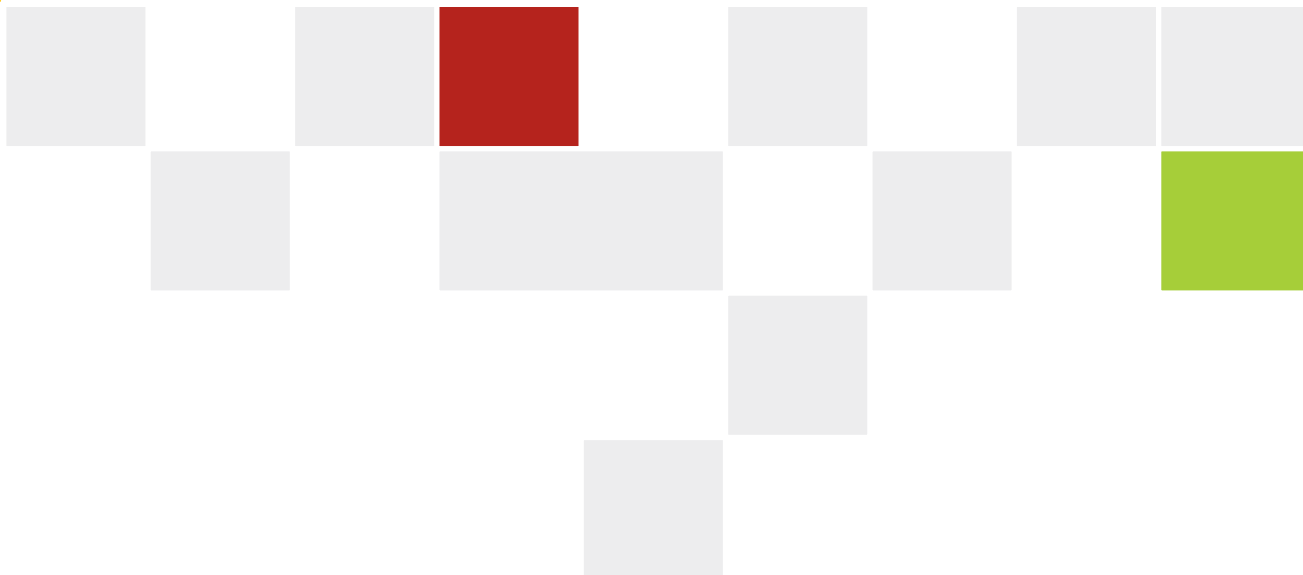


Flat 4, 27 Redington Road

Planning, Design and Access Statement



Boyer

Report Control

Project:	27 Redington Road
Client:	Mr and Mrs M. Heard
Reference:	19.5144
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Primary Author	Rachel White
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APPENDIX

Appendix 1: Details of consented extension secured by XUL at St Margaret's School

Appendix 2: Street view images of surrounding properties

1. EXECUTIVE SUMMARY

This Planning Statement is prepared on behalf of Mr and Mrs M. Heard for the proposed roof extension at Flat 4, 27 Redington Road. The proposals comprise a lightweight glazed roof extension. The contemporary design approach has been carefully evolved to ensure the extension is screened from public view. The very limited visibility, and the high quality design means there is no impact on the Redington and Frognal Conservation Area. The scale of the proposed extension is acceptable and ensures that the extension remains subservient to the host building. The proposals incorporate high quality design measures in accordance with the NPPF requirements and Policy D1 of the Local Plan. There is no impact to the conservation area and the proposals are acceptable in regards to the NPPF and Local Plan heritage and conservation guidance.

2. INTRODUCTION AND PROPOSED DEVELOPMENT

- 2.1 This Planning Statement is prepared on behalf of Mr and Mrs M. Heard to support the submission of a planning application for proposed development at Flat 4, 27 Redington Road (the site).
- 2.2 The application seeks permission for:
- Construction of a glazed roof extension*
- 2.3 The application site comprises Mr and Mrs M. Heard residence and the proposals would increase the habitable space at roof level for the occupiers.
- 2.4 The proposed development comprises a contemporary design approach which is designed to be screened and barely visible from the streetscene.
- 2.5 The application is supported by the following documentation;

Document	Consultant
Existing and proposed floor plans and elevations	XUL Architecture
3D images	XUL Architecture
Planning Statement	Boyer
Statutory Application Forms	Boyer

- 2.6 The planning statement outlines the proposed development and makes an assessment of the proposals against the adopted planning policies. The report is structured as follows;
- Section 1 introduces the application;
 - Section 2 gives an overview of the site and the surrounding areas;
 - Section 3 provides the planning history;
 - Section 4 outlines the planning policy context;
 - Section 5 assesses the proposed development against the adopted policies;
 - Section 6 concludes the report.

3. SITE AND SURROUNDING AREA

- 3.1 The application site comprises Flat 4 of number 27 Redington Road.
- 3.2 The site itself comprises a traditional 3 storey detached building which is in residential use. The property was originally built as a single dwelling but has been converted into flats; the conversion is an established use as outlined in the Planning History section below. This application relates to solely Flat 4 which is located at the 2nd floor.
- 3.3 The application site is situated on the junction of Redington Road and Chesterford Gardens. The area surrounding the site is predominantly residential. A range of architectural styles are noted. On the northern side of Redington Road, the architectural style is consistent with that of the application site whereby most buildings comprise red brick buildings of traditional architecture and proportions. On the south side of the road, a wider variety of architectural styles are present. Number 14A on the southern side of Redington Road is an example where contemporary architecture has been incorporated into the existing context. Some examples of contemporary additions are included in the appendix.
- 3.4 The buildings within the vicinity are large in size and many have been sub-divided in flats. Most buildings exist within generous plots and a number of extensions are noted within the vicinity.
- 3.5 The site is located within the Redington and Frognal Conservation Area and is listed in the audit as being a building which makes a positive contribution to the conservation area. The site is not listed nor is it located within the context of any listed buildings.
- 3.6 The site benefits from reasonable levels of accessibility with a PTAL rating of 3. The site is located approximately 500m west of Hampstead Underground Station and approximately 670m north of Finchley and Frognal Station. There are also a number of local buses which serve the surrounding area.
- 3.7 The site is located within Flood Zone 1 and is considered to be at the lowest risk of flooding.

4. PLANNING HISTORY

4.1 The relevant planning history is included in the table below. This only includes applications which relate to the building fabric and not those which refer to tree works.

Reference	Description	Decision
8905241	The erection of a conservatory over the existing roof terrace as shown on drawings numbered 8/107/01 02 and 04 as revised on 10th and 31st October 1989. Appeal received against refusal.	Appeal allowed, September 1990
8702797	Construction of new dormer window to side elevation	Withdrawn
8600453	Alterations including erection of a four storey extension at rear to provide an enclosed balcony on each floor and erection of a glazed covering to roof terrace. as shown on drawing nos. 222/1G 6G 12D 13D 14E 16D 17 18E 19H. Appeal received against refusal of permission	Appeal dismissed, 1987
8501804	Works of conversion and alterations to form four self-contained flats as shown on drawing nos. 222/1F 6F 12C 13C 14D 16C 18D 19G. revised on 9th and 27th January 1986.	Granted, 1986

7604	Erection of a single and two storey extension of ground floor flat to form kitchen and study at ground level and shower, WC cloakroom and bed-room at first floor level at 27 Redington Road, Camden.	Granted, 1969
CTP/E5/14/1/P2	Conversion of the garden floor of No. 27 Redington Road, Camden, into two self-contained Flats.	Granted, 1965
TP74176/6458	The construction of a part one and part two-storey extension to form a nursery wing at No. 27 Redington Road, Hampstead	Refused, 1961

- 4.2 As well as reviewing the planning history of the application site, a review of the surrounding areas and any comparable roof extensions have also been assessed. Relevant nearby roof extensions are listed in the table below;

Address	Reference	Description	Decision
8 Redington Road	2007/1357/P	Erection of roof extension (increasing roof pitch, height of roof and creating flat roof area) with dormer window in front roofslope and dormer window with inset terrace in rear roofslope, raising of chimneystacks and installation of 4 roof lights all in connection with existing single-family dwellinghouse (Class C3).	Granted, May 2007

72 Redington Road	2009/2452/P	Erection of roof extension including two dormer windows and roof terrace in the rear roofslope of the dwellinghouse.	Granted, August 2009
87 Redington Road	PW9802401	Erection of a new roof extension at second and roof levels, a side extension at ground to second floors, new roof terrace, and associated demolition and external alterations, as shown on drawing numbers: 9813/PA/20/001; 20/X001, X002, 001-3, 006; pers/P,X.	Granted, May 1998

5. PLANNING POLICY CONTEXT

Development Plan

- 5.1 The site is located within the London Borough of Croydon. The Development Plan comprises the following documents;
- The Local Plan (2017)
 - The London Plan (2016)
- 5.2 A number of supplementary planning documents are also of relevance to this proposal. These include;
- CPG Amenity (2018)
 - Design CPG (2019)
 - Altering and Extending your home CPG (2019)
 - Redington and Frognal Conservation Area Appraisal
- 5.3 The relevant policies for this development are listed below;

Camden Local Plan	London Plan
Policy D1 Design	Policy 3.4 Optimising housing potential
Policy D2 Heritage	Policy 3.5 Quality and design of housing developments
Policy A1 Managing the impact of development	Policy 3.14 Existing housing
Policy H1 Maximising Housing Supply	Policy 7.4 Local character
	Policy 7.8 Heritage Assets and archaeology

Material Considerations

- 5.4 The NPPF constitutes a material consideration in the determination of planning applications and should be used to inform decision making.

- 5.5 The National Planning Policy Framework (NPPF) was updated in March 2019 and sets out the strategic planning aspirations. This along with the National Planning Practice Guidance (NPPG) are material considerations in decisions on planning applications. The documents set out the Government's economic, environmental and social planning policies and guidance and identifies that the purpose of the planning system is to promote sustainable development. The NPPF advises that the primary aim of development management is to foster the delivery of sustainable development, not to hinder or prevent development from taking place. The NPPF supports applicants engaging in pre-application discussions.
- 5.6 Paragraph 11 of the NPPF identifies the core planning principles which should underpin both plan making and decision making, this includes being genuinely plan led, not simply being about scrutiny, proactively driving and supporting sustainable economic development, seeking to secure high quality design and a good standard of amenity, promoting the vitality of urban areas, supporting the transition to low carbon futures and promoting mixed use developments.
- 5.7 The NPPF supports a presumption in favour of sustainable development and sets out at Para 11 that 'for decision taking this means: approving development proposals that accord with the development plan without delay'.

Emerging Policy

- 5.8 The Mayor of London is at the advanced stages of preparing the new London Plan. This underwent Examination in Public in 2018. The Mayor has now published the 'intent to publish' version of the plan. The relevant policies of the most up to date version of the plan are listed below;
- Policy D1 London's form, character and capacity for growth
 - Policy D4 Housing Quality and Standards
 - Policy D6 Optimising Housing Density
 - Policy HC1 Heritage conservation growth

6. ASSESSMENT OF THE PROPOSALS

- 6.1 The following section of the report assesses the proposed development against adopted and emerging planning policies. The chapter is structured to assess the principle of the development, the detailed design and the heritage impacts.
- 6.2 As outlined in the executive summary, the proposed development introduces a light weight, glazed roof extension. The extension has been designed so that it is not visible from the street (this position is outlined in the accompanying visuals) to ensure there is no impact to the host building or the conservation area as a result of the development. A detailed assessment of the proposals and the relevant policies is provided hereunder.

Principle of Development

- 6.3 The proposed development would introduce a very modest roof extension to Flat 4 of 27 Redington Road. The proposals would increase the provision of habitable space for this dwelling by 11.6sqm. The provision of additional habitable space on an existing property is consistent with the aspirations of the NPPF as well as emerging London Plan policy D6 and Local Plan Policy H1 which seeks to enhance and increase sustainable development (paragraph 17) through optimising the use of brownfield land.
- 6.4 The principle of roof extensions is addressed in the Local Plan and the supplementary planning documents. The policies (D1) and supporting guidance (Redington and Frognal Conservation Area Appraisal and CPG Altering and Extending your Home) state that any extensions are to be assessed against the relevant adopted planning policies and decisions should be made on a case by case basis. Further assessment of the design of the proposed development, the design of the proposals and the assessment on the surrounding conservation area is provided in the following sections.
- 6.5 It is noted from a desktop review as well as an audit of the Council's website that a number of roof extensions have been permitted within the surrounding area and across the borough (a selection are summarised in the preceding section). These consents suggest that subject to the correct design, heritage impacts and amenity provisions, the principle of roof extensions can be accepted within this area. Following this, XUL have experience on comparable schemes and secured consent for a similar roof extension at St Margaret's School. Visuals of the consented extension and the design rationale are provided in appendix 1.

Design Considerations

- 6.6 The importance of good design is prescribed through all levels of planning policy. The NPPF outlines how the creation of high quality buildings and places is fundamental to what the development process should achieve (paragraph 124). Design should be considered throughout the development process and discussions between the applicant, Council and other stakeholders should be considered (paragraph 128).

- 6.7 The adopted London Plan (Policy 3.5) states that all developments should be of the highest quality internally, externally and in relation to their surrounding context. Proposals should enhance the quality of local places taking into account the physical context, local character, density, tenure and land use mix. Furthermore, the emerging London Plan outlines the importance of good design and heritage conservation in emerging policies D4 and HC1.
- 6.8 The Camden Local Plan also has specific policies relating to design within the borough. Policy D1, states that new developments must be of a high quality design. The council will require proposals to respect local context and character; preserve and enhance the historic environment and heritage assets; be suitable in terms of construction mechanisms and method, utilise high quality materials that complements local character; is inclusive and accessible for all, promotes health; is secure and designed to minimise crime and anti-social behaviour; incorporates outdoor amenity space; and provides a high quality of accommodation.
- 6.9 Further to the Local Plan, the Council's Supplementary Planning Documents (SPDs) also provide additional detailed guidance on the design of new development within the borough. CPG Altering and Extending your Home (2019) provides specific guidance for alterations and extensions. Chapter 4 of the CPG relates to extensions, alterations and conservatories. It suggests that alterations should always take into account the character and design of the building and its surroundings, materials which complement the existing building should be implemented, and rear extensions should be secondary to the host building. The scale of proposed alterations should be subordinate to the original building in terms of the scale and situation unless the specific circumstances of the site, such as the context of the property or its particular design would enable an exception to this approach.
- 6.10 There is also guidance in regards to roof alterations. Roof alterations are likely to be acceptable where there is an established form of roof addition or alteration to a terrace and the proposal would unite a group of buildings along the townscape.
- 6.11 Additionally to the aforementioned CPG, the Redington and Frognal Conservation Area Appraisal also provides guidance on proposed extensions and alterations. RF27-29 provides this guidance. The document states that any proposed roof extension within the Conservation Area will have to be assessed on an individual basis with regard to the design of the original building. Where proposals would be detrimental to the character of the conservation area, or the host building, they will be refused.
- 6.12 The guidance states that where the application site forms part of a group or terrace which remains largely unimpaired, the building forms part of a symmetrical composition or the roof is prominent in longer views then any alterations to the roof will likely be refused. Furthermore where the property is higher than the surrounding buildings it is unlikely that any further roof extensions would be acceptable.

- 6.13 As is outlined on the submitted plans, the proposed extension delivers a high quality, light weight glazed extension at roof level. This is considered to be the most appropriate design approach for this site as it minimises the visibility of the extension and does not detract from the existing building or cause any harm to the Redington and Frognaal conservation area.
- 6.14 The application site is a detached property and does not exist within a terrace of unified or unchanged roof forms. Furthermore, as the property is detached, it does not form a symmetrical roof form with the any attached buildings. Therefore the requirements outlined in RF27 do not apply in this instance.
- 6.15 Whilst it is our view that the proposed development is acceptable and that the application site is not subject to the requirements of RF27, it is still necessary to review the proposals and their potential impact on the surrounding area. Whilst there are comparable buildings (in terms of style and scale) within the vicinity of the application site, it is also noted that there are a range of alternative roof treatments and varying architectural styles along Redington Road. Directly opposite the site are two buildings which benefit from differing architectural styles, including roof profiles, which are not in accordance with the surrounding areas (images of these roof profiles are provided in the appendices). The proposed minor alterations at number 27 are therefore considered acceptable when assessed in relation to the wider context.
- 6.16 In terms of the height of the application site, this is in accordance with the surrounding buildings. Whilst situated on a corner plot, whereby increased height may be anticipated, the application site does not benefit from being taller than the surrounding buildings. The proposals introduce a roof extension however there is no increase in height compared to the existing structures present on the roof. There is a minor increase in volume at roof level, but the height of the proposed structure does not exceed the height of existing. Given that there is no increase in overall height, it is considered that the proposed development is acceptable in this regard. As is shown in the supporting visuals the proposed extension is barely visible from street level.
- 6.17 RF28 of the Conservations Area Appraisal encourages the retention and/or reintroduction of architecturally interesting features. The proposed development has been carefully designed so as to respond well to the existing architecture of the building and seeks to enhance and showcase the features. The proposals are designed to be subservient to the host property and the utilisation of lightweight materials allows for the existing features to be remain the focal point of the roof. Further details of the materiality of the development are provided on the accompanying plans.
- 6.18 In regards to the views of the proposed development, XUL Architecture have prepared some 3D views to highlight the impact of the proposed development on the surrounding street scene and conservation area. The full images accompany the submission and extracts are inserted below for clarity.

- 6.19 As is clearly shown on the views, the proposed extension is effectively screened from views along Redington Road and there is very limited visibility of the extension. It is considered that there is no impact on the conservation area, or the existing building, as a result of the proposed development.



Figures 1 and 2; 3D visuals showing the proposed extensions when viewed from Redington Road¹.



Heritage Considerations

- 6.20 As the application site is located within the Redington and Frognal Conservation Area, it is necessary to review the heritage implications of any proposed development.
- 6.21 The NPPF has a presumption in favour of sustainable development and seeks to protect and where possible enhance heritage assets. Paragraph 189 requires applications to detail the significance of any heritage assets affected by a development proposal. Furthermore, Local Authorities are required to take account of the desirability of the heritage asset, the positive contribution it makes and the desirability of the new development in making a positive contribution to the local area (paragraph 192).

¹ Image taken from Google Earth and architect's 3D visual superimposed.

- 6.22 Policy H2 of the Local Plan outlines the Council's approach to protecting heritage assets in the borough. For conservation areas, the council will require that development within conservation areas, where possible enhances the character or appearance of the area, resists the substantial or total demolition of a building within the conservation area and resist development outside of the conservation area which causes harm to the character and appearance of the area. Furthermore, the Council will resist development which causes substantial harm to the conservation area where no public benefit can be demonstrated. In general the Council will resist applications which cause less than substantial harm to heritage assets unless the public benefits convincingly outweigh the harm.
- 6.23 When assessing impact to conservation areas, it is important to consider the impact of the proposal on the conservation as a *whole* not solely on the impact to one limited view or area. As per the guidance in the NPPF, paragraph 201 states that not all assets make an equal contribution to the conservation area in which they exist. This recognises that proposals should be assessed on their impact on the CA as a whole.
- 6.24 As has been outlined in the attached plans and the 3D images shown above, there is no harm to the conservation area as a result of the proposed extension.
- 6.25 In the event that the Council identifies harm arising from the development, the harm can only be negligible given the limited visibility of the development and its limited impact on the street scene. As such, pursuant to section 6 of the NPPF, the development should be supported as the countervailing public benefits outweigh the harm.
- 6.26 The proposed development, as is demonstrated on the plans and visuals, comprises a high quality design which presents a light weight extension on an existing building. Whilst the proposals would add structures the roof level of the application site, it has been demonstrated in the preceding section that this would not be harmful to the character of the building or the surrounding areas as there is no increase in height and the extension would be barely perceptible from the public realm. This design means there is no harm to the CA as a result of the development.
- 6.27 The utilisation of lightweight materials makes the proposed development stand apart from the existing built fabric allowing for the original features to remain the prominent features of the building. The proposed extension would remain subservient to the host building in both its scale and design and as such would cause no harm to the conservation area.
- 6.28 As is demonstrated on the accompanying visuals, the views of the proposed roof extension are limited (both in the short and long views). Given the limited visibility, the proposed development will not have any detrimental impact to the host building or the wider conservation area.
- 6.29 Considering this position and the proposed development, it is confirmed that the proposals would **cause no harm to the conservation area** or surrounding heritage assets and are considered acceptable in this regard.

Amenity

- 6.30 The importance of protecting residential amenity for existing and surrounding occupiers is addressed in the adopted planning policies and the supporting guidance (Amenity CPG). Policy A1 (Managing the impact of development) sets out that the Council will seek to protect the quality of life of occupiers and neighbours. The Council will grant planning permission for development unless the proposals cause unacceptable harm to the amenity. The factors the Council will consider in determining planning applications include visual privacy, outlook, sunlight daylight and overshadowing. This is supported by the CPG which provides detail on each of the criteria outlined above.
- 6.31 The proposed development would not have any undue impact to surrounding residential properties in regards to any of the criteria outlined in Local Plan Policy A1. The proposed development would deliver high quality of amenity for the occupiers of the application site. It is considered that the proposals are acceptable in regards to amenity.

Access

- 6.32 As the proposed extension is located at roof level, there is no change to the existing access arrangements as a result of the proposed development.

Summary

- 6.33 The proposed development has been assessed against the relevant planning policies and supporting guidance. The principal areas to discuss relate to design and heritage. It is considered that the proposed development accords with the relevant policies in both regards and should be therefore considered acceptable.

7. CONCLUSION

- 7.1 This planning statement is submitted on behalf of Mr. Paul Heard for the proposed development at 27 Redington Road. The proposals incorporate a light weight, glazed extension at roof level.
- 7.2 The application is supported by existing and proposed drawings and 3D visuals prepared by XUL Architecture.
- 7.3 This statement has set out the proposed development, the site and the surrounding areas, the planning history as well as the adopted planning policies.
- 7.4 The principal matters relevant to determination of the application relate to the design of the proposed development and an assessment of the heritage implications. The supporting documentation and the justification in this report show how the proposed development is of a high quality design and therefore accords with the relevant planning policies and guidance. There are no heritage implications resulting from the development as the proposed extension is barely visible from the street level so there is no harm to the Redington and Frognal Conservation Area.
- 7.5 The submitted plans and views show that the proposed extension has been sensitively designed to accord with the design requirements of the Local Plan as well as causing no harm to the conservation area. The development would therefore accord with the relevant planning policies and the NPPF guidance.
- 7.6 The proposals would have no impact in regards to the amenity of surrounding neighbours.
- 7.7 Overall the proposed development provides a high quality design solution that is appropriate for the application site and the surrounding context. It is therefore considered that the proposed development complies with the relevant planning policies and guidance and should be granted permission without delay.

APPENDIX 1: DETAILS OF CONSENTED EXTENSION SECURED BY XUL AT ST MARGARET'S SCHOOL

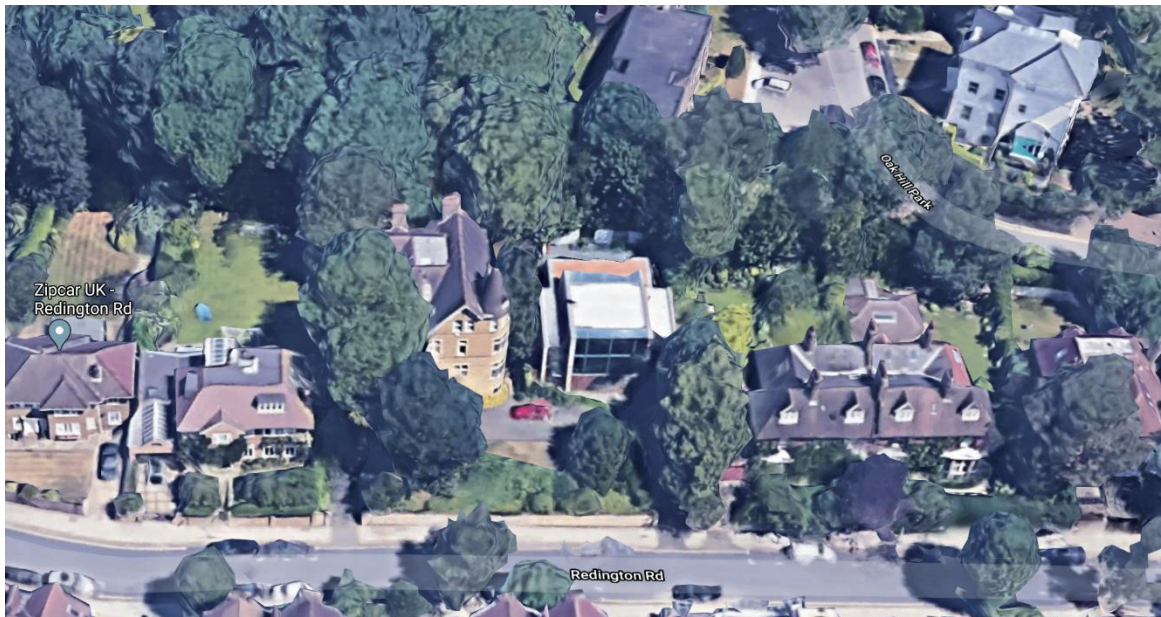
APPENDIX 2; STREET VIEW IMAGES OF SURROUNDING PROPERTIES



Street view of number 14 and 14a Redington Road which display alternative roof forms and more contemporary architecture from the application site.



Street view image of number 14a Redington Road



Aerial image of 4 Redington Road



Street view image of 4 Redington Road



VIEW FROM PAVEMENT DIRECTLY ACROSS FERNCROFT AVENUE



VIEW FROM PAVEMENT ACROSS FERNCROFT AVENUE AT REAR OF SCHOOL



VIEW FROM PAVEMENT ACROSS FERNCROFT AVENUE AT FRONT OF SCHOOL

notes:

General notes:

1. Do not scale drawings. Dimensions govern.
2. All dimensions are in millimeters unless noted otherwise.
3. All dimensions shall be verified on site before proceeding with the work.
4. Square Feet Architects shall be notified in writing of any discrepancies.

Party Wall Act 1996:

Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory notice.

C.D.M. Regulations 2007:

These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the construction (Design and Management) Regulations 1994. If advice is required please do not hesitate to contact Square Feet Architects.

KEY

black lines	existing
red lines	new
green dashed lines	to be demolished

revision:



SQUARE FEET
ARCHITECTS



XUL
ARCHITECTURE

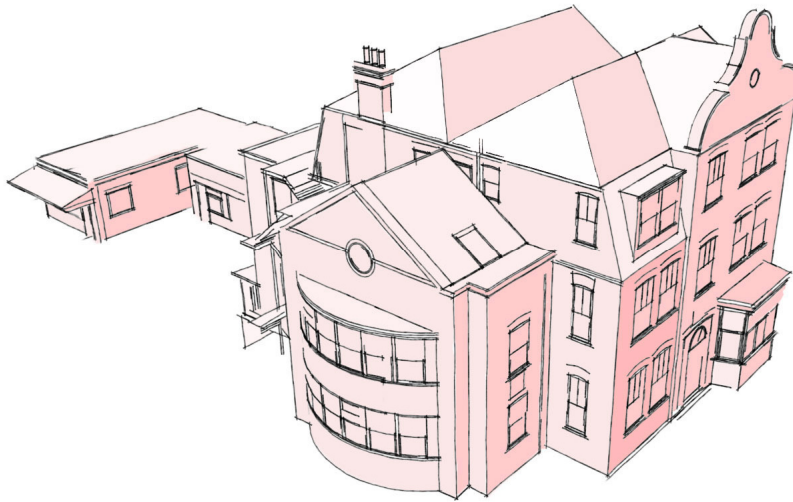
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T : 0207 431 9014

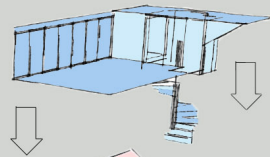
E : s.sander@xularchitecture.co.uk

drawing title:	
PROPOSED STREET VIEWS	
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project: Rooftop Proposal	
date: March 2013	scale: 1:100@A3
drawing number: 1301-L-046	revision:

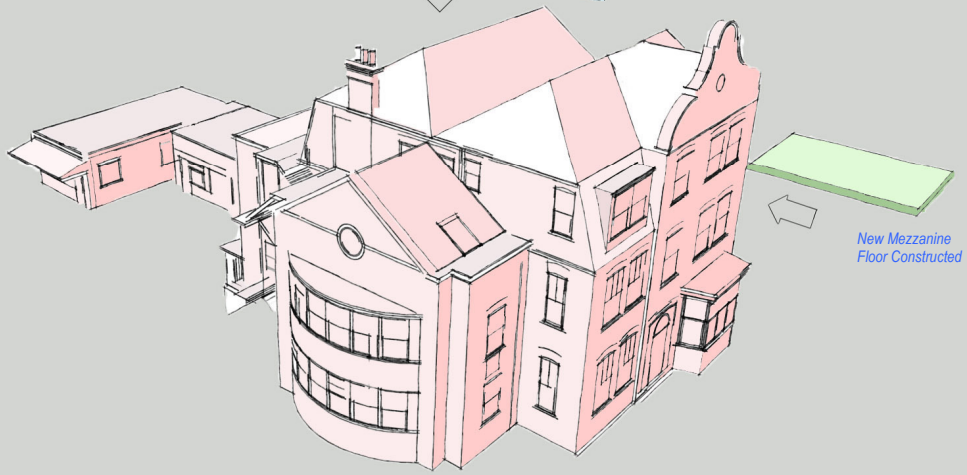
Existing building form



New Roof Terrace and Stair Enclosure



Access Enclosure Installed



New Mezzanine Floor Constructed

Proposed building form

